



A G E N D A



CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD REGULAR MEETING

THURSDAY, JULY 21, 2011 – 4:00 P.M.

Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Tina Barclay at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll call of members: Nakawatase, Bowman, Lopez, Phelps, Schaaf

2.0 CONSENT CALENDAR

*All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately. **Roll Call Vote Required.***

2.1 MOTION TO APPROVE THE MINUTES OF THE MAY 19, 2011 MEETING

3.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. There will be no discussion, and the Board may only request that an item be placed on a future agenda.

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 MIKE VANBUSKIRK, HITZKE CONSULTING (APPLICANT)/AMERICAN LEGION POST, BARBARA JACOBS (PROPERTY OWNER); DESIGN REVIEW (DRC 110018) FOR THE DEMOLITION OF A SINGLE FAMILY RESIDENCE, 6 ATTACHED RESIDENTIAL UNITS, AND AMERICAN LEGION POST, AND CONSTRUCTION OF A NEW MIXED-USE PROJECT THAT WOULD PROVIDE 30 RESIDENTIAL UNITS (29 AFFORDABLE SENIOR UNITS, 1 MANAGER UNIT) AND 3,600 SQUARE FOOT AMERICAN LEGION POST AT 1252 1268 PALM AVENUE AND 655 FLORENCE STREET (APNS 626-242-09-00, 626-242-23-00, 626-242-24-00). MF 1072.

5.0 INFORMATIONAL ITEMS/REPORTS

6.0 NEW BUSINESS

7.0 ADJOURNMENT

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) ss.
CITY OF IMPERIAL BEACH)

I, Tina Barclay, hereby certify that a notice of this meeting was mailed and posted on Thursday, July 14, 2011. Said meeting to be held at 4:00 p.m., July 21, 2011, in the Council Chambers, 825 Imperial Beach Blvd., Imperial Beach, California. Said notice was posted at the entrance to the City Council Chamber and inside City Hall.



Tina Barclay, Recording Secretary

DRAFT

MINUTES

**CITY OF IMPERIAL BEACH
DESIGN REVIEW BOARD COMMITTEE**

**REGULAR MEETING OF THE DESIGN REVIEW BOARD OF
THE CITY OF IMPERIAL BEACH
City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

THURSDAY, MAY 19, 2011

4:00 P.M.

In accordance with City policy, all Design Review Board meetings are recorded on tape in their entirety and the tapes are available for review in the City of Imperial Beach, City Clerk's Office. These minutes are a brief summary of action taken.

1.0 CALL TO ORDER

CHAIR NAKAWATASE called the meeting to order at 4:12 p.m.

ROLL CALL

BOARD MEMBERS:

Shirley Nakawatase - Chair
Janet Bowman
Daniel Lopez
Harold Phelps
Tom Schaaf

**PRESENT: Nakawatase
Lopez
Phelps**

ABSENT: Bowman

STAFF PRESENT: Tyler Foltz, Associate Planner
Elizabeth Cumming, Assistant Project Manager
Tina Barclay, Recording Secretary

2.0 CONSENT CALENDAR

VOTE TO APPROVE CONSENT CALENDAR ITEM NO. 2.1.

Motion to approve: Lopez Second: Phelps

AYES: Nakawatase, Lopez, Phelps

ABSTAIN: None

ITEM#2.0

NOES: None
ABSENT: Bowman

Let the record show that Member Schaaf entered meeting at 4:16 pm.

3.0 BUSINESS FROM THE PUBLIC

None.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

**4.1 REVIEW AND APPROVAL OF FAÇADE IMPROVEMENTS – 720-730
HIGHWAY 75 (IMPERIAL BEACH PHARMACY AND PAN AM TAE
KWON DO)**

STAFF REPORT:

Staff Cumming gave staff report. 720-730 Hwy 75 – property is very run down. Going to focus today on the parapet and signage. Waiting to hear back from Public Works about CalTrans right of way for monument sign and landscaping. Parapet will be painted in Monologue, sandy yellow color. Existing signage will be removed and replaced with acrylic lettering in Impact font and Well Read color. All letters shall be pegged off fascia ½". Gooseneck lighting over signage.

Questions to Staff:

Lopez: Is well read color similar to rock?

Cumming: Yes and yellow color also mimics color in rock.

Nakawatase: Concerned about letter spacing

Lopez: Could see that – spread it out.

Cumming: Can do that.

Schaaf: Either the words be separated, especially in the Imperial Beach one – does that change your lighting set up?

Cumming: There are more lighting options – only requirement would be what the sign code will allow for spacing. Do you want the addresses to be spaced as well?

Nakawatase : I am concerned about tight font with people driving by so quickly – not as concerned about address.

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Cumming: Wider font or the font that exists?

Nakawatase: Will leave to your decision.

Cumming: If I can get the monument sign that will help. Also hoping to get some landscaping.

Nakawatase: Planter boxes?

Cumming: Issue is irrigation – has to go hand in hand. Code stipulates that it be irrigated not hand watered. Trying to work with CalTrans and Public Works.

Public Comments: None

Discussion: None

Motion by Lopez to accept the presentation for the new façade enhancement with caveat that staff and owner will look at spacing that was discussed so more legible as traffic goes by.

Second by Nakawatase

Discussion: None

AYES: Nakawatase, Lopez, Phelps, Schaaf

ABSTAIN: None

NOES: None

ABSENT: Bowman

**4.2 DESIGN REVIEW BOARD HEARING: SECOND PALM AVENUE, LLC
(OWNER/APPLICANT)**

ADMINISTRATIVE COASTAL PERMIT (ACP 050218), CONDITIONAL USE PERMIT (CUP 050219), DESIGN REVIEW (DRC 050220), SITE PLAN REVIEW (SPR 050221), AND TENTATIVE MAP (TM 090026) FOR THE CONSTRUCTION OF TWO NEW MIXED USE DEVELOPMENTS WITH 1,388 SQUARE FEET OF COMMERCIAL SPACE AND THREE RESIDENTIAL UNITS IN EACH BUILDING (2,776 SQUARE FEET COMMERCIAL SPACE AND SIX RESIDENTIAL UNITS TOTAL) LOCATED AT 221 & 225 PALM AVENUE, IN THE C-2 (SEACOAST COMMERCIAL) ZONE. MF 779

Staff Report:

Staff Foltz gave staff report. 221 & 225 Palm Ave. Two separate buildings with 1388 sq ft of commercial and 6 residential spaces above total. Two lots will be combined, doing parcel map to do that. Project site shown. Project is 2 separate bldgs and share one common driveway with two separate parking areas. Residences will have enclosed garages behind. Landscaping on sides and rear

mainly. Floor plan shown. Commercial area on two floors. Each residential area would have 3 floors with garage on bottom. Vast majority of front will be drought tolerant shrubs. Site needs wide driveway with current design and cannot fit a lot of landscaping. Trees in rear which would add some screening. Turf pavers used for parking and will add for landscaping. Accept drainage and look nice – if maintained. Condition would be that it would have to be maintained on a permanent basis. North elevations shown. South elevations shown. East & west elevations shown. (Interior and exterior). Picture designer sent shown that shows the intent – similar type of colors. Brown, red and grayish stucco. Applicant asking for CUP for less parking. Asking for one curb cut. Landscape needs to be 15% and will be met if turf pavers used. Two primary goals is aesthetics and drainage – would meet intent of code. Staff recommend design of project, recommend conditional approval as presented with recommendation. Chair Nakawatase had requested that the existing project next door to this project to be shown (Kipperman project) – 201 Palm Ave.

Nakawatase: Kipperman project has expired, but this land is being sold with this project and hopes that it will be renewed. Greg Neil will be building across the street. This project what we're seeing will be adjacent to this. Kipperman project was a wow – we're not only going to approve a project today, but also continue to set the bar higher. I requested this project be shown to remind you of what was here.

Questions to staff:

Schaaf: Roof colors – what color is the roof called out? One looks grey and the other looks purple.

Foltz: Showed color board – red is what is being proposed. Light tan for the roof. Also showed the designer photo which says the color is more represented by this than by the drawing.

Phelps: Parking - was the designer, was his intent to meet that requirement or was their desire to have one car garage and because they had to do two commercial spots?

Foltz: Less commercial space originally, staff said must add more commercial space, so with that they had to remove one of the parking spaces they had proposed. So there was going to be another commercial parking space, but because staff wanted more commercial space, then they removed a commercial parking space instead of a residential space.

Phelps: The square footage of commercial – city led applicant to believe they had to do more, so because of that, the third unit ended up with the one car

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garage. Sounds like that might be what happened. The flexibility that we have in the code and more so in the new code, to have less of a requirement on the commercial space. I wanted to make sure that I understood how that evolved before we got into the discussion about the issues of the design.

Foltz: One of issues brought to council many times – bring more commercial space and not so much residential for these mixed use projects. This is going by today's current code. Allows for reduced parking with CUP, which is what they are seeking. Would still meet the code.

Schaaf: Disabled parking is where?

Foltz: Each building would have its own van accessible disabled stall.

Schaaf: Trash to be picked up in rear?

Foltz: Yes. It will be enclosed with a little trellis over it.

Schaaf: Lighting on front for business?

Foltz: Hasn't been addressed yet – would be addressed with signage.

Public comment:

Richard Speare

March 05 started. Tom Armstrong original designer. Asked me to put together package. Met with staff – kept redesigning – original design was 3 identical townhomes with 2 car garage and one commercial in front. Then ADA was brought up. Extra space made for ADA van. This took away one parking spot. Talking with Wade and Nakagawa suggested maybe going with CUP to get more commercial space. Two spaces each side and two handicapped each side. Residential was 1 ½ per unit which allowed us to go with one. Residential allows this to be economic as there is not as much demand for commercial. Project has been redesigned many times. Owner not sure if has funds to do again. Irrigation for turf block would probably be a drip system – usually used.

Lopez: Brought this in 2005?

Speare: Before that – brought to staff many times. Was a Mediterranean project originally and has changed design many times throughout the years. Tom was doing work out of town, and Franklin took over design and did the latest one.

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Discussion:

Lopez: This Old Palm Avenue corridor, one of the reasons to be on this board, create more inviting sense for people who visit, pedestrians. A little over densified, like to see the façade a little more modern. Understand economics. Overall esthetically, a five foot wide sidewalk is not adequate for commercial space. I say this because this project would stand for the next 20 to 30 years and cannot envision an eatery utilizing the sidewalk for patio. My first comment would be that it narrows that corridor. Feel strongly that the offset of sidewalk needs more room. Esthetically that is one of main concerns. Longevity to have that corridor more pedestrian open feeling. Across the street businesses set back a bit more. Modernize it more. Picture of Kipperman project really popped out, this does not. We've seen this type of product before. Those two issues for me are a bit of a concern.

Schaaf: Like metal roof – juts up more than the one on 13th Street. Modernization/use of space – added more commercial they really stretched it. The Kipperman got expensive but couldn't build it because of design/expense. If we take any more space, then it might not get built and end up with blank lot. Hoping this will become a business district when hotel gets finished. Has outputs and artistic designs. Modernization, not sure what you're hinting to.

Lopez: Maybe not have everything stucco. Maybe some different use of materials, metal, wood, give some extra character rather than all stucco. Stucco with reveals that kind of break it up a bit more. May not be as financially impactable as redesigning it.

Schaaf: Property has been sitting there – don't want to have to redesign completely.

Lopez: Not being overly critical – curb appeal in this setting – maybe off a side street by the Arco – more homey – this area, major concern is esthetics as you drive by.

Schaaf: Height of 1st floor? 10?

Foltz: Will look into that.

Lopez: Seems more residential than mixed commercial use type project. I can send staff some ideas that could be used for future projects. Similar in scale and scope.

Schaaf: For future projects. If we do too much to it, it will have to go back and be redesigned.

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Foltz: Design has been ongoing. You haven't seen what was originally proposed. One comment in 2009 was redesign to match beach esthetics – gave ideas – this is a lot more modern than what was originally proposed and that's why we thought this was something we could move forward with.

Schaaf: Roof details stick out on this – nice relief to it.

Phelps: All good comments – first comment would be to see this as preliminary design instead of final design. Suggest that maybe in future on Old Palm and Seacoast, with constraints, code/commercial/parking, have some involvement before this is where we're at. How close to construction would applicant be?

Foltz: This is still in design review. Went into hibernation.

Phelps: See two different things going on. Floor plans what I thought would be two separate commercial/residential, I see clearly that makes sense. Two separate projects. Then look at elevations and it looks like a live work on first floor and loft on top. Think they should crank up floor to ceiling height and cover up residential you see in back. Peel back sidewalk maybe could get more commercial square footage and commercial space more viable outside. Third unit, on top of commercial, question 2nd floor with commercial square footage – is it really viable? Is it the kind of commercial that will do well? Making people go upstairs. The other units, when you have a two car garage, have to have storage. Somehow that third unit could be the shopkeeper, I don't know. But somehow to make the project pencil, sounds like you would have to have 6 residential units on the property. Nice to see if the commercial space, if that made it viable could also have a relationship to 3rd unit. Then parking would be easier to deal with. May only have to have one ADA space instead of the two. The residential have the garage/two spaces. Architecturally, could be more commercial/store front look – commercial looks more residential than the residential. Nice to see it come up a little taller in its profile in its façade – block out some of that blank wall.

Lopez: Patio area – not saying that every commercial space should be an eatery, but maybe have some merchandise be allowed to be put outside shops to entice people to come in. I know we're unique but using Coronado's Orange Ave as an example, wide sidewalk helps. Envision that sort of atmosphere. In future, look at interim design so we can interject these comments to see what they could come up that could make more sense.

Nakawatase: Kipperman – there is a setback on Palm Avenue, but not on 2nd. Actually small encroachment which had to go to council for approval. You can see that there is a setback on Palm. We saw a 3D model on this – lost financing

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when market tanked. If this gets approved again, and then we approve this, we lose the pedestrian flow.

Lopez: Agree – huge concern of mine. Glazing – newer beach houses built – want that light to come in. Want to be able to see down the corner to the beach. I think the project before us could be as inviting as Kipperman, maybe just playing with materials.

Schaaf: Glazing would open up the building in the front. But we're trying to think of something – overall the footprint has to work – city has gone through a lot of trouble – property owner and city first have to agree on a footprint for commercial and residential. Then as DRB we can't say we make the sidewalk bigger because that changes the footprint. But glazing could work.

Phelps: Without altering the residential in anyway, could eliminate 1 or 2 carport spaces, could get another 5 feet in the front behind the sidewalk and they could get more commercial. Don't see the 2nd floor commercial as a high a quality commercial square footage. City should look at value of 2nd space, needed for ADA accessibility, might have to have that. Need to distinguish between commercial square footage on ground floor for business versus the 2nd floor. Opportunity to redo that part.

Nakawatase: Do have a parking bank – revised parking code coming up. Push back first layer – front of building straight up and down – Kipperman project, there is definitely step pattern - on Orange Ave in Coronado first floor level set back and 2nd level comes in and gives feeling of openness.

Phelps: Raise the floor level on that commercial and then the 2nd floor goes up a little higher

Schaaf: Now a discussion we can take back to staff. Summing it to ask staff, do we need that parking, not a major design and a solution at the same time.

Lopez: Encapsulate it and take in a new direction, economically, not a major impact, but provides a solution to our comments that we are concerned about.

Schaaf: Go with our discussion, and then talk to staff. But now we are coming up with something concrete that is not a project redesign, but asking what staff can work with, go along with. Hear that staff wants more commercial. We're thinking if we can fill the businesses downstairs – looks better and brings in taxes.

Nakawatase: Under the impression those are two commercial units, upstairs and downstairs. Someone renting out, not two separate units? Retail shop on

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bottom with offices upstairs. My concern – not into mirror colors. Love idea of switching out materials. Using different materials, same pallet of colors, but not mimic. Switching it out. Pavers – really important – are creating a precedent that these pavers are ok as landscaping. Big issue.

Phelps: Good for water, but meeting for landscaping of residents, that's hard.

Nakawatase: Like large windows on north elevation – pedestrian friendly. Roof – metal will rust – don't like. Live next to beach, it will rust.

Lopez: Can put application on to keep from rusting – help protect it.

Nakawatase: I think it's close enough to salt air –it will rust. Attractive, but will rust. North elevation is abrupt – flat.

Nakawatase: To Summarize: Set back on the first floor 5 feet or more, to eliminate the non ADA parking space for commercial, use different materials on the surfaces, stucco, wood, metal, glass, stucco – change it up – different colors. Raise height of first floor depending on height right now, is it 10 feet? Elevations seem to be running around 9 feet.

Lopez: Some of these components I would re-emphasize to the applicant. Great selling point to lease out space if you have more open, higher, commercial space. Want lighting, show merchandise – would help the applicant with long term lease.

Schaaf: We now have questions or staff and applicant – some direction.

Nakawatase: Two big points, Set back on first floor, different use of materials and discuss height.

Questions to staff

Nakawatase: Height, setback and use of different material.

Foltz: Can ask applicant/recommend to provide in the design. How they will respond, don't know how they will respond.

Schaaf: Can staff respond to set back. If you go set back, will change parking.

Foltz: It will also reduce amount of landscaping on back. If you just reduce commercial space

Schaaf: If you're removing the parking spacing -

Foltz: Parking spaces removal – would not meet code – as staff, we cannot recommend approval for that – applicant is asking for a CUP to meet the parking space – barely meeting now. They would have to reduce commercial space to 500 square feet of net floor area. Understand, but going by code.

Schaaf: One, parking is a problem – next question – height – staff doesn't have the exact height of the front. Use of different materials – not a question, this goes back to applicant.

Nakwatase: Would we, could we, should we approve as presented today? I'm hearing, no. Would like to send back and have applicant re-work it. Maybe get preliminaries via email, before coming back to us, it would work for staff, work for us, work for applicant.

Lopez: I don't think the way we've suggested it, I don't think it impacts the user economically too much.

Schaaf: Would rather spend a couple of months to have staff and owner look over our comments – glazing, etc., and come back with another elevation with a few suggestions. If approved and turn it just to staff, we have no design. Like the ideas that have come out and it helps staff and the owner. Ideas as simple as glazing. We're hoping that Palm; when you turn on, it will be one of the first new structures.

Lopez: Don't mimic and make it so symmetrical. Want everyone to win win – small detail – shop owner, don't know if want SDG&E pad right in front of store. Lose visibility.

Phelps: Can't pad go underground?

Applicant Speare: Comments about raising elevation of front – designed not to overpower Palm. Have to be some distance away to see residential. Not flat in front – roofs vary – look at low roofs – Not a flat front. Setting back to make more street scene, that is already a wide sidewalk there, don't know City requirements, but plenty of room for dining, displays. Commercial height I think is 10 feet finished height. Raise commercial height. Generally elevation varied and residential set back and didn't overwhelm Palm Ave. Kipperman had an elevator and a lot of expensive stuff – probably why it didn't get built. This was to try and be a more practical and still esthetically pleasing, a transition. Height towards the back, can't see it.

Lopez: As look at example on screen and talk about elevator and the expense – we're not talking so much about interior – we're talking about façade and exterior.

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Less residential look – way to augment that – thinking outside the box on the esthetic and materials. Project right now looks more like a residential component. Asking you to look outside the box, less residential and more commercial.

Speare: No signage right now – put signage on and have more commercial look.

Schaaf: Would like to make recommendation that it come back to us.

Speare: Commercial upstairs/downstairs, is designed as one unit each side, stairs inside, designed so whatever was downstairs would have some office space upstairs. Upstairs additional office/storage. Wasn't intended to be a separate commercial space.

Schaaf: Recommendation with our discussion included, come back.

Foltz: Do you have a firm stance on paver because that will change design requirement. Only meets it with the turf paver. It's a commercial site so it needs 15% landscaping for the entire site, it only meets it with the turf paver.

Lopez: Potted plants, so if you set it back, you could use potted plants and smaller non aggressive trees along the front. Not all hard cape, but if you add that it gives it more of a green feel to the façade and you need that component. And then you could still keep the pavers in this case.

Nakawatase: We first made an exception for the building that is now Subway. They could not make landscaping to build that project. We agreed to put the planter boxes, not only code but also the intent. Landscaping to break up monotony of building. Hate to say that turf pavers are a substitute, because they are not.

Lopez: I'm saying, if you set it back, get more green.

Schaaf: Pavers look nice on some things, but if we say yes on this project, there are people throughout the city would like to use those and not do landscaping.

Nakawatase: Proposal, if turf pavers acceptable could not be more than 25% of the landscaping. – if we were to say ok for this project and this project only but a certain percentage ONLY can be counted towards your landscaping. Conditional that there have to be other landscaping elements to compensate for it.

Motion by Member Schaaf: Motion to come back meeting our concerns as discussed.

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Second by Member Lopez

Discussion: None

AYES: Nakawatase, Lopez, Phelps, Schaaf

ABSTAIN: None

NOES: None

ABSENT: Bowman

5.0 INFORMATIONAL ITEMS/REPORTS

None.

6.0 NEW BUSINESS

Staff Cumming brought up discussion for 1293-1299 Imperial Beach Blvd. decal
Nakawatase: A skater guy has been painted on northeast corner. Disappointed
with 2 starfish on front.

Lopez: Are those final colors that we decided?

Cumming: Yes

Phelps: If the change can be made with starfish that would be great.

Lopez: Yes, that would do the trick.

7.0 ADJOURNMENT

Chair Shirley Nakawatase adjourned the meeting at 5:37 p.m. on, May 19, 2011.

Approved

Shirley Nakawatase, DRB
Chairperson

Attest

Tina Barclay, Recording Secretary

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AGENDA ITEM NO. 4.1



**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD
FROM: COMMUNITY DEVELOPMENT DEPARTMENT

MEETING DATE: JULY 21, 2011
ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT
GREG WADE, COMMUNITY DEVELOPMENT DIRECTOR
JIM NAKAGAWA, AICP, CITY PLANNER
TYLER FOLTZ, ASSOCIATE PLANNER *TF*

SUBJECT: MIKE VANBUSKIRK, HITZKE CONSULTING (APPLICANT)/AMERICAN LEGION POST, BARBARA JACOBS (PROPERTY OWNER); DESIGN REVIEW (DRC 110018) FOR THE DEMOLITION OF A SINGLE FAMILY RESIDENCE, 6 ATTACHED RESIDENTIAL UNITS, AND AMERICAN LEGION POST, AND CONSTRUCTION OF A NEW MIXED-USE PROJECT THAT WOULD PROVIDE 30 RESIDENTIAL UNITS (29 AFFORDABLE SENIOR UNITS, 1 MANAGER UNIT) AND 3,600 SQUARE FOOT AMERICAN LEGION POST AT 1252 1268 PALM AVENUE AND 655 FLORENCE STREET (APNS 626-242-09-00, 626-242-23-00, 626-242-24-00). MF 1072.

PROJECT DESCRIPTION/BACKGROUND:

This is an application (MF 1072) for an Administrative Coastal Permit (ACP 110016), Conditional Use Permit (CUP 110017), Design Review (DRC 110018), Site Plan Review (SPR 110019), and Tentative Parcel Map (TPM 110020) for the demolition of a single family residence, six attached residential units, and American Legion post, and construction of a new mixed-use project that would provide 30 residential units (29 affordable senior units, 1 manager unit) and a 3,600 square foot American Legion Post at 1252, 1268



WEST BUILDING ELEVATION

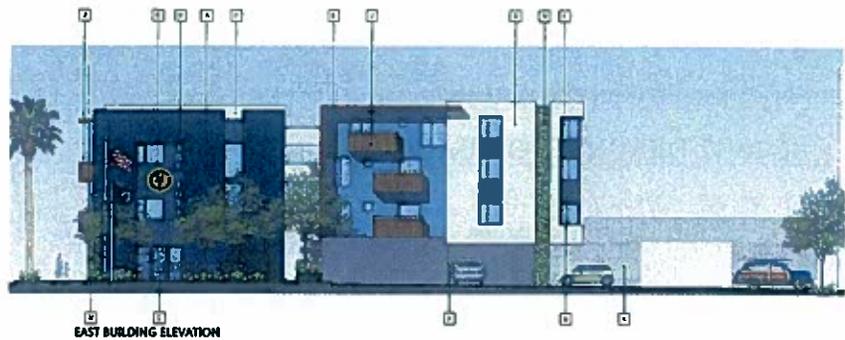
Palm Avenue and 655 Florence Street (APNs 626-242-09-00, 626-242-23-00, 626-242-24-00), which is located in the C-1 (General Commercial) Zone. The project is subject to design review by the Design Review Board because it proposes new commercial development, requires site plan review by the Planning Commission, requires a conditional use permit, and it is located on one of the eight design corridors in the City, Palm Avenue (Imperial Beach Municipal Code (IBMC)19.83.020).

PROJECT EVALUATION/DISCUSSION:

The project site includes three separate lots that would be combined into one approximately 24,750 square foot lot that fronts Palm Avenue and Florence Street (northeast corner of Palm and Florence). The properties to the north, south, east, and west are located in the C-1 Zone; however, residential uses currently occupy the properties to the north and west. An AT&T utility building occupies the property to the east, and a car repair business occupies the property to the west along Palm Avenue.



DESIGN REVIEW: The proposed project fronts along Palm Avenue and Florence Street and the overall design should contribute positively in making an architectural statement along this commercial corridor, as many of the existing buildings in the area are older structures. It is staff's opinion that the proposed design does conform to the intent and purpose of the design standards outlined in IBMC 19.83.010. The applicant's design provides varied rooflines and relief through the incorporation building pop-outs. In addition, the project would provide architectural interest on all elevations with varied



building materials such as corrugated siding, stucco in alternate colors, stained wood siding/fascia, welded wire trellising, and decorative steel.

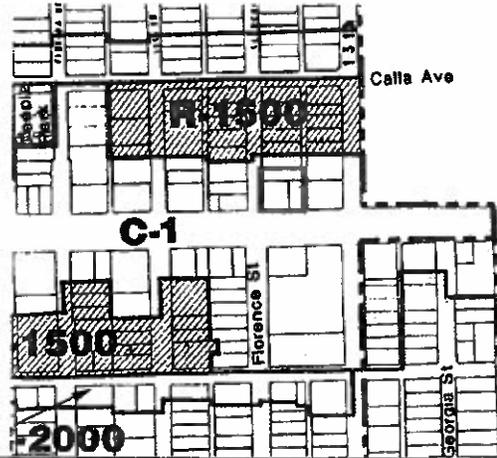
The 24,750 square foot site would require 3,713 square feet of landscaping to meet the 15% on-site landscaping requirement. The project proposes 19,071 square feet of "landscaping and paved areas." Staff is requesting clarification on the amount of proposed landscaping; however, comments and recommendations should be provided as to the location and design of the landscaping (see Attachment 4 – Updated Landscape Plan). Landscaping would be provided on the north and south property lines, and would also be provided within the parking areas, courtyard, and public right-of-way. The proposed landscaping would include shrubs and groundcover along the northern property line, and vines would be provided that would cover the northern 6 foot high screening wall. Shrubs would locate in front of the building along Palm Avenue, and vines would be provided to cover green walls with wire trellising system on the south, west, and east facades (see Attachment 2 – Colored Plans). Various trees would locate in the parking lot and courtyard. In addition, the applicant proposes to provide Mexican Fan Palms in the Palm Avenue right-of-way, and trees in the Florence Street right-of-way.

Vehicular ingress and egress on the project site occurs via one curb cut on Florence Street, and through the alley east of the property site. One existing curb cut on Palm Avenue would be removed. The commercial building will be accessible off of Florence Street and from the parking areas. The proposed building would locate on the south and west property lines on Palm Avenue and Florence Street, which would provide for optimal pedestrian access. The project proposes an optional concrete masonry block wall that would locate on the northwest and northeast portion of the property, and would serve as entryways to the parking areas (see east and west elevations of Attachments 2 and 3).

Per IBMC 19.48.050.H, veteran organizations require one parking space for each one hundred square feet of net floor area, plus one space per two employees. The proposed net floor area for the veteran organization is 2,499 square feet, and the organization would have one employee at each shift, which would typically require 26 parking spaces. In addition, 1.5 parking spaces are required per residential dwelling unit in the C-1 Zone, which would typically require 45 parking spaces for the 30 residential units. However, the Municipal Code states that the City Council may make exceptions to the off-street parking requirements for senior housing developments because "the dwelling characteristics of such developments differ from those of families and younger persons." (IBMC 19.67.060) In addition, the applicant would request reduced parking standards because the project proposes senior affordable housing, which may receive a reduction of parking requirements pursuant to California State law. The applicant is proposing a total of 49 total parking spaces; 19 spaces would be provided for the American Legion veteran organization, which would be consistent with the existing amount of parking spaces provided by the American Legion, and 30 parking spaces for the 30 residential units.



GENERAL PLAN/ ZONING CONSISTENCY: The proposed development is subject to C-1 (General Commercial) zoning requirements. The purpose of the C-1 Zone is to provide areas for business to meet the local demand for commercial goods and services. It is intended that the dominant type of commercial activity in the C-1 Zone will be community and neighborhood serving retail and office uses (IBMC 19.26.010). Veteran organizations and senior housing developments may be allowed in the C-1 Zone with the approval of a Conditional Use Permit (IBMC 19.26.020.B and IBMC 19.67.020).



STANDARDS	PROVIDED/PROPOSED
There are no front, side and rear yard setbacks in the C-1 zone (Section 19.26.040).	The primary structure maintains a 40 foot setback from the north property line, 28 foot setback from the east property line, and 0 setback on the south and west property lines
Minimum lot size of 3,000 square-feet (Section 19.26.050).	Three lots will be combined into one 24,750 square foot lot.
Minimum street frontage of 30 feet (Section 19.26.060).	Palm Avenue frontage of 150 feet. Florence Street frontage of 165 feet
Maximum building height of four stories or 40 feet (Section 19.26.070).	40 feet. The elevator roof structure would extend 4 feet above the height limit (44 feet height overall), which may be allowed per IBMC 19.40.020.A - Building Height Exceptions.
Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.040).	Total amount of landscaping is under review.
Required parking spaces for veteran organizations: one space for each one hundred square feet of net floor area, plus one space per two employees minimum (IBMC 19.48.050.H).	49 parking spaces are proposed for the project (19 for the American Legion, and 30 for the senior affordable dwelling units).
Required parking spaces for senior housing developments are not provided in the Imperial Beach Municipal Code.	City Council may make exceptions to the off-street parking requirements for senior housing developments (IBMC 19.67.060). In addition, the applicant would request reduced parking standards because the project proposes senior affordable housing, which may receive a reduction of parking requirements pursuant to California State law.

Surrounding Land Use and Zoning

	Surrounding Zoning	Surrounding Land Use
North	C-1	Residential
South	C-1	Commercial
East	C-1	Commercial
West	C-1	Commercial/Residential

Drainage

The City requires new development to conform to state water quality/urban runoff requirements. This is a priority project subject to SUSMP regulations because the parking lot surpasses 5,000 square feet and has more than 15 parking spaces. The applicant has submitted the required plans/reports which must be approved by the City Engineer prior to project approval. These plans/reports demonstrate how storm water will be directed to landscaped areas (bioswales) or filters before being discharged into the city's storm sewers or to the beach. Prior to City Council approval, the grading and drainage plans for this project will show compliance with SUSMP.

Signage

Signs for the proposed commercial building are proposed for the east, south and west facades. The signs are still being reviewed for compliance with the Municipal Code sign allowances; however the design should be reviewed and discussed. The proposed signage would include pin-mounted letters in "cascading white" color that would read "American Legion" and "The Post." Also, the applicant proposes to place the American Legion logo on the east façade. The proposed signage relates to the veteran organization and to the building colors.

ENVIRONMENTAL IMPACT:

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 as a Class 32 project (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Non-Appealable area of the California Coastal Commission, as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map, and, as such, is not appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code.

FISCAL ANALYSIS:

The applicant has deposited \$10,500.00 in Project Account Number (110016) to fund the processing of this application.

DEPARTMENT RECOMMENDATION:

1. Consider the design of the project.
2. Recommend conditional approval of project as presented with recommendations provided by the Design Review Board to the City Council for Design Review (DRC 110018).


 Tyler Foltz
 Associate Planner

Attachments:

1. DRB Checklist
 2. Colored Plans
 3. Plans
 4. Updated Landscape Plan
- c: file MF 1072

[Return to Agenda](#)

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1072 Applicant: American Legion Post Project Address: 1252/1268 Palm, 655 Florence

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	NC	NA
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A. RELATIONSHIP OF BUILDINGS TO SITE AND SURROUNDING AREA			
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1. The site should be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.	√		
2. Site planning should provide landscaped setbacks in scale with buildings, an inviting streetscape, usable open space areas, and buffering between properties.	√		
3. Parking areas should be treated with decorative elements, such as, building wall extensions, plantings, trellises, surface patterns, berms or other innovative means to largely screen parking areas from view from public ways.	√		
4. Whenever the natural or existing topography contributes to the amenity and utility of a proposed project, it should be preserved in a manner which enhances and accentuates the project. Modifications to the topography will be considered only when it can be determined that they will contribute to the amenity and utility of the project.			√
5. Architectural styles should be made compatible or integrated with adjacent buildings by such means as screens, site breaks, colors and materials.			√
6. Attractive landscape transition to surrounding properties should be provided.	√		
7. Harmony in design elements, including texture, lines, and masses is required. Monotony shall be avoided. Contrasting design elements should be repeated where appropriate in a harmonious manner. For example, vertical elements contrast with general horizontal lines and should be used where appropriate to make a strong statement.	√		
8. The height, bulk, mass and scale of each building should be compatible with its site and buildings expected to remain or be developed in the surrounding area. Monotony of architectural design is not encouraged.	√		
9. A project proposed in an area deemed to be in a state of decline or blight infestation should be developed in a manner, which will establish and improve the aesthetic quality and character of the area.	√		

B. BUILDING DESIGN, COLORS, AND MATERIALS			
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1. Evaluation of appearance of a project shall be based on the quality of its design and relationship to existing or future surroundings. Inappropriate, incompatible designs shall be avoided.	√		
2. Existing and proposed structures on the same project site should be architecturally and functionally integrated.	√		
3. Innovative and imaginative design and architecture should be encouraged, and inappropriate and monotonous design should be avoided.	√		
4. Variations of building details, form, line, colors and materials, and setting should be employed to create visual interest.	√		

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MF 1072 Applicant: American Legion Post Project Address: 1252/1268 Palm, 655 Florence

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<p>5. Monotony of design in single or multiple building projects should be avoided. Variation of detail, form, and siting should be used to provide visual interest. In multiple building projects, variable siting of individual buildings may be used to prevent a monotonous appearance. Variation in wall plan, roof line and direction, materials and color may be used to prevent a monotonous appearance in buildings. Wall plan variation is recommended to reduce scale and bulk and may often be simple provided by building projections, bay windows, and balconies. Color and landscape materials may be used to accent the variation.</p>	√		
<p>6. Window trim, pop-outs, dormers, bay windows, and other features are encouraged to provide exterior variation in wall plan and materials.</p>	√		
<p>7. New building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationship to one another and with wall masses.</p>	√		
<p>8. The architectural theme employed on a particular building should normally be executed on all exterior surfaces.</p>	√		
<p>9. In any design in which the structural frame is exposed to view, materials and finishes should be selected for architectural harmony or enhancements of the theme, as well as aesthetic quality, durability, and ease of maintenance.</p>	√		
<p>10. Exterior colors which are harmonious and contribute to the aesthetic quality of the project should be selected.</p>	√		
<p>11. Colors shall be harmonious yet color contrast or contrasting tone is encouraged to emphasize architectural detail (see examples in Planning Department). Fluorescent paints and garish colors should be avoided.</p>	√		
<p>12. Materials and colors should be varied where appropriate to provide architectural interest. However, material and color combinations should be repeated where necessary to provide contrast and harmony (visual order) to the building. The number of materials should not exceed what is required for contrast and accent or architectural features and may generally be limited to three.</p>	√		
<p>13. Building materials should not stop abruptly at corners but continue from front to side elevations.</p>	√		
<p>14. Parapet walls/mansard roofs should not stop at short distances on side elevations, but should continue to visually unify all building elevations, as appropriate.</p>			√
<p>15. Blank walls should be avoided by the use of windows, variation of surface plan and materials, and use of shrubbery or trees as landscape screening.</p>	√		
<p>16. Mechanical equipment, including solar collectors and panels, or other utility hardware on roof, ground, or buildings should be screened from public view with materials harmonious with the building, or they should be located so as not to be visible from any public ways.</p>	√		
<p>17. Metal fixtures, trims, and devices, exposed to the ocean environment are subject to abnormally high corrosion and are discouraged.</p>			√

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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18. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, should be conducive to easy maintenance and upkeep.	√		
19. Materials and finishes should be selected for their durability and wear as well as for their beauty. Property measures and devices should be incorporated for protection against the elements, neglect, damage and abuse.	√		
C. LANDSCAPE IMPROVEMENTS AND EXTERIOR LIGHTING Landscape elements included in this criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.			
1. An inviting atmosphere should be created in pedestrian oriented areas through the use of landscaping, walls, fencing, seating, plazas, statues, fountains, and other design features.	√		
2. Grades of walks, parking spaces, terraces, and other paved area should provide an inviting and stable appearance for walking and, if seating is provided, for sitting.	√		
3. Landscape treatment should be provided to enhance architectural features, strengthen vistas and important axis, and provide shade, privacy and buffering, soften large surfaces and paved areas, and accent points of interest. Where practical, existing trees and drought tolerant plants should be preserved and included in the planning and design of the site.	√		
4. Unity of design should be achieved by repetition of certain plant varieties and other materials, and by correlation with adjacent developments, where appropriate.	√		
5. Plant material should be selected for interest in its structure, texture, and color and for its ultimate growth.	√		
6. In locations where plants will be susceptible to injury by pedestrian or motor traffic, or other environmental hazards, they should be protected by appropriate curbs, tree guards, or other devices.	√		
7. Service and storage yards, trash collection areas, exterior work areas, and other places which tend to be unsightly, should be screened by use of walls, fencing, planting, or by combinations of these.	√		
8. In areas where general planting does not prosper, other materials such as fences, walls, trellises and pavings of wood, brick, stone, gravel, and cobbles, should be used. Carefully selected plants should be combined with such materials where possible. Materials should be harmonious with building materials.	√		
9. All plant materials should be selected, arranged, and installed in accordance with sound horticultural and landscape architectural practices per landscape and irrigation plans.	√		
10. Color and texture of landscape elements should be coordinated with color and texture of building materials. Coarse textures and darker or brighter colors may be used where appropriate to reduce perceived distance and size. Fine textures and light or greyed colors may be used for the opposite effect where	√		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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appropriate.			
11. Miscellaneous structures (i.e., structures other than buildings: sign posts, railings, etc.) and street furniture located on private property should be designed to be integrated with, or harmonious with, the architectural building and landscape design proposed for the site. Materials should be durable and compatible with buildings and surroundings in color and scale.	√		
12. Exterior lighting should be designed to enhance the architecture of the building and landscape and shall be restrained in color and brightness. Light standards and fixtures shall be architecturally compatible and scaled to the buildings with consideration for energy efficiency.			√
D. SIGN CRITERIA			
(The same criteria applicable to wall signs shall apply to monument signs.) Project, as conditioned			
1. Signs should be designed as supportive elements to land use. They should be used primarily to identify businesses, professional offices and public and quasi-public facilities.	√		
2. Signs should be compatible with the nature, scale, character, and design of the locale and land uses they serve.	√		
3. Signs should be part of the architectural concept. Size, color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with approved signs on adjoining buildings. Signs shall have good proportion.	√		
4. Colors should be used harmoniously and with restraint. Lighting should be harmonious with the design. If external spot or floodlighting is used, it shall be arranged so that light source is shielded from view.	√		
5. Identification and directory signs should manifest a high degree of artistic order and taste, as well as legibility.	√		
6. Signs should be characterized by restraint. Where practical and practicable, artistic graphics and fine art displays should be used in lieu of "commercial" signs.	√		
7. Signs should place considerable emphasis upon color, harmony, size, shapes, letters, materials and character.	√		
E. CIRCULATION AND PARKING			
1. It is recommended that parking areas be screened from view by the use of landscaping, walls, buildings, or other innovative and decorative concepts.	√		
2. Parking areas and trafficways should be enhanced with landscaped spaces containing trees or tree groupings which shall be adequately irrigated and maintained. Shrubs should be used only where they will not obscure vision.	√		
3. The placement of trees in parkways or paved areas is encouraged.	√		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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4. Vine covered trellises should be provided where appropriate to provide shading and buffering of open parking areas, particularly where tree planting is not provided.			√
5. Parking bays located between the building and the street should be separated from buildings by landscaped areas or protected walkways.			√
6. The mass of large parking areas should be improved through the employment of landscaping, textural variation, or structural interruption (i.e., walls and trellises). Variation of paving material, texture and color is recommended where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick or granite pavers, exposed aggregate, colored concrete or other methods to divide or improve the effect of large expanses of pavement is encouraged.	√		
7. Onsite circulation shall be designed to promote adequate security, police and fire protection; and, to facilitate postal delivery, moving, trash collection and trades services.	√		
8. The layout of offstreet parking areas and onsite circulation systems should place emphasis on: A) Convenience and proximity to the units served.	√		
B) Safety.	√		
C) Screening and separation of buffering from common uses areas, residential units and recreation areas.	√		
9. Directional signs and graphics should be used to promote public safety and convenience.	√		
10. Loading, unloading, and delivery service operations should be preplanned. Parking layouts should clearly indicate that these operations would not adversely affect customer parking or access.	√		
11. The plans of major commercial centers shall be responsive to the physical requirements of public transportation and should provide the requisite pedestrian ways, bus stops, benches, and shelter.			√
12. Secure bicycle parking facilities are encouraged.			√
13. Public or commercial parking areas should be designed for convenience and, where feasible, should be directly accessible from two streets, or a street and an alley.	√		
14. Pedestrian ways within commercial parking areas should be protected from vehicular movements by landscaped areas, curbs, or posts.	√		
15. In multiple family developments, it shall be considered undesirable to located off street parking areas between the buildings and the street. In cases where this design solution is utilized by the Architectural Design Review Advisory Committee, the parking areas should be screened from view. Parking shall be considered between buildings and streets where it does not detract from otherwise exceptional design and neighborhood amenities.			√
16. It is recommended that all parking or maneuvering areas which are perpendicular to building walls be separated by landscaped areas.	√		

DESIGN REVIEW COMPLIANCE CHECKLIST

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F. MULTIPLE-FAMILY RESIDENTIAL ENVIRONMENT			
1. Multiple family dwelling developers should place cardinal emphasis on the protection of residential privacy. Privacy requires sensitive structural and landscaping design, and effective sound-proofing. It is also dependent upon the selection of proper building, screening, and landscaping materials.	√		
2. The site development and design of multi-family development should be coordinated with that of existing or potential adjoining and adjacent development. The project design should be consistent with the standards of good site planning and spatial relationships.	√		
3. The landscape of a multi-family dwelling should be oriented towards the establishment and maintenance of a high order of on and off site environmental and aesthetic quality.	√		
4. The design of all multiple units should promote good circulation, adequate exterior lighting and noise protection. The said design should minimize hazards, and optimize energy conservation. Solar orientation should be considered to reduce heating requirements.	√		
5. Each building site upon which a multi-family project is developed shall provide landscaping and usable open space. The space developed to landscaping may be improved with textured flooring, fountains, ponds, kiosks, and sculpture, as well as plant material.	√		
6. Where practicable, large multi-family developments should provide a variety of building sizes and arrangements.	√		
7. Multiple-family dwelling development shall provide their residents private and/or common open space. Private open space may take the form of patios, balconies, courtyards (atria), or gardens. The establishment of game rooms, children's play areas, meeting rooms, and roof gardens should be encouraged where appropriate.	√		
8. Usable open space required by the zoning ordinance should be distributed throughout the project site.	√		
9. Noise effects on and from all common and private open space should be buffered by fences, walls, and/or barriers, which block the line-of-site of the noise source.	√		
10. Indoor-outdoor integration can be promoted in projects by the use of large windows and sliding glass doors in conjunction with patios, balconies, and courtyards. The said windows and doors, however, should be effectively shuttered or draped in order to prevent substantial night-time energy losses.	√		
11. Common open space should be provided in large areas if feasible. Large areas of open space can be imaginatively landscaped, well utilized, and economically maintained.	√		

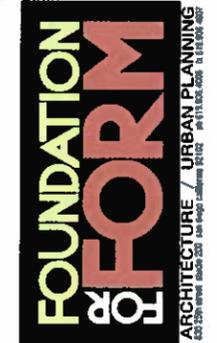
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ATTACHMENT 2

KEY NOTES - COLOR SITE PLAN/
ROOF PLAN

- 1 AMERICAN LEGION ENTRY
- 2 STAIRS
- 3 MEMBER'S PATIO
- 4 PARKING AREA PER PLAN
- 5 ELEVATOR
- 6 LANDSCAPING PER PLAN
- 7 RESIDENTIAL ENTRY
- 8 REFUSE & RE-CYCLING AREA PER PLAN



The Post
 1252 & 1268 Palm Avenue, Imperial Beach, CA 91932
 Hitzke Development Corporation

SUBMITTAL SET 6 85 11

 PROJECT : 1007

SITE PLAN



SITE PLAN
COLOR 1

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WEST BUILDING ELEVATION

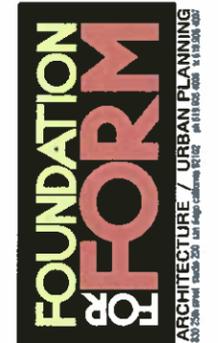


SOUTH BUILDING ELEVATION



KEY NOTES - COLOR ELEVATIONS

- A** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: MIDNIGHT HAZE
- B** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: HAMILTON BLUE
- C** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: REDWOOD CITY
- D** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: FOGGY DAY
- E** FLAT KYMAR COATED METAL PANELING AND STOREFRONT
COLOR: RHINOCEROS
- F** SOUTHWEST VINYL WINDOWS WITH MIRROR
COLOR COATING
COLOR: SIERRA
- G** STEEL KYMAR COATED BOX BEAM
CORRUGATED SIDING
COLOR: RHINOCEROS
- H** PAINTED STEEL SUPPORT COLUMNS AND DECORATIVE STEEL
COLOR: CASCADING WHITE
- J** VERTICAL STAINED WOOD SILING AND ROOF TASCAS
COLOR: CHESTNUT
- K** CONCRETE MASONRY BLOCK
TEXTURE: SHOTBLAST
COLOR: BUFF
- M** THREE-DIMENSIONAL WELDED WIRE TRELLISING SYSTEM
COLOR: MATTE WRINKLE GREEN
- N** PWA-MOUNTED SIGNAGE
COLOR: CASCADING WHITE



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 Hitzke Development Corporation

SUBMITTAL SET 6/14/11

 PROJECT - 1007

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EAST BUILDING ELEVATION

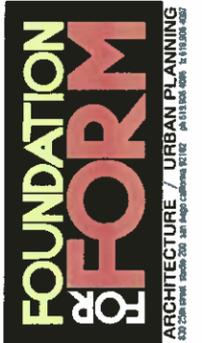


NORTH BUILDING ELEVATION



KEY NOTES - COLOR ELEVATIONS

- A** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: MIDNIGHT HAZE
- B** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: HAMILTON BLUE
- C** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: REDWOOD CITY
- D** STUCCO FIELD COLOR - OMEGA ACRYLIC STUCCO
TEXTURE: SEMI-SMOOTH
COLOR: FOGGY DAY
- E** FLAT KYNAR COATED METAL PANELING AND
STOREFRONT
COLOR: RHINOCEROS
- F** SOUTHWEST VINYL WINDOWS WITH MIRROR
COLOR COATING
COLOR: SIERRA
- G** STEEL KYNAR COATED BOX BEAM
CORRUGATED SIDING
COLOR: RHINOCEROS
- H** PAINTED STEEL SUPPORT COLUMNS AND
DECORATIVE STEEL
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- J** VERTICAL STAINED WOOD SIDING AND ROOF
FASCIAS
COLOR: CHESTNUT
- K** CONCRETE MASONRY BLOCK
TEXTURE: SHOTBLAST
COLOR: BUFF
- M** THREE-DIMENSIONAL WELDED WIRE
TRELLISING SYSTEM
COLOR: MATTE WRINKLE GREEN
- N** PIN-MOUNTED SIGNAGE
COLOR: CASCADING WHITE



The Post
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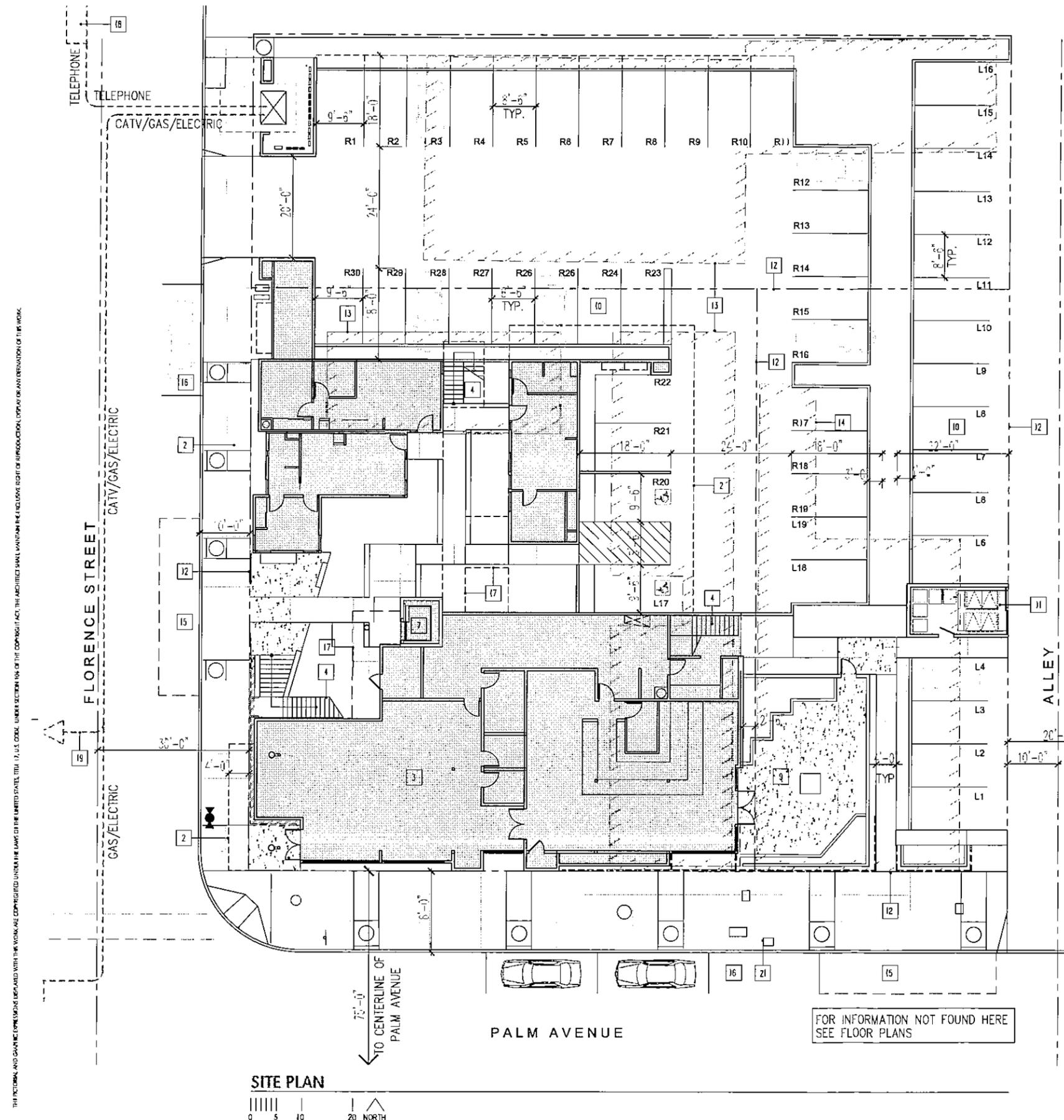
SUBMITTAL SET 6/16/21

 PROJECT : 1007



The Post
1252 & 1268 Palm Avenue, Imperial Beach, CA 91932
Hitzke Development Corporation

TITLE SHEET
TS



KEY NOTES

- 1 LINE OF WALL BELOW, TYP.
- 2 LINE OF BUILDING ABOVE, TYP.
- 3 AMERICAN LEGION SPACE
- 4 STAIRS PER PLAN
- 5 PRIVATE PATIO PER PLAN
- 6 OPENING IN ROOF
- 7 ELEVATOR
- 8 ELEVATOR CANOPY
- 9 MEMBERS PATIO
- 10 PARKING PER PLAN
- 11 REFUSE & RECYCLING AREA, SEE SHEET A 3
- 12 PROPERTY LINE, TYP.
- 13 EXISTING BUILDINGS - TO BE DEMOLISHED PHASE 1
- 14 EXISTING BUILDINGS - TO BE DEMOLISHED PHASE 2
- 15 LOADING ZONE
- 16 EXISTING CURB SPACES TO REMAIN
- 17 LINE OF WALKWAY ABOVE
- 18 AT&T SOURCE
- 19 CATV SOURCE
- 20 SDG&E SOURCE
- 21 EXISTING UTILITY BOXES TO REMAIN

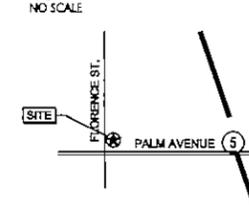
SHEET INDEX

TS	TITLE SHEET / SITE PLAN / ROOF PLAN
C-1	PRELIMINARY GRADING PLAN
C-2	PRELIMINARY UTILITY PLAN
L-1	LANDSCAPE CONCEPT PLAN
L-2	LANDSCAPE DETAILS
A1	SITE PLAN / FLOOR PLAN LEVEL ONE
A2	FLOOR PLAN LEVEL TWO & THREE
A3	FLOOR PLAN LEVEL FOUR
A4	BUILDING SECTIONS
A5	EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS

UNIT REFERENCE TABLE

UNIT TYPE	#	UNIT SIZE RANGE
1 BEDROOM	29	500 SF avg.
2 BEDROOM	1	850 SF
TOTAL UNITS		30

VICINITY MAP



PROJECT DATA

PROJECT NAME: THE POST
PROJECT ADDRESS: 1252 & 1268 PALM AVENUE
IMPERIAL BEACH, CA 91932
ASSESSOR'S PARCEL NUMBERS: 626-242-09 & 626-242-24
LEGAL DESCRIPTION:

PROJECT DESCRIPTION:
THE POST IS A MIXED-USE RESIDENTIAL AND COMMERCIAL BUILDING WITH ON-GRADE PARKING SPACES AND EXTERIOR PATIO.
GENERAL PLAN DESIGNATION: C-COMMERCIAL
NUMBER OF RESIDENTIAL UNITS: 30
COMMERCIAL TENANT SPACE: 3,627 SF (G.F.A.)
BUILDING HEIGHT: 40'-0" MAX, SEE ELEVATIONS
PROPOSED F.A.R.: 0.87

SITE AREA:	0.56 ACRES (24,776 S.F.)
LOT COVERAGE:	7,112 SF / 24,776 = 28%
EXISTING AND PROPOSED ZONE:	GENERAL COMMERCIAL C-1
GENERAL PLAN DESIGNATION:	C-COMMERCIAL
NUMBER OF RESIDENTIAL UNITS:	30
COMMERCIAL TENANT SPACE:	3,627 SF (G.F.A.)
BUILDING HEIGHT:	40'-0" MAX, SEE ELEVATIONS
PROPOSED F.A.R.:	0.87
BUILDING SQUARE FOOTAGE:	
RESIDENTIAL (LEVEL 1):	1,542
RESIDENTIAL (LEVEL 2):	4,750
OFFICE/COMMON (LEV 2):	610
RESIDENTIAL (LEVEL 3):	6,157
RESIDENTIAL (LEVEL 4):	3,074
COMMERCIAL PORTION:	3,627
MISC. BUILDING:	1,832
TOTAL:	21,592

PROPOSED USE: NEW MIXED-USE RESIDENTIAL AND COMMERCIAL BUILDING WITH ON-GRADE PARKING SPACES AND EXTERIOR PATIO

REQUIRED PARKING SPACES*	
AMERICAN LEGION	(1 PER 100 SF N.F.A.**) 2,399 SF / 100 = 24
RESIDENTIAL	(1.5 / UNIT) 21 x 1.5 = 32
TOTAL REQUIRED:	56
PROVIDED PARKING SPACES*	
AMERICAN LEGION	(1 PER 126 SF N.F.A.**) 2,399 SF / 126 = 19
RESIDENTIAL	(1) / UNIT 30 x 1 = 30
TOTAL PROVIDED:	49
TOTAL PROVIDED LOADING SPACES OFF-SITE:	7

OPEN SPACE	
REQUIRED:	(15% OF COM G.F.A.**) 3,627 SF x .15 = 544 SF (300 / UNIT) 30 UNITS x 300 = 9,000 SF
TOTAL REQUIRED:	6,844 SF
PROVIDED:	MEMBERS GROUND LEVEL PATIO 901 SF RESIDENTIAL 2ND LEVEL PATIO 354 SF RESIDENTIAL BALCONIES 604 SF
TOTAL PROVIDED:	1,859 SF

* SEE ATTACHED PARKING STUDY FOR FURTHER INFORMATION
** G.F.A. = GROSS/TOTAL FLOOR AREA
N.F.A. = NET FLOOR AREA

GENERAL SQUARE FOOTAGE PERCENTAGES:	
LOT AREA:	24,776
BUILDING FOOTPRINT:	5,705
LANDSCAPING & PAVED AREAS:	19,071

LANDSCAPING & PAVED AREAS ONSITE:	19,071 SF / 24,776 SF = 77%
BUILDING FOOTPRINT ONSITE:	5,705 SF / 24,776 SF = 23%

PROJECT TEAM

PROPERTY OWNER: AMERICAN LEGION IMPERIAL BEACH
POST B20
1628 PALM AVENUE
IMPERIAL BEACH, CA 91932
PH #: (619) 423-7662
CONTACT: DOUG LAROCK

CLIENT/APPLICANT: HITZKE DEVELOPMENT CORPORATION
251 AUTUMN DRIVE
SUITE 100
SAN MARCOS, CA 92169
PH #: (760) 798-9909
FAX #: (760) 539-9978
CONTACT: GINGER HITZKE

ARCHITECT: FOUNDATION FOR FORM ARCHITECTURE
830 15th STREET SUITE 200
SAN DIEGO, CA 92102
PH #: (619) 906-4005
FAX #: (619) 906-4007
CONTACT: MIKE BURNETT

LANDSCAPE: M ZAKI DESIGN INC.
4670 SARATOGA AVE. #3
SAN DIEGO, CA 92107
PH #: (619) 255-1802
CELL #: (619) 933-4821
CONTACT: MOHAMED ZAKI

CIVIL: SWS ENGINEERING
261 AUTUMN DRIVE SUITE 115
SAN MARCOS, CA 92069
PH #: (760) 744-0011
FAX #: (760) 744-0046

SUBMITTAL SET: 6.16.11

PROJECT #: 1009

SITE PLAN



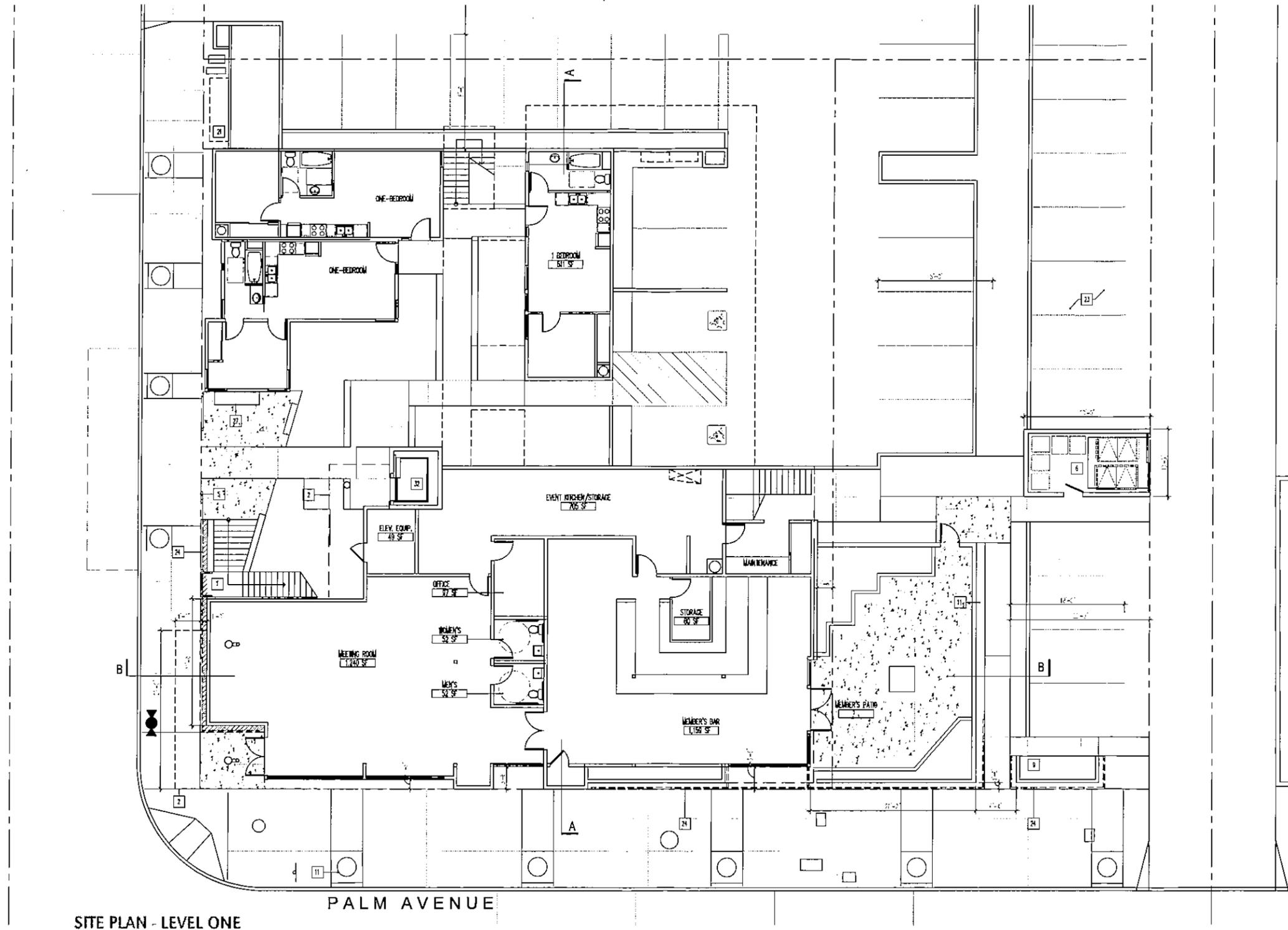
FOR INFORMATION NOT FOUND HERE
SEE FLOOR PLANS

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 Hitzke Development Corporation

SUBMITTAL SET 6.16.11

FOUNDATION 4/10/11



SITE PLAN - LEVEL ONE

PARKING NOTES

- STANDARD SPACES, 8'-6" X 18'-0", TYP.
- ALL ACCESSIBLE PARKING SPACES SHALL COMPLY WITH U.S.C. SECTION 11298.4.1
- PROVIDE A BUMPER OR CURB AT EACH SPACE TO PREVENT ENCRoACHMENT INTO REQUIRED WIDTH OF WALKWAYS PER U.S.C. SECTION 11298.4.3.
- ALL ACCESSIBLE PARKING SPACES ARE TO BE IDENTIFIED BY A REFLECTORIZED SIGN, PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH SPACE.
- EACH ACCESSIBLE PARKING SPACE IS REQUIRED TO BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH SPACE.

GENERAL NOTES

- FOR ADDITIONAL INFORMATION SEE CIVIL DRAWINGS. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION ON PROPOSED WALLS, RETAINING WALLS AND FENCES. SEE CIVIL FOR ADDITIONAL INFORMATION ON CURB RAMP.
- FOR ADDITIONAL INFORMATION SEE LANDSCAPE DRAWINGS.
- SEE GRADING PLANS FOR SLOPES AT ALL WALKWAYS. CURB CUTS PER U.S.C. SHALL BE PROVIDED AT ALL INTERSECTIONS WITH WALKWAYS.
- AREA LIGHTING SHALL BE DESIGNED AND DIRECTED TO PREVENT EXCESS LIGHT FROM FALLING ON ADJACENT PROPERTIES TO THE NORTH, SOUTH AND EAST. ALL WALKWAYS, PATIOS AND COURTYARD SPACES SHALL BE PROPERLY LIT TO MAINTAIN A SECURE AND SAFE LIVING ENVIRONMENT. EXACT INTENSITY AND LOCATION OF SITE LIGHTING WILL BE PROVIDED AT TIME OF BUILDING PERMIT SUBMITTAL FOR REVIEW AND CONFORMANCE TO CITY OF IMPERIAL BEACH STANDARDS.
- ALL SIGNS THAT WILL BE USED FOR THE PROJECT SHALL BE CONSISTENT WITH MUNICIPAL CODE SIGN PERMITS.

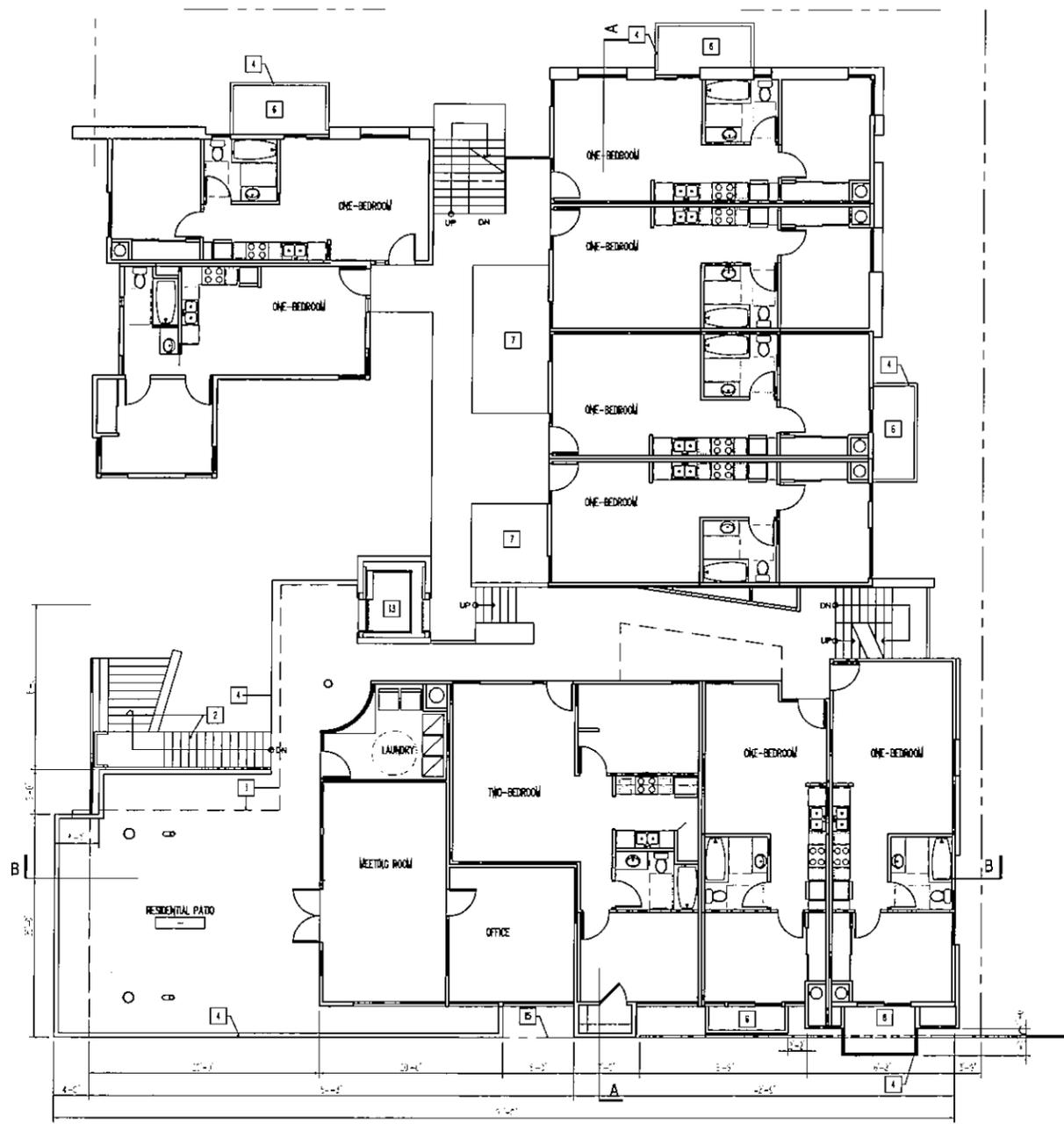
KEY NOTES - SITE PLAN / LEVEL ONE

- | | |
|--|---|
| 1 NOT USED | 12 PARKING AREA OPEN TO SKY ABOVE |
| 2 LINE OF FLOOR ABOVE TYP. | 13 NEW ELECTRICAL TRANSFORMER |
| 3 PARKING SPACES TYP. 18'-6" X 18'-0" (MIN.) | 14 NOT USED |
| 4 SOLID FENCE, PER CIVIL | 15 NOT USED |
| 5 PROPERTY LINE TYP. | 16 NEW SIDEWALK, DRIVEWAYS, CURB AND GUTTER PER CIVIL |
| 6 REFUSE AND RECYCLING AREA ENCLOSURE, SEE SHEET A 3 | 17 NOT USED |
| 7 STEEL AND CONCRETE STAIR TO LEVEL TWO TYP. | 18 NOT USED |
| 8 ACCESSIBLE PARKING | 19 NEW ELECTRICAL METERS |
| 9 BICYCLE PARKING | 20 NEW GAS METERS |
| 10 STRIPED ACCESSIBLE WALKWAY | 21 NEW BACKFLOW PREVENTER, PER CIVIL |
| 11 GARDEN & HARDSCAPE PER LANDSCAPE DRAWINGS | 22 LOCATION OF EXISTING BUILDINGS (SHOWN DASHED) |

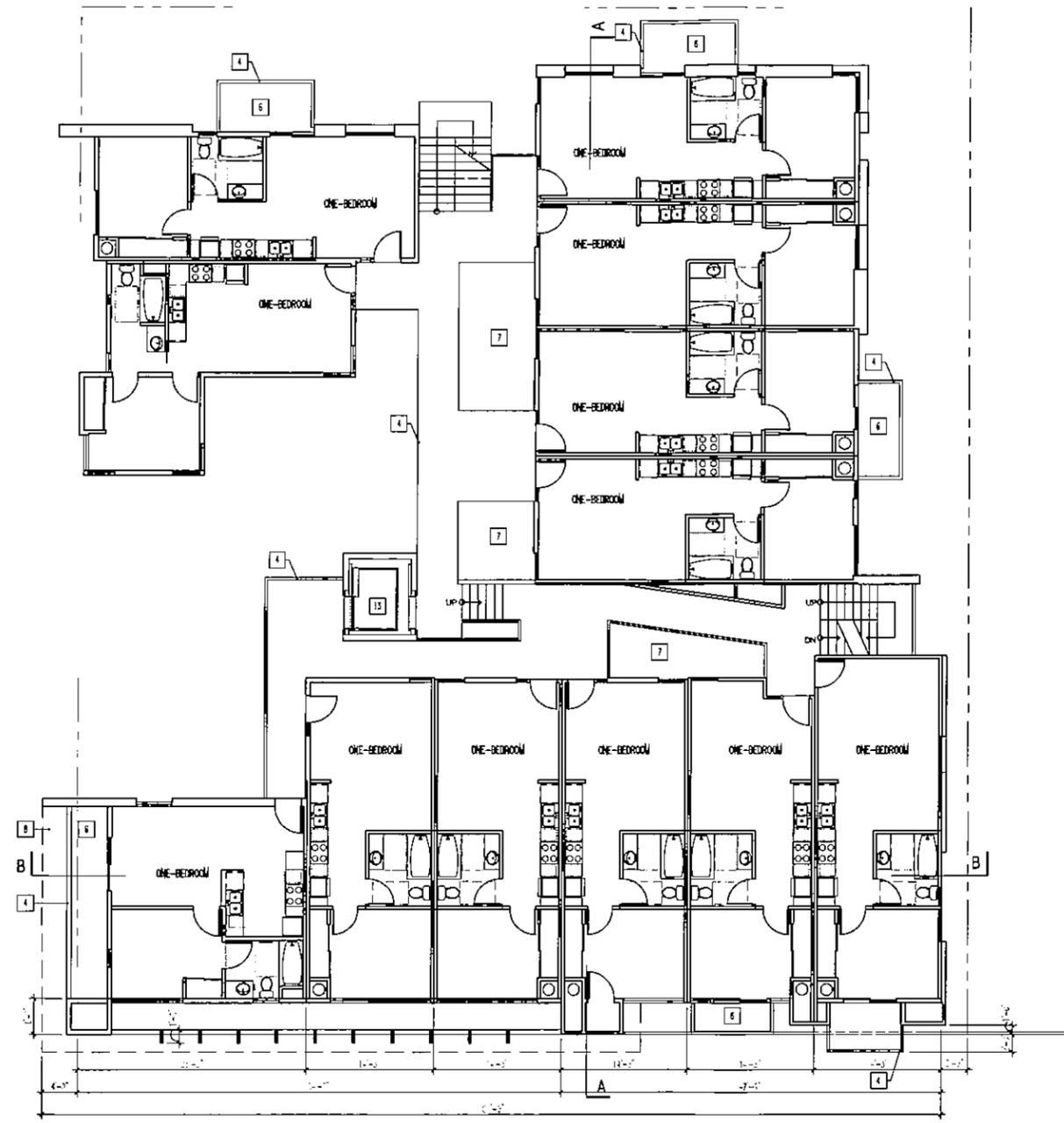
- | |
|---|
| 23 ALLEY PARKING SPACES (8'-6" X 22'-0" MIN.) |
| 24 3-D GREEN-SCREEN WALL |
| 25 TEL-CO PANELS |
| 26 MAINTENANCE ROOM |
| 27 MAILBOX AREA |
| 28 UTILITIES PER CIVIL |
| 29 BIOSWALE - PER CIVIL/LANDSCAPE |
| 30 LIGHT POLE |
| 31 LIGHTING FIXTURE AT TUCK-UNDER PARKING |
| 32 ELEVATOR |

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FLOOR PLAN - LEVEL TWO

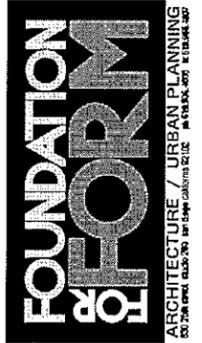


FLOOR PLAN - LEVEL THREE



KEY NOTES - FLOOR PLAN

- 1 LINE OF BUILDING OVERHANG ABOVE
- 2 CONCRETE AND STEEL STAIRS
- 3 LINE OF WALKWAY ABOVE
- 4 GUARDRAIL @ 42" A.F.F.
- 5 LINE OF WALL BELOW
- 6 PRIVATE PATIOS
- 7 OPEN TO BELOW
- 8 LINE OF ROOF ABOVE
- 9 LINE OF PATIO ABOVE
- 10 SOLAR SHADING DEVICE
- 11 OPENING @ ROOF ABOVE
- 12 LANDSCAPED PLANTER, PER LANDSCAPE
- 13 TWO-SIDED ELEVATOR
- 14 RESIDENTIAL PATIO
- 15 PROPERTY LINE, TYP.



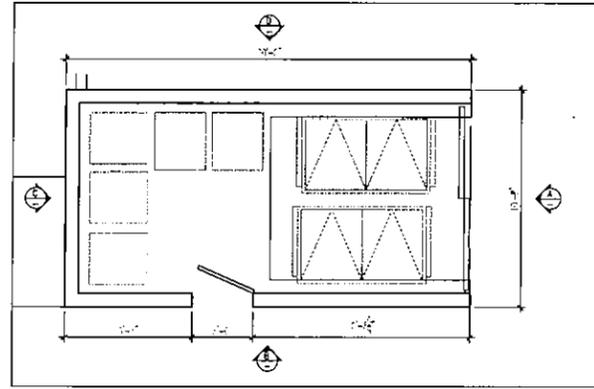
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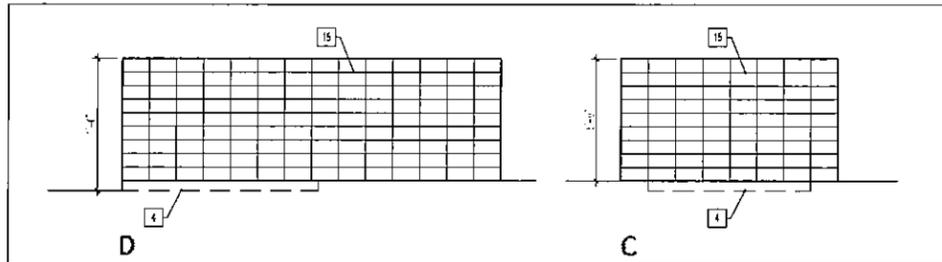
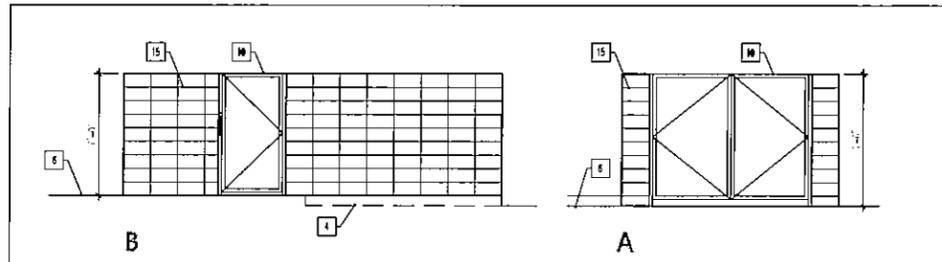
FLOOR PLAN LEVELS 2&3

1/8"=1'-0"
A 2

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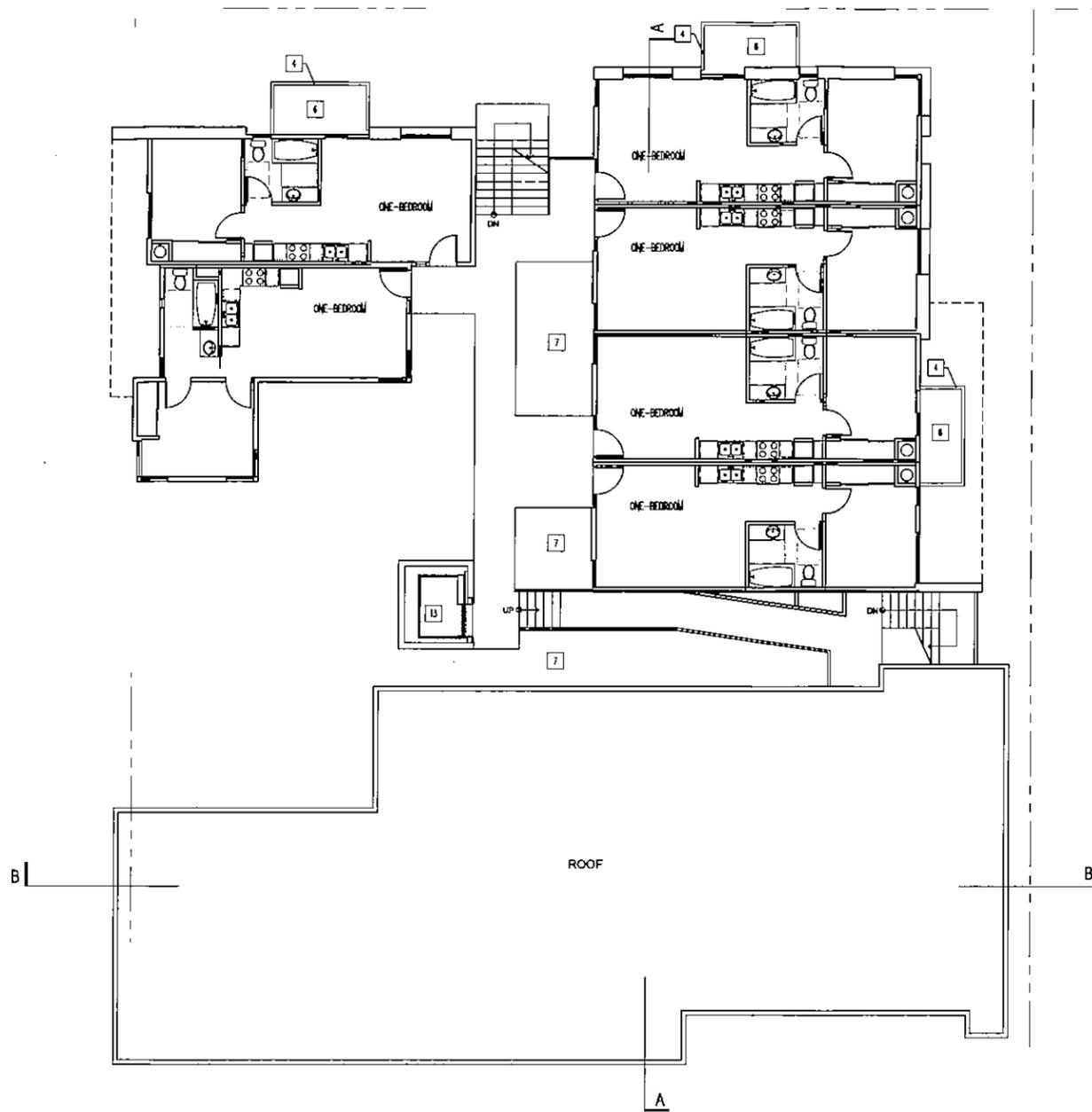


PLAN



ELEVATIONS

TRASH ENCLOSURE - PLAN & ELEVATIONS



FLOOR PLAN - LEVEL FOUR



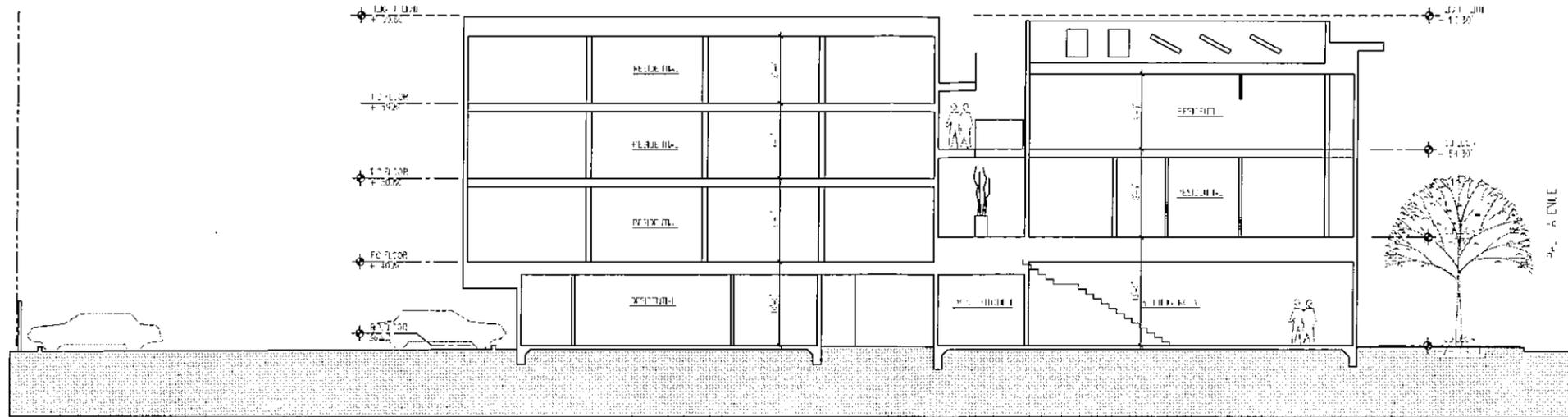
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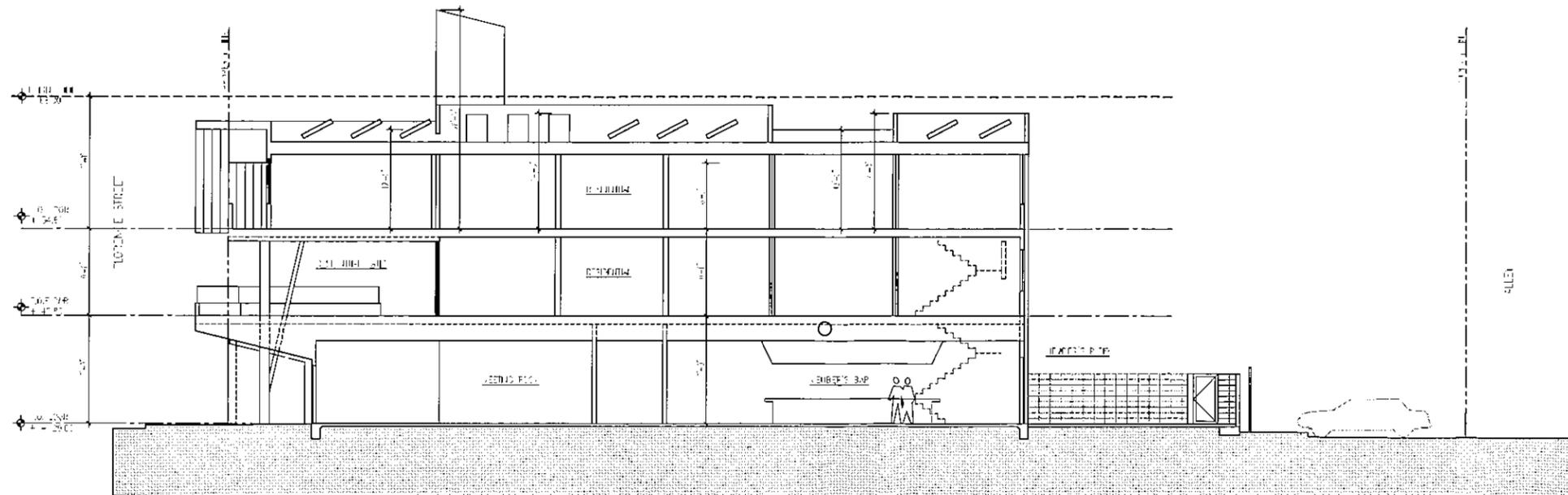
PROJECT: 1007

FLOOR PLAN
LEVEL 4
1/8"=1'-0"
A 3

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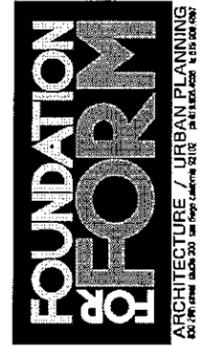
BUILDING SECTION A



BUILDING SECTION B

**KEY NOTES -
ELEVATIONS/SECTIONS**

- 1 SMOOTH STUCCO WALL FINISH (COLOR TBD)
- 2 DEEP SET DARK GRAY WINDOW PER PLAN
- 3 DEEP SET DARK GRAY ANODIZED STOREFRONT GLASS SYSTEM PER PLAN
- 4 LINE OF WALL / FLOOR BEYOND
- 5 PAINTED STEEL 4" SECTION Lintel (COLOR TBD)
- 6 LINE OF FR. GRADE
- 7 42" HIGH PAINTED CEMENTITIOUS VERTICAL SIDING AND GLASS GUARDRAIL
- 8 CONC. & STEEL STAIRS PER PLAN
- 9 SMOOTH CEMENTITIOUS VERTICAL PLANK SIDING (COLOR TBD)
- 10 STEEL DOOR AND FRAME (COLOR TBD)
- 11 3-D GREEN-SCREEN WALL
- 12 SOLAR SHADING DEVICE
- 13 42" HIGH STEEL GUARDRAIL
- 14 STEEL PIPE COLUMN PER PLAN (COLOR TBD)
- 15 CONCRETE MASONRY UNIT BLOCK WALL (COLOR TBD)
- 16 PERFORATED STEEL SCREEN AT STAIR GUARDRAILS
- 17 PAINTED CEMENTITIOUS VERTICAL SIDING FASCIA (COLOR TBD)
- 18 BOX BEAM CORRUGATED SIDING (COLOR TBD)
- 19 OPEN TO BEYOND
- 20 RAISED PLANTER PER LANDSCAPE
- 21 DROPPED SOFFIT
- 22 PHOTOVOLTAIC SOLAR PANEL
- 23 PRIVATE PATIO PER PLAN



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PROJECT 10111

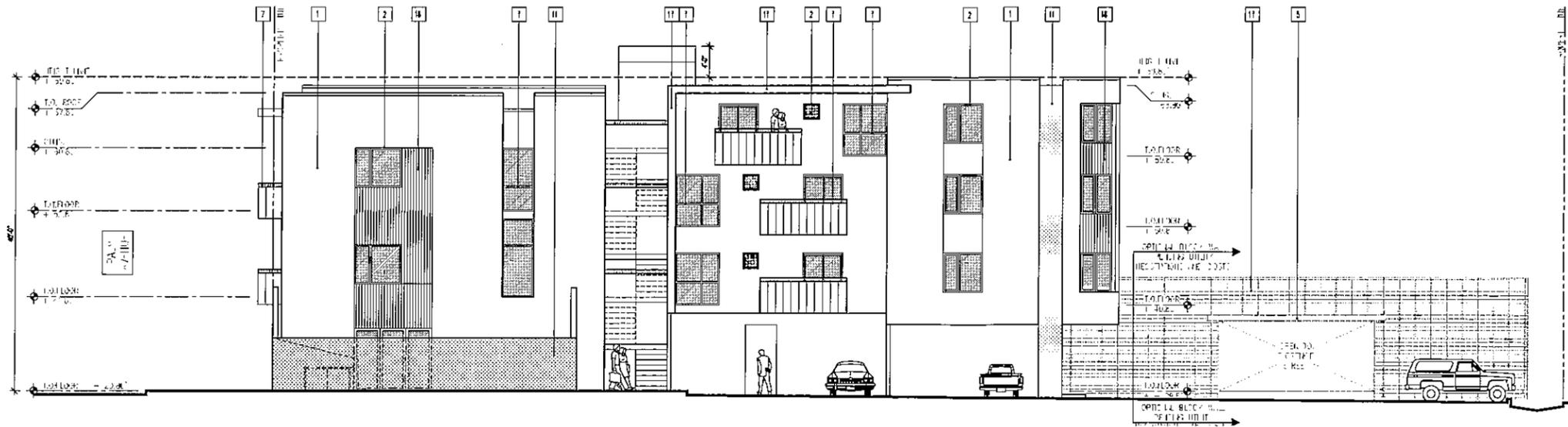
**BUILDING
SECTIONS**
1/8"=1'-0"
A4

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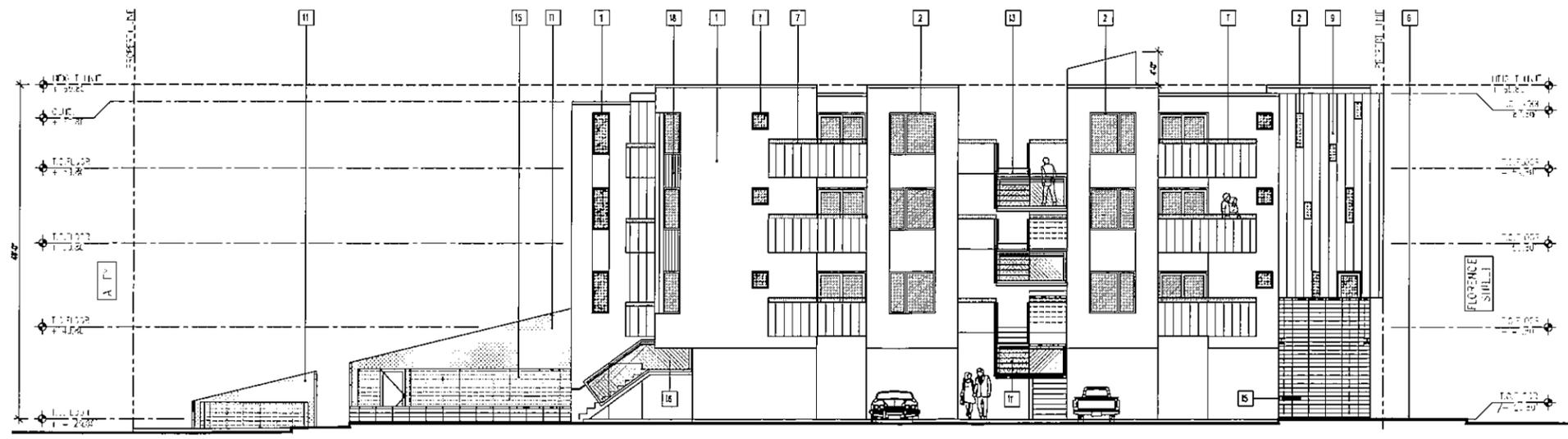


**KEY NOTES -
ELEVATIONS/SECTIONS**

- 1 SMOOTH STUCCO WALL FINISH (COLOR TBD)
- 2 DEEP SET DARK GRAY WINDOW PER PLAN
- 3 DEEP SET DARK GRAY ANODIZED STOREFRONT GLASS SYSTEM PER PLAN
- 4 LINE OF WALL / FLOOR BEYOND
- 5 PAINTED STEEL #4 SECTION LINTEL (COLOR TBD)
- 6 LINE OF FIN. GRADE
- 7 42" HIGH PAINTED CEMENTITIOUS VERTICAL SIDING AND GLASS GUARDRAIL
- 8 CONC. & STEEL STAIRS PER PLAN
- 9 SMOOTH CEMENTITIOUS VERTICAL PLANK SIDING (COLOR TBD)
- 10 STEEL DOOR AND FRAME (COLOR TBD)
- 11 3-D GREEN-SCREEN WALL
- 12 SOLAR SHADING DEVICE
- 13 42" HIGH STEEL GUARDRAIL
- 14 STEEL PIPE COLUMN PER PLAN (COLOR TBD)
- 15 CONCRETE MASONRY UNIT BLOCK WALL (COLOR TBD)
- 16 PERFORATED STEEL SCREEN AT STAIR GUARDRAILS
- 17 PAINTED CEMENTITIOUS VERTICAL SIDING TASCIA (COLOR TBD)
- 18 BOX BEAM CORRUGATED SIDING (COLOR TBD)
- 19 OPEN TO BEYOND
- 20 RAISED PLANTER PER LANDSCAPE
- 21 DROPPED SOFFIT
- 22 PHOTOVOLTAIC SOLAR PANEL
- 23 PRIVATE PATIO PER PLAN



EAST BUILDING ELEVATION



NORTH BUILDING ELEVATION

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**BUILDING
ELEVATIONS**
1/8"=1'-0"
A6

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.
SYMBOL: Description

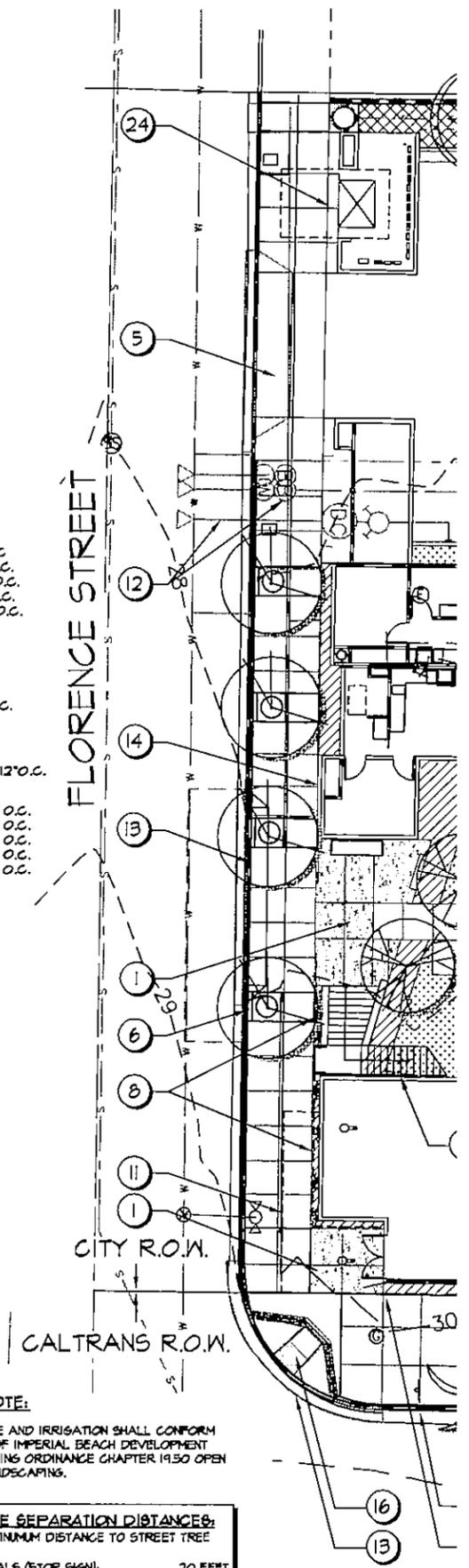
Symbol	Description	Size
STREET TREES		
FALM AVENUE		
	WASHINGTONIA ROBUSTA - MEXICAN FAN PALM	20-24' BTH
FLORENCE STREET		
	CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE	36" BOX
	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD	36" BOX
	KOELREUTERIA BIPINNATA - CHINESE FLAME TREE	36" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	36" BOX
PARKING LOT TREES		
	ARBUTUS 'MARINA' - NON	24" BOX
	FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH	24" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	24" BOX
	ULMUS PARVIFOLIA - CHINESE ELM	24" BOX
COURTYARD TREES		
	ALBIZIA JULIBRISSIN - MIMOSA TREE	36" BOX
	BETULA PENDULA - EUROPEAN WHITE BIRCH	36" BOX
	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD	36" BOX
	BAUHINIA PURPUREA - PURPLE ORCHID TREE	36" BOX
BUILDING FOUNDATION SHRUBS		
	ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.	5 GAL.
	ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAM VAR.	5 GAL.
	BUXIX MACROPHYLLA JAPONICA - JAPANESE BOXWOOD	5 GAL.
	FATSIA JAPONICA 'VARIEGATA' - JAPANESE ARLIA VAR.	5 GAL.
	HAKONECHLOA MACRA - JAPANESE FOREST GRASS	1 GAL.
	NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS	1 GAL.
	RHORMIUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX	5 GAL.
	SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE	5 GAL.
BUILDING FOUNDATION GROUNDCOVER		
	ADIANTUM CAPILLUS-VENERIS - SOUTHERN MAIDENHAIR	1 GAL/15" O.C.
	FESTUCA O. GLAUCA - BLUE FESCUE	1 GAL/15" O.C.
	GALLIUM ODORATUM - SWEET WOODRUFF	1 GAL/24" O.C.
	LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF	1 GAL/18" O.C.
	TRACHELOSPERMUM JASMINOIDES - STAR JASMINE	PLATS/24" O.C.
BIO-SWALE / STORMWATER MANAGEMENT & PARKING PLANTS		
	CAREX BUCCHANANI - LEATHER LEAF SEDGE	1 GAL.
	IRIS DOUGLASIANA - DOUGLAS IRIS	1 GAL.
	LEYMUS CONDENSATUS 'CANYON PRINCE' - MILD RYE	3 GAL.
	MUEHLBERGIA CAPILLARIS 'REGAL MIST' - PINK MUILY VAR.	5 GAL.
	SENECIO SERPENS - SENECIO	1 GAL/12" O.C.
COURTYARD SHRUBS AND GROUNDCOVER		
	ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO FAN VAR.	5 GAL.
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER	5 GAL.
	SEDUM SPP. / STONE CROP	3 1/2" POTS/12" O.C.
GREEN WALL SHRUBS / VINES		
	DISTICTIS BUCCINATORIA - BLOODRED TRUMPET VINE	5 GAL. @ 15" O.C.
	LONICERA JAPONICA - JAPANESE HONEYSUCKLE	5 GAL. @ 15" O.C.
	PANDORA JASMINOIDES 'LADY DI' - BOWSER VINE	5 GAL. @ 15" O.C.
	PARTHENOCISSUS TRICUSPIDATA - BOSTON IVY	5 GAL. @ 15" O.C.
	TECOMA CAPENSIS - CAPE HONEYSUCKLE	5 GAL. @ 15" O.C.

- PLAN KEYNOTES:**
- PROJECT ENTRIES WITH ENHANCED CONCRETE PAVEMENT, SCORING, AND ORNAMENTAL PLANTING AND POTS.
 - MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS, PLANTING, SHADE TREES & BBQ.
 - GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
 - PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
 - NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
 - STREET TREES IN GRATES PER LEGEND & DETAIL #, SHEET L2.0.
 - SHRUBS AND GROUNDCOVER IN PLANTING AREA PER LEGEND.
 - GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
 - STAIRS AND ELEVATOR PER ARCH. DRAWINGS.
 - BUILDING OR WALLS PER ARCH. DRAWINGS.
 - BUILDING ABOVE AND COLUMN PER ARCH. DRAWINGS.
 - EXISTING AND/OR PROPOSED UTILITIES PER CIVIL OR DRY UTILITY CONSULTANT DRAWINGS.
 - NEW CURB OR CURB & GUTTER PER CIVIL DRAWINGS.
 - RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
 - FALM AVENUE - CALTRANS RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
 - NEW ADA RAMP & CURB CORNER PER CIVIL DRAWINGS.
 - BIO-SWALE PLANTING AREA TO TREAT RUN-OFF FROM ASPHALT PARKING AREA.
 - 18" HIGH RAISED STORMWATER MANAGEMENT PLANTER TO TREAT RUN-OFF FROM ROOF WITH ROCKS, GROUNDCOVER, SHRUBS AND TREES.
 - 6' HIGH SCREEN WALL ON PROPERTY LINE.
 - BUILT-IN SEAT WALL ALONG PLANTER AND WALL.
 - STAINLESS STEEL BBQ.
 - ADA PARKING.
 - TRASH & RECYCLE ENCLOSURE PER ARCH. DRAWINGS.
 - ELECTRIC TRANSFORMER PER DRY UTILITY CONSULTANT.
 - EXISTING CURB & GUTTER TO REMAIN.
 - NEW GRAY CONCRETE SIDEWALK.

GENERAL NOTE:
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH DEVELOPMENT GUIDELINES, ZONING ORDINANCE CHAPTER 19.50 OPEN SPACE AND LANDSCAPING.

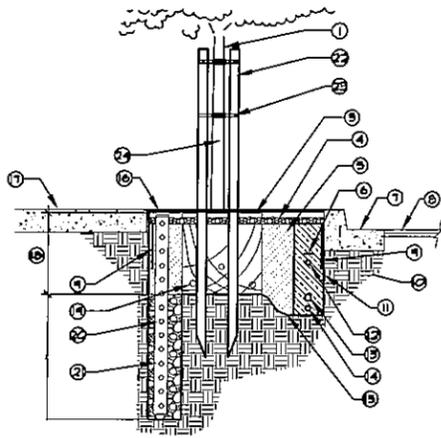
MINIMUM TREE SEPARATION DISTANCES:
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN):	20 FEET
- UNDERGROUND UTILITY LINES:	10 FEET
- ABOVE GROUND UTILITY STRUCTURES:	10 FEET
- DRIVEWAY (ENTRIES):	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS):	25 FEET



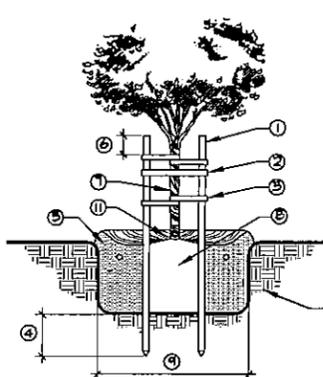
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- ① TREE.
- ② ROOTBALL.
- ③ PLANT TOP OF ROOTBALL 1" ABOVE SOIL LEVEL.
- ④ 3" DEPTH GRAVEL.
- ⑤ PLANTING BACKFILL - PER SOIL REPORT.
- ⑥ TRENCH MARKER.
- ⑦ CURB.
- ⑧ STREET.
- ⑨ ROOT BARRIER.
- ⑩ 90% COMPACTED SUBGRADE OR PER GEOTECHNICAL REPORT.
- ⑪ IRRIGATION TRENCH.
- ⑫ IRRIGATION LATERAL.
- ⑬ IRRIGATION MAIN.
- ⑭ IRRIGATION CONTROL WIRES IN SCHEDULE 40 SLEEVE.
- ⑮ EXCAVATE EDGES OF PIT 12" BELOW ROOT BALL.
- ⑯ ADA APPROVED TREE GRATE, PER LC-1 & LC-2.
- ⑰ PAVING.
- ⑱ DEPTH OF ROOTBALL.
- ⑲ PLANT TABS PER SPECIFICATIONS.
- ⑳ OPTIONAL, 8" DIA. AUGER DRAINAGE SUMP BACKFILLED WITH PEA GRAVEL.
- ㉑ 4" DIA. RIGID PERFORATED PIPE WRAPPED WITH FILTER FABRIC, EMPTY TO BOTTOM WITH 4" FLAT DRAIN CAP (NDS NO. 13 OR EQUAL).
- ㉒ TWO 10' LONG LODGEPOLE PINE TREE STAKES IN NURSERY STAKE HOLES.
- ㉓ TREE TIE PER SPECIFICATIONS.
- ㉔ TREE TRUNK.

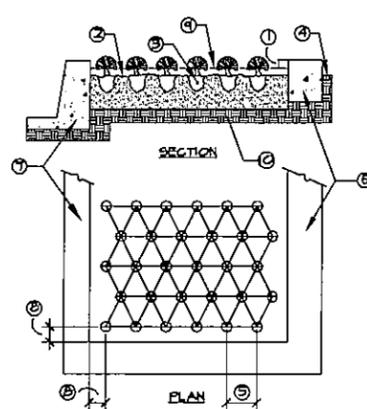
A TREE PLANTING IN TREE GRATE
NO SCALE



- ① PINE STAKE (2 REQ'D).
- ② 1 X 2" WOOD BRACE.
- ③ VINYL TREE TIE (2 REQ'D PER STAKE).
- ④ 24" MIN.
- ⑤ PLANTING BACKFILL - PER SOIL REPORT.
- ⑥ 12" MIN.
- ⑦ TREE TRUNK.
- ⑧ ROOTBALL, SET ROOT CROWN 1"-2" ABOVE FINISH GRADE.
- ⑨ 3x ROOTBALL WIDTH
- ⑩ UNDISTURBED NATIVE SOIL
- ⑪ 3" DEPTH OF BARK MULCH, 1" TO 2" FROM TREE TRUNK.

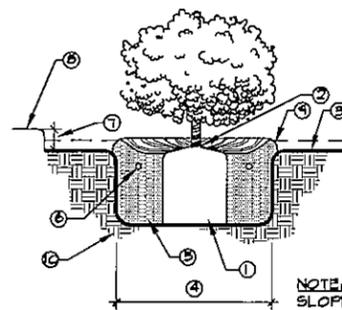
NOTE: A 12" TO 18" DIAMETER CIRCLE CUTOUT WITH A MINIMUM OF 2" BARK MULCH SHALL BE PROVIDED TO ALL TREES PLANTED IN TURF AREAS.

B DOUBLE STAKING (15 GALLON TREES & LARGER)
NO SCALE



- ① 1" BELOW PAVEMENT.
- ② PLANTING BACKFILL - PER SOIL REPORT.
- ③ PLANT TABLET, PER SPECS.
- ④ FINISH GRADE.
- ⑤ EQUAL (X) - SEE PLANT LEGEND FOR ON CENTER SPACING.
- ⑥ CONCRETE MON STRIP, OR HARDSCAPE IMPROVEMENT AS INDICATED ON PLAN.
- ⑦ CONCRETE CURB OR HARDSCAPE IMPROVEMENT AS INDICATED ON PLAN.
- ⑧ SEE PLANT LEGEND FOR MINIMUM CLEARANCE
- ⑨ GROUND COVER PLANTED FROM CONTAINER SHALL RECEIVE 3" MEDIUM GRIND SHREDDED BARK MULCH.
- ⑩ UNDISTURBED NATIVE SOIL

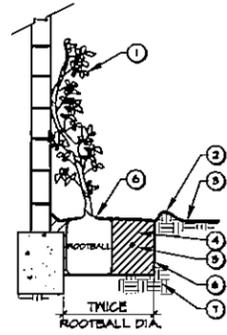
C GROUND COVER PLANTING DETAIL
NO SCALE



- ① ROOTBALL.
- ② CROWN-1" ABOVE FINISH GRADE.
- ③ FINISH GRADE.
- ④ 3 X ROOTBALL DIA.
- ⑤ PLANTING BACKFILL - PER SOIL REPORT.
- ⑥ PLANT TABLETS.
- ⑦ 1" MAX. DEPTH.
- ⑧ TOP OF PAVING.
- ⑨ 4" HIGH WATERING BASIN.
- ⑩ UNDISTURBED NATIVE SOIL.

NOTE: ALL SHRUB BEDS LESS THAN 3:1 SLOPE SHALL RECEIVE A 3" LAYER OF MEDIUM GRIND SHREDDED BARK MULCH

D SHRUB PLANTING
NO SCALE



- ① VINE OR ESPALIER.
 - ② 2" DEEP WATERING BASIN.
 - ③ FINISH GRADE.
 - ④ PLANTING BACKFILL.
 - ⑤ PLANTING TABLETS, PLACE IN PIT 2/3 UP FROM PIT BOTTOM, SEE LEGEND THIS SHEET.
 - ⑥ SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 - ⑦ UNDISTURBED NATIVE SOIL.
 - ⑧ SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.
- NOTES:
- SET VINE OR ESPALIER AS CLOSE TO BACK SURFACE OF PIT AS POSSIBLE.
 - ALL VINES SHALL BE ATTACHED TO ADJACENT WALLS WITH VINE TIES SUCH AS THE "PLANT ANCHOR KIT" MANUFACTURED BY TUMAX COMPANY, INC. OR APPROVED EQUAL.

E VINE PLANTING DETAIL
NO SCALE

LANDSCAPE 4 IRRIGATION NOTES:

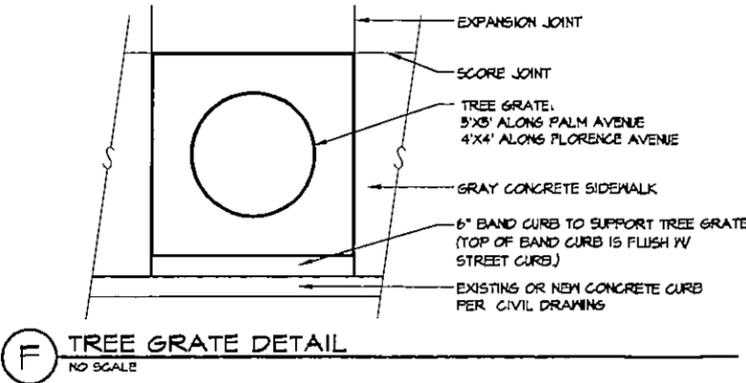
GENERAL NOTES:

- ALL WORK WITHIN PALM AVENUE RIGHT-OF-WAY SHALL TO CALTRANS STANDARDS AND SPECIFICATIONS. A SEPARATE SET OF PUBLIC IMPROVEMENT AND ON-SITE LANDSCAPE DRAWINGS SHALL BE PREPARED AS DIRECTED BY THE CITY AND CALTRANS.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH DEVELOPMENT GUIDELINES, ZONING ORDINANCE CHAPTER 11.50 OPEN SPACE AND LANDSCAPING.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- THE IRRIGATION SYSTEM SHALL BE AN AUTOMATICALLY CONTROLLED, WATER EFFICIENT, LOW PRECIPITATION RATE SPRAY, ROTOR AND BUBBLER SYSTEM TO BE MAINTAINED BY THE PROPERTY MANAGEMENT.
- ALL TREES WITHIN 5' OF IMPROVEMENTS SUCH AS, WALKS, CURBS, PAVING, ETC. SHALL BE INSTALLED WITH CITY APPROVED ROOT BARRIERS.
- ALL SHRUB PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MEDIUM GRIND BARK MULCH.
- PLANT MATERIAL USED FOR THE PROJECT SHALL BE DROUGHT RESISTANT PLANTS WITH LOW WATER USAGE, VARIED IN SIZE, COLOR, TEXTURE, FORM AND COMPLIMENTARY TO BUILDING DESIGN AND ARCHITECTURAL THEME.
- SHRUBS AND GROUND COVER SHALL BE USED AS APPROPRIATE THROUGHOUT THE AREAS INDICATED ON THE PLAN TO REINFORCE THE TREE PLANTING CONCEPT AND TO ACHIEVE SCREENING AND BUFFERING. PLANT SPACING AND QUANTITIES SHALL BE PROVIDED TO MEET THE LANDSCAPE ORDINANCE AND SHALL BE INDICATED IN THE CONSTRUCTION DOCUMENTS.
- ALL ON-SITE LANDSCAPE AREAS SHALL BE MAINTAINED BY A QUALIFIED LANDSCAPE COMPANY HIRED BY THE DEVELOPER OR THE FUTURE PROPERTY MANAGEMENT COMPANY. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED.
- THE PROPERTY DEVELOPER/MANAGEMENT COMPANY SHALL ENSURE LANDSCAPE MAINTENANCE PROVIDERS USE INTEGRATED PEST MANAGEMENT PRACTICES TO PREVENT FERTILIZERS, PESTICIDES, YARD WASTE, AND OTHER POLLUTANTS FROM ENTERING THE STORM DRAINAGE.

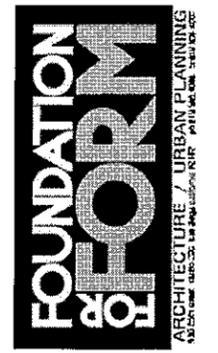
MAINTENANCE NOTES:

STATEMENT OF WATER CONSERVATION

- PLEASE NOTE THE FOLLOWING PRINCIPLES OF DESIGN UTILIZED ON THIS PROJECT DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM:
 - UTILIZATION OF HIGH-EFFICIENCY POINT SOURCE DRIP.
 - IRRIGATION ZONES SEPARATED BY PLANT MATERIAL TYPES.
 - IRRIGATION ZONES SEPARATED BY EXPOSURE AND ORIENTATION.
 - UTILIZATION OF CONTROLLER WITH WATER BUDGETING FEATURE.
- AN IRRIGATION AUDIT, IN COMPLIANCE WITH THE STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, SHALL BE PERFORMED BY A CERTIFIED IRRIGATION AUDITOR PRIOR TO TURNOVER OF PROJECT FROM INSTALLATION CONTRACTOR TO HOA EMPLOYED STAFF AND EVERY 5 YEARS THEREAFTER. IRRIGATION SYSTEM SHALL BE TESTED AND MAINTAINED ON A MONTHLY BASIS BY THE HOA EMPLOYED MAINTENANCE STAFF. THE REGULAR MAINTENANCE SCHEDULE COUPLED WITH THE AUDITS SHOULD HELP TO MAINTAIN THE IRRIGATION EFFICIENCY AS INTENDED IN THE DESIGN.



F TREE GRATE DETAIL
NO SCALE



ARCHITECTURE / URBAN PLANNING
LANDSCAPE ARCHITECTURE / CIVIL ENGINEERING

The Post
1252 & 1268 Palm Avenue, Imperial Beach, CA 91932
Hitzke Development Corporation

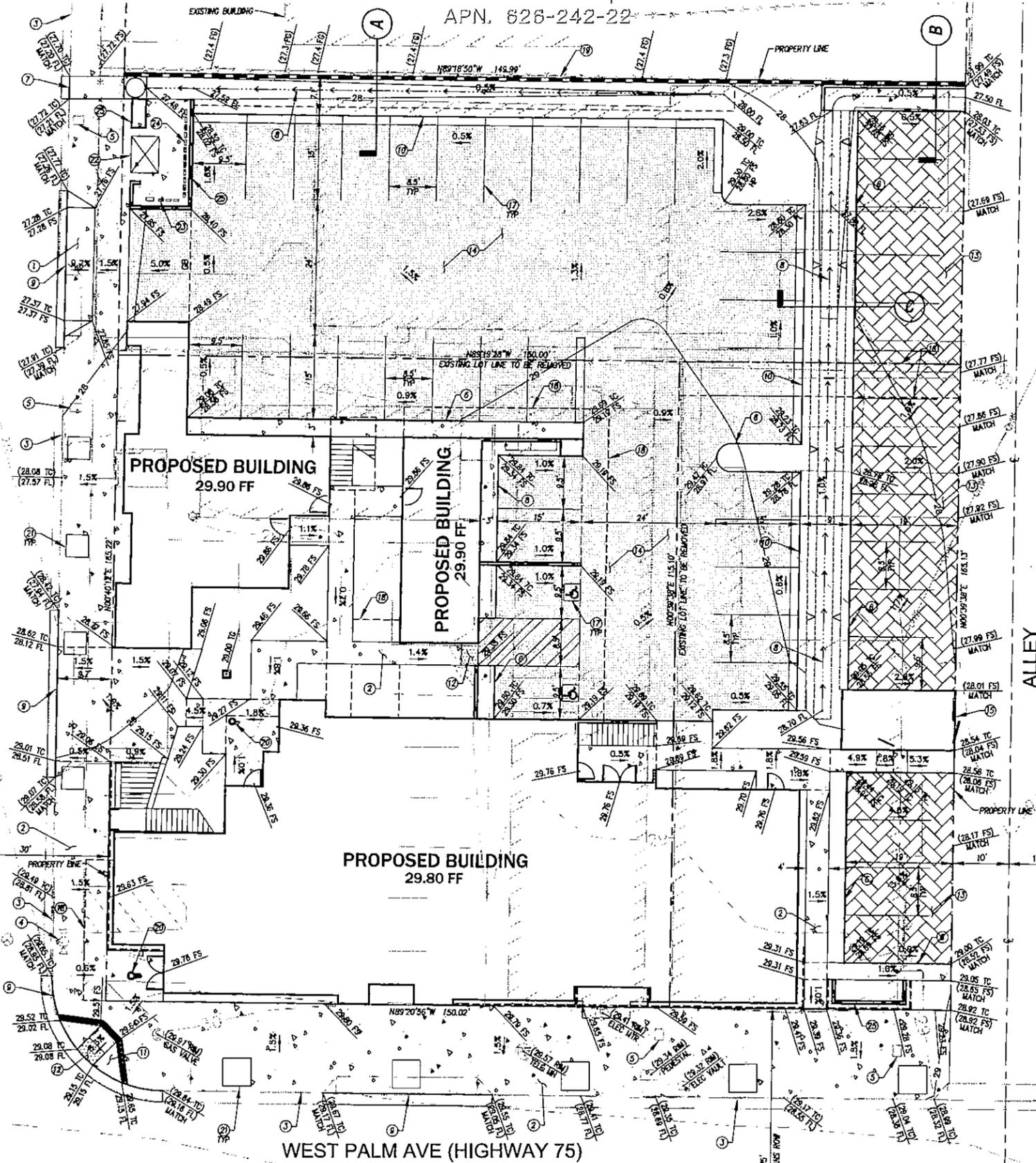
SUBMITTAL SET 6.16.11
PROJECT # 1607

AKI DESIGN, INC.
landscape architecture • urban design • planning
4670 saratoga avenue, # 3
san diego, california 92017
phone / fax 619.255.1802

LANDSCAPE
DETAILS & NOTES

THE FACTORIAL AND GRAPHIC EXPRESSIONS DISPLAYED WITH THIS WORK ARE COPYRIGHTED UNDER THE LAWS OF THE UNITED STATES, TITLE 17, U.S. CODE, UNDER SECTION 109 OF THE COPYRIGHT ACT. THE ARCHITECT SHALL MAINTAIN THE EXCLUSIVE RIGHT OF REPRODUCTION, DISPLAY OR ANY DERIVATION OF THIS WORK.

FLORENCE STREET

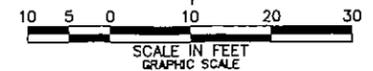
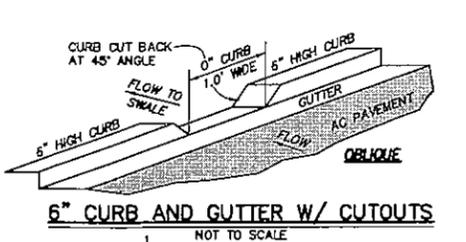
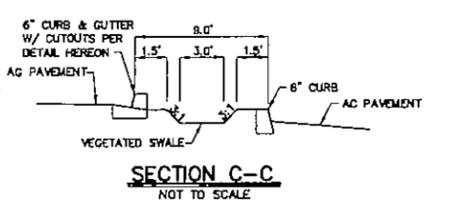
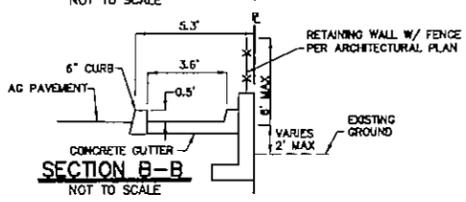
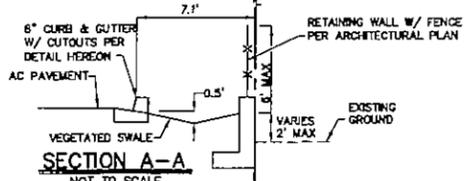


APN. 626-242-22

APN. 626-242-10

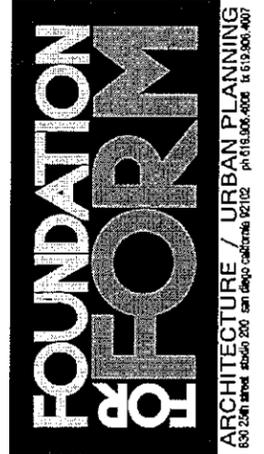
- GRADING NOTES**
- 1 CONCRETE DRIVEWAY
 - 2 CONCRETE SIDEWALK
 - 3 EXISTING CURB AND GUTTER
 - 4 EXISTING FIRE HYDRANT
 - 5 REMOVE EXISTING WATER METER
 - 6 6" CURB
 - 7 CURB OUTLET
 - 8 VEGETATED SWALE
 - 9 6" CURB AND GUTTER
 - 10 6" CURB AND GUTTER WITH CUTOUTS PER DETAIL HEREON
 - 11 ADA CURB RAMP
 - 12 TRUNCATED DGMES
 - 13 PERMEABLE PAVERS
 - 14 AG PAVEMENT
 - 15 TRASH ENCLOSURE PER ARCHITECTURAL PLAN
 - 16 EXISTING 6" SEWER EASEMENT TO BE OBTAINED
 - 17 STRIPING PER ARCHITECTURAL PLAN
 - 18 BUILDING OVERHANG PER ARCHITECTURAL PLAN
 - 19 RETAINING WALL WITH FENCE PER ARCHITECTURAL PLAN
 - 20 BUILDING COLUMN PER ARCHITECTURAL PLAN
 - 21 PLANTERS PER LANDSCAPE PLAN
 - 22 ELECTRICAL TRANSFORMER
 - 23 ELECTRICAL METERS
 - 24 GAS METERS
 - 25 SCREEN WALL PER ARCHITECTURAL PLAN

PRELIMINARY EARTHWORK QUANTITIES:
 CUT = 10 C.Y.
 FILL = 447 C.Y.
 IMPORT = 437 C.Y.
 NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION.



SWS ENGINEERING, INC.

CIVIL ENGINEERING • LAND PLANNING • SURVEYING
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SUBMITTAL SET _____ 06.18.11

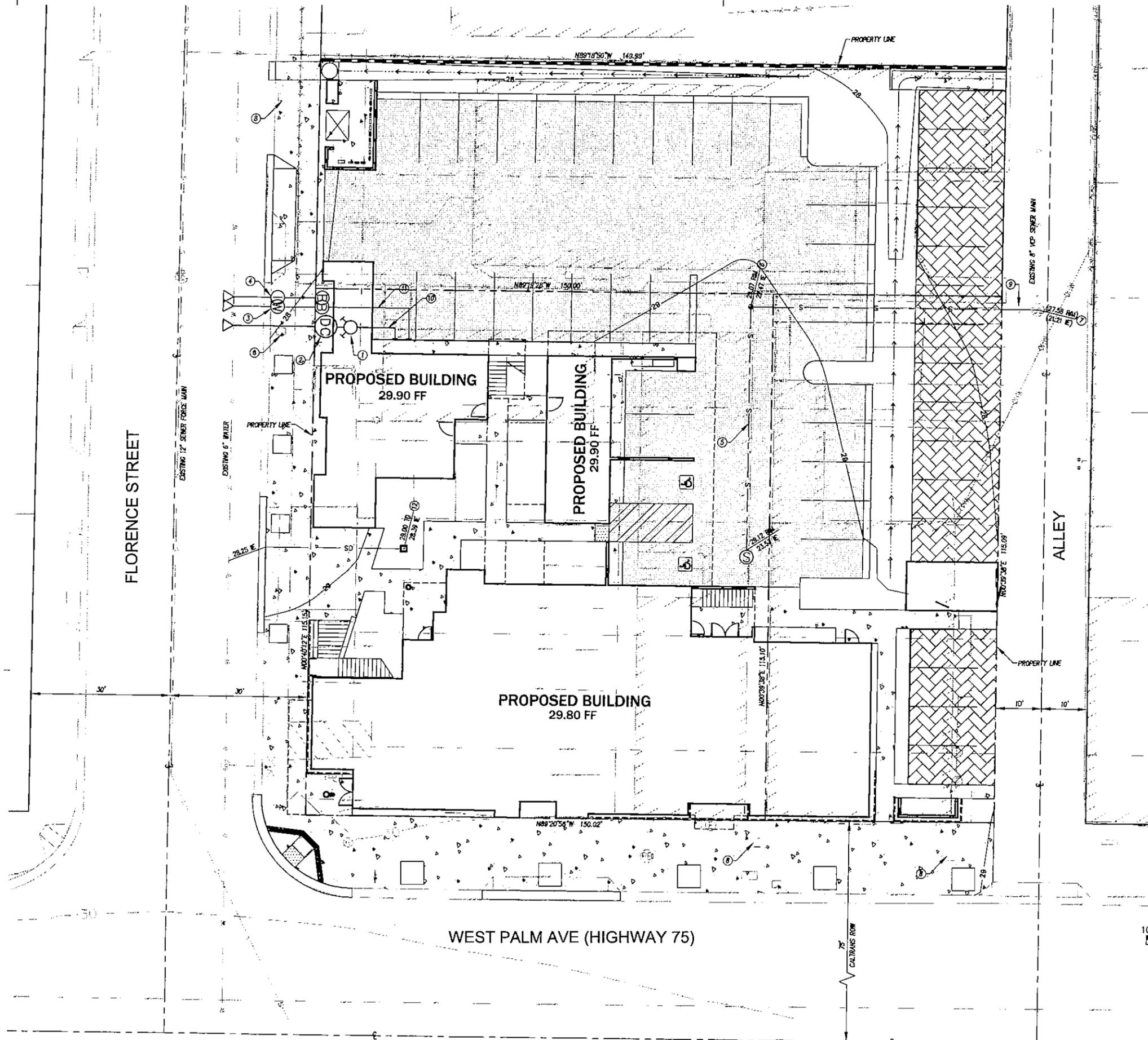
 PROJECT # 1007

PRELIMINARY GRADING PLAN

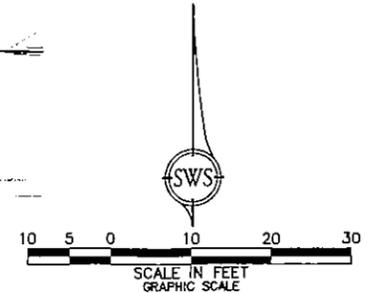
C-1

DATE: Apr 21, 11 4:00pm BY: SWS
 FILE: Z:\Projects\2011\10-045\PROJECT\DWG-043\WGR-C-1.dwg

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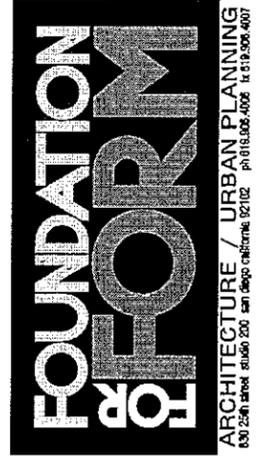


- UTILITY NOTES**
- ① FDC/PIV
 - ② 6" DOUBLE DETECTOR CHECK ASSEMBLY
 - ③ WATER METER AND BACKFLOW
 - ④ IRRIGATION METER AND BACKFLOW
 - ⑤ 6" SEWER LATERAL
 - ⑥ SEWER CLEANOUT
 - ⑦ EXISTING SEWER MANHOLE
 - ⑧ REMOVE EXISTING WATER METER
 - ⑨ REMOVE EXISTING SEWER LATERAL
 - ⑩ FIRE SERVICE
 - ⑪ WATER SERVICE
 - ⑫ STORM DRAIN CATCH BASIN



SWS ENGINEERING, INC.
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 P: 951-296-3407 F: 911-587-9451 P: 760-744-0011 F: 760-744-0046

DATE: Jan 14, 11 8:00am by: SWS
 FILE: Z:\Projects\2010\10-015\PROJECT\10-015-015-001-C-2.dwg



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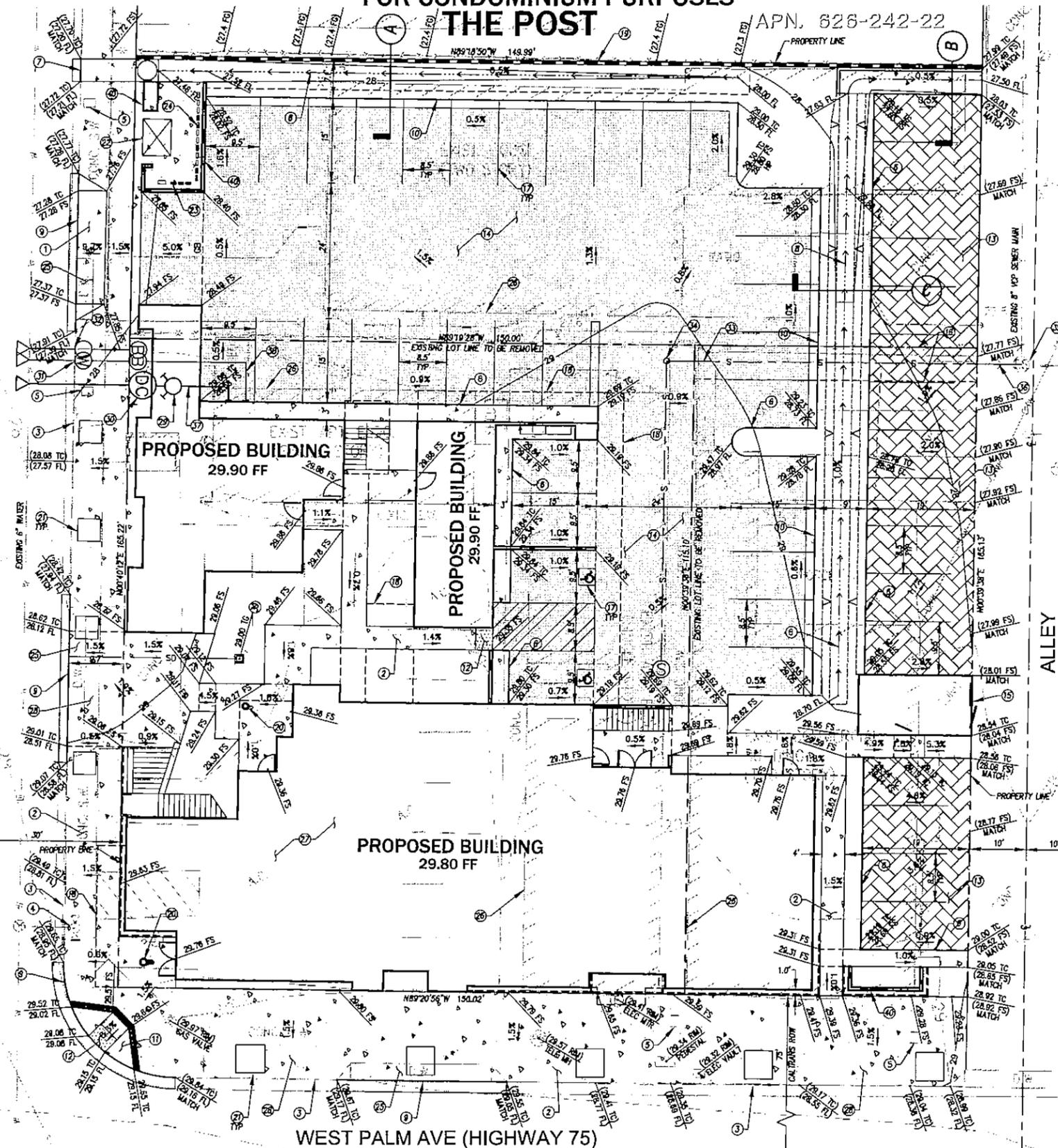
 PROJECT # 1007

PRELIMINARY
 UTILITY PLAN

C-2

**TENTATIVE PARCEL MAP NO.
FOR CONDOMINIUM PURPOSES
THE POST**

APN. 626-242-22



OWNER/APPLICANT

SIGNATURE: _____ DATE: _____
TITLE: _____

PREPARED BY

SWS ENGINEERING, INC.
261 AUTUMN DRIVE, SUITE 115
SAN MARCOS, CA 92069
PH: 760-744-0011
FAX: 760-744-0046
DATE: 06-16-11



EASEMENTS

① 6" SEWER EASEMENT, REC. 12/29/1954, BK. 5476/Pg.318

STATEMENT OF ACKNOWLEDGEMENT:
EASEMENT HOLDER, CITY OF IMPERIAL BEACH, HEREBY ACKNOWLEDGES
THE PREPARATION AND FILING OF THIS TENTATIVE PARCEL MAP

SIGNATURE: _____ DATE: _____
TITLE: _____

GRADING NOTES

- ① CONCRETE DRIVEWAY
- ② CONCRETE SIDEWALK
- ③ EXISTING CURB AND GUTTER
- ④ EXISTING FIRE HYDRANT
- ⑤ REMOVE EXISTING WATER METER
- ⑥ 6" CURB
- ⑦ CURB OUTLET
- ⑧ VEGETATED SWALE
- ⑨ 6" CURB AND GUTTER
- ⑩ 6" CURB AND GUTTER WITH CUTOUTS PER DETAIL HEREON
- ⑪ ADA CURB RAMP
- ⑫ TRUNCATED DOWNS
- ⑬ PERMEABLE PAVERS
- ⑭ AC PAVEMENT
- ⑮ TRASH ENCLOSURE
- ⑯ EXISTING 6" SEWER EASEMENT TO BE OUTCLAIMED
- ⑰ STRIPING
- ⑱ BUILDING OVERHANG
- ⑲ RETAINING WALL WITH FENCE PER ARCHITECTURAL PLAN
- ⑳ BUILDING COLUMN
- ㉑ PLANTERS PER LANDSCAPE PLAN
- ㉒ ELECTRICAL TRANSFORMER
- ㉓ ELECTRICAL METERS
- ㉔ GAS METERS
- ㉕ REMOVE EXISTING DRIVEWAY
- ㉖ REMOVE EXISTING BUILDING
- ㉗ REMOVE EXISTING AC PAVEMENT
- ㉘ REMOVE EXISTING CONCRETE SIDEWALK
- ㉙ FDC/PIV
- ㉚ 8" DOUBLE DETECTOR CHECK ASSEMBLY
- ㉛ WATER METER AND BACKFLOW
- ㉜ IRRIGATION METER AND BACKFLOW
- ㉝ 6" SEWER LATERAL
- ㉞ SEWER CLEANOUT
- ㉟ EXISTING SEWER MANHOLE
- ㊱ REMOVE EXISTING SEWER LATERAL
- ㊲ FIRE SERVICE
- ㊳ WATER SERVICE
- ㊴ STORM DRAIN CATCH BASIN
- ㊵ SCREEN WALL PER ARCHITECTURAL PLAN

APN

626-242-09, 626-242-23, 626-242-24

SITE ADDRESS

1252-1268 PALM AVENUE
IMPERIAL BEACH, CALIFORNIA 91932

LEGAL DESCRIPTION

LOTS 15 TO 19, INCLUSIVE OF BLOCK 20 OF SOUTH SAN DIEGO, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 133, FILED IN THE OFFICE OF THE COUNTY OF RECORDER OF SAN DIEGO COUNTY, JULY 5, 1967.

FLOOD NOTE

NO AREAS WITHIN PROJECT BOUNDARY SUBJECT TO INUNDATION OF STORM WATER OVERFLOW.

ZONING

EXISTING ZONING: GENERAL COMMERCIAL C-1
PROPOSED ZONING: GENERAL COMMERCIAL C-1

GENERAL PLAN DESIGNATION

C-COMMERCIAL

MONUMENTS

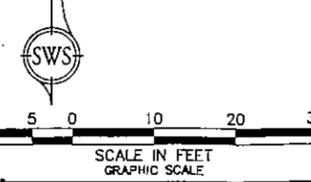
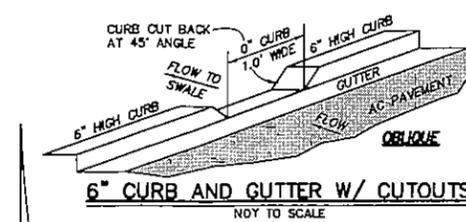
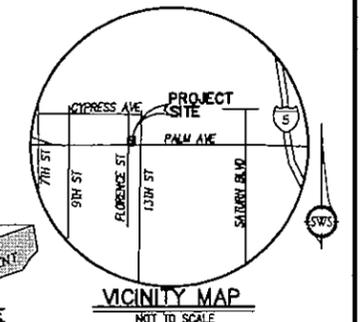
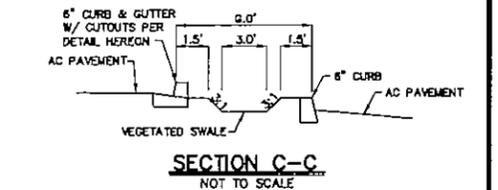
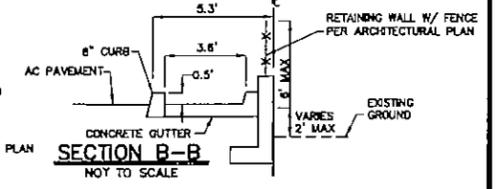
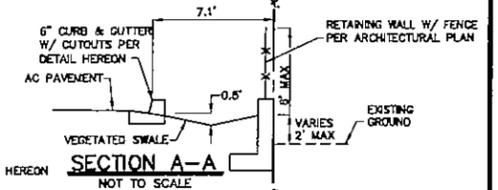
NO BOUNDARY CORNER MONUMENTS FOUND

CONDOMINIUM NOTE

THIS IS A MAP OF CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 OF THE STATE OF CALIFORNIA CIVIL CODE.

SUMMARY REQUEST

REQUEST A ONE LOT SUBMISSION TO CONVERT THREE (3) LOTS TO ONE (1) FOR CONDOMINIUM PURPOSES.



SWS ENGINEERING, INC.
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PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.

SYMBOL: Description

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN FAN PALM

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA

PARKING LOT TREES

ARECUTUS 'MARINA' - NCN
 FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
 ULMUS PARVIFOLIA - CHINESE ELM

COURTYARD TREES

ALBIZIA JULIBRISIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 BAUHINIA PURPUREA - PURPLE ORCHID TREE

BUILDING FOUNDATION SHRUBS

ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
 ANGOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 BUXIX MACROPHYLLA JAPONICA - JAPANESE BOXWOOD
 FATSIA JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.
 HAKONECHLOA MACRA - JAPANESE FOREST GRASS
 NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS
 RHORHILUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX
 SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE

BUILDING FOUNDATION GROUNDCOVERS

ADIANTUM CAPILLIS-VENERIS - SOUTHERN MAIDENHAIR
 PESTICIA O. BLAUGA - BLUE FESCUE
 GALIUM ODORATUM - SWEET WOODRUFF
 LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF
 TRACHELOSPERMUM JASMINOIDES - STAR JASMINE

BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS

CAREX BUCHANANI - LEATHER LEAF SEDGE
 IRIS DOUGLASSIANA - DOUGLAS IRIS
 LETHYS CONDENSATUS 'CANYON PRINCE' - MILD RYE
 MAREHERRSIA CAPILLARIS 'REGAL MIST' - PINK MUILY VAR.
 SENECIO SERPENS - SENECIO

COURTYARD SHRUBS AND GROUNDCOVERS

ANGOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 LAVANDULA ANGSTUFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
 SEDUM SPP. / STONE CROP

GREEN WALL SHRUBS / VINES

DISTICTIS BUCGINATORIA - BLOODRED TRUMPET VINE
 LONGICERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWER VINE
 PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
 TECOMA CAPENSIS - CAPE HONEYSUCKLE

Size

20'-24' BTH

36" BOX

36" BOX

36" BOX

36" BOX

24" BOX

24" BOX

24" BOX

24" BOX

36" BOX

36" BOX

36" BOX

36" BOX

5 GAL

5 GAL

5 GAL

5 GAL

1 GAL

1 GAL

5 GAL

3 GAL

1 GAL/15" O.C.

1 GAL/15" O.C.

1 GAL/24" O.C.

1 GAL/10" O.C.

FLATS/24" O.C.

1 GAL

1 GAL

3 GAL

3 GAL

1 GAL/12" O.C.

5 GAL

5 GAL

3 1/2" POTS/12" O.C.

5 GAL. @ 15" O.C.

PLAN KEYNOTES:

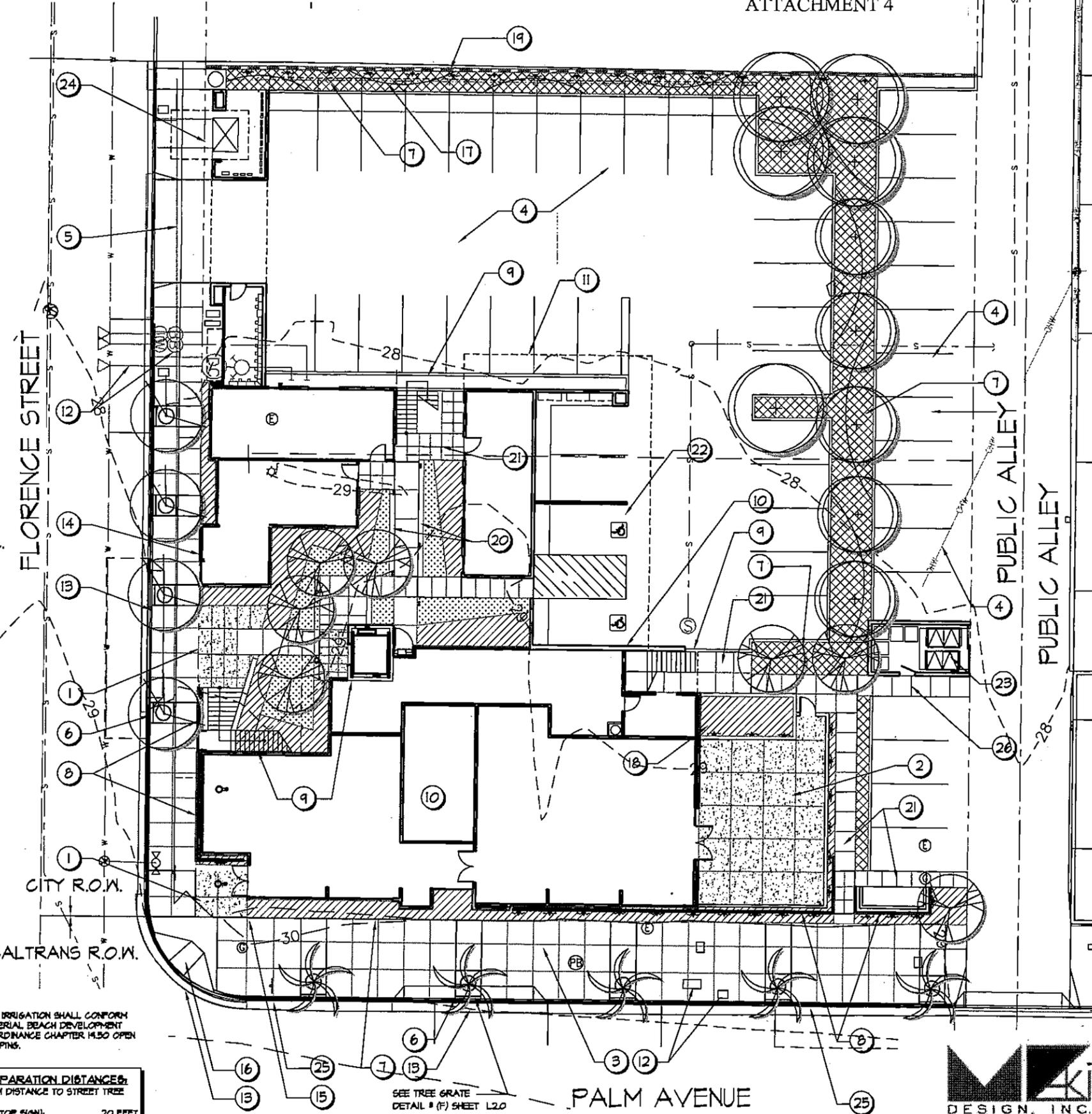
- 1 PROJECT ENTRIES WITH ENHANCED CONCRETE PAVEMENT, SCORING, AND ORNAMENTAL PLANTING AND POTS.
- 2 MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS AND OVERHEAD TRELLIS.
- 3 GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
- 4 PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
- 5 NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
- 6 STREET TREES IN GRATES PER LEGEND & DETAIL F, SHEET L2.0.
- 7 SHRUBS AND GROUNDCOVER IN PLANTING AREA PER LEGEND.
- 8 GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
- 9 STAIRS AND ELEVATOR PER ARCH. DRAWINGS.
- 10 BUILDING OR WALLS PER ARCH. DRAWINGS.
- 11 BUILDING ABOVE AND COLUMN PER ARCH. DRAWINGS.
- 12 EXISTING AND/OR PROPOSED UTILITIES PER CIVIL OR DRY UTILITY CONSULTANT DRAWINGS.
- 13 NEW CURB OR CURB & GUTTER PER CIVIL DRAWINGS.
- 14 RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- 15 PALM AVENUE - CALTRANS RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- 16 NEW ADA RAMP & CURB CORNER PER CIVIL DRAWINGS.
- 17 BIO-SHALE PLANTING AREA TO TREAT RUN-OFF FROM ASPHALT PARKING AREA.
- 18 18" HIGH RAISED STORMWATER MANAGEMENT PLANTER TO TREAT RUN-OFF FROM ROOF WITH ROCKS, GROUNDCOVER, SHRUBS AND TREES.
- 19 6" HIGH SCREEN WALL ON PROPERTY LINE.
- 20 BUILT-IN SEAT WALL ALONG PLANTER.
- 21 NEW GRAY CONCRETE SIDEWALK.
- 22 ADA PARKING.
- 23 TRASH & RECYCLE ENCLOSURE PER ARCH. DRAWINGS.
- 24 ELECTRIC TRANSFORMER PER DRY UTILITY CONSULTANT.
- 25 EXISTING CURB & GUTTER TO REMAIN.

GENERAL NOTE:

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH DEVELOPMENT GUIDELINES, ZONING ORDINANCE CHAPTER 14.50 OPEN SPACE AND LANDSCAPING.

MINIMUM TREE SEPARATION DISTANCES:

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE	
- TRAFFIC SIGNALS (STOP SIGN)	20 FEET
- UNDERGROUND UTILITY LINES	10 FEET
- ABOVE GROUND UTILITY STRUCTURES	10 FEET
- DRIVEWAY (ENTRIES)	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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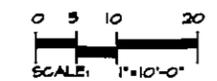


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SUBMITTAL SET 010.11
 PROJECT # 1007



LANDSCAPE CONCEPT PLAN



landscape architecture · urban design · planning
 4670 saratoga avenue, # 3
 san diego, california 92017
 phone / fax 619.255.1802

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.

SYMBOL - Description

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN FAN PALM

20-24' BTH

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA

36" BOX
 36" BOX
 36" BOX
 36" BOX

PARKING LOT TREES

ARBUTUS 'MARINA' - NCN
 PRAXINUS VELUTINA 'MODESTO' - MODESTO ASH
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
 ULMUS PARVIFOLIA - CHINESE ELM

24" BOX
 24" BOX
 24" BOX
 24" BOX

COURTYARD TREES

ALBIZIA JULIBRISSIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 BAUHINIA PURPUREA - PURPLE ORCHID TREE

36" BOX
 36" BOX
 36" BOX
 36" BOX

BUILDING FOUNDATION SHRUBS

ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
 ANISOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 BUXIX MACROPHYLLA 'JAPONICA' - JAPANESE BOXWOOD
 PATAKIA JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.
 HAKONECHLOA MACRA - JAPANESE FOREST GRASS
 NASSELLA TENISSIMA - MEXICAN FEATHER GRASS
 RHORIMUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX
 SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAWS TONGUE

5 GAL.
 5 GAL.
 5 GAL.
 5 GAL.
 1 GAL.
 1 GAL.
 5 GAL.
 5 GAL.

BUILDING FOUNDATION GROUNDCOVER

ADIANTUM CAPILLIS-VENERIS - SOUTHERN MAIDENHAIR
 FESTUCA O. GLAUCA - BLUE FESCUE
 GALIUM ODORATUM - SWEET WOODRUFF
 LIROPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF
 TRACHELOPERMUM JASMINOIDES - STAR JASMINE

1 GAL/15" O.C.
 1 GAL/15" O.C.
 1 GAL/24" O.C.
 1 GAL/18" O.C.
 PLATS/24" O.C.

BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS

CAREX BUCHANANI - LEATHER LEAF SEDGE
 IRIS DOUGLASHIANA - DOUGLAS IRIS
 LEYTHUS CONDENSATUS 'CANYON PRINCE' - WILD RYE
 NUBELENDERSIA CAPILLARIS 'REGAL MIST' - PINK MUILY VAR.
 SENECIO SERPENS - SENECIO

1 GAL.
 1 GAL.
 5 GAL.
 5 GAL.
 1 GAL/12" O.C.

COURTYARD SHRUBS AND GROUNDCOVERS

ANISOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 LAVANDULA ANGSTUFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
 SEDUM SPP. / STONE CROP

5 GAL.
 5 GAL.
 3 1/2' POTS/12" O.C.

GREEN MALL SHRUBS / VINES

DISTICTIS BUCCHINATORIA - BLOODRED TRUMPET VINE
 LONICERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWER VINE
 PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
 TECOMA CAMPENSIS - CAPE HONEYSUCKLE

5 GAL. @ 15" O.C.
 5 GAL. @ 15" O.C.

PLAN KEYNOTES:

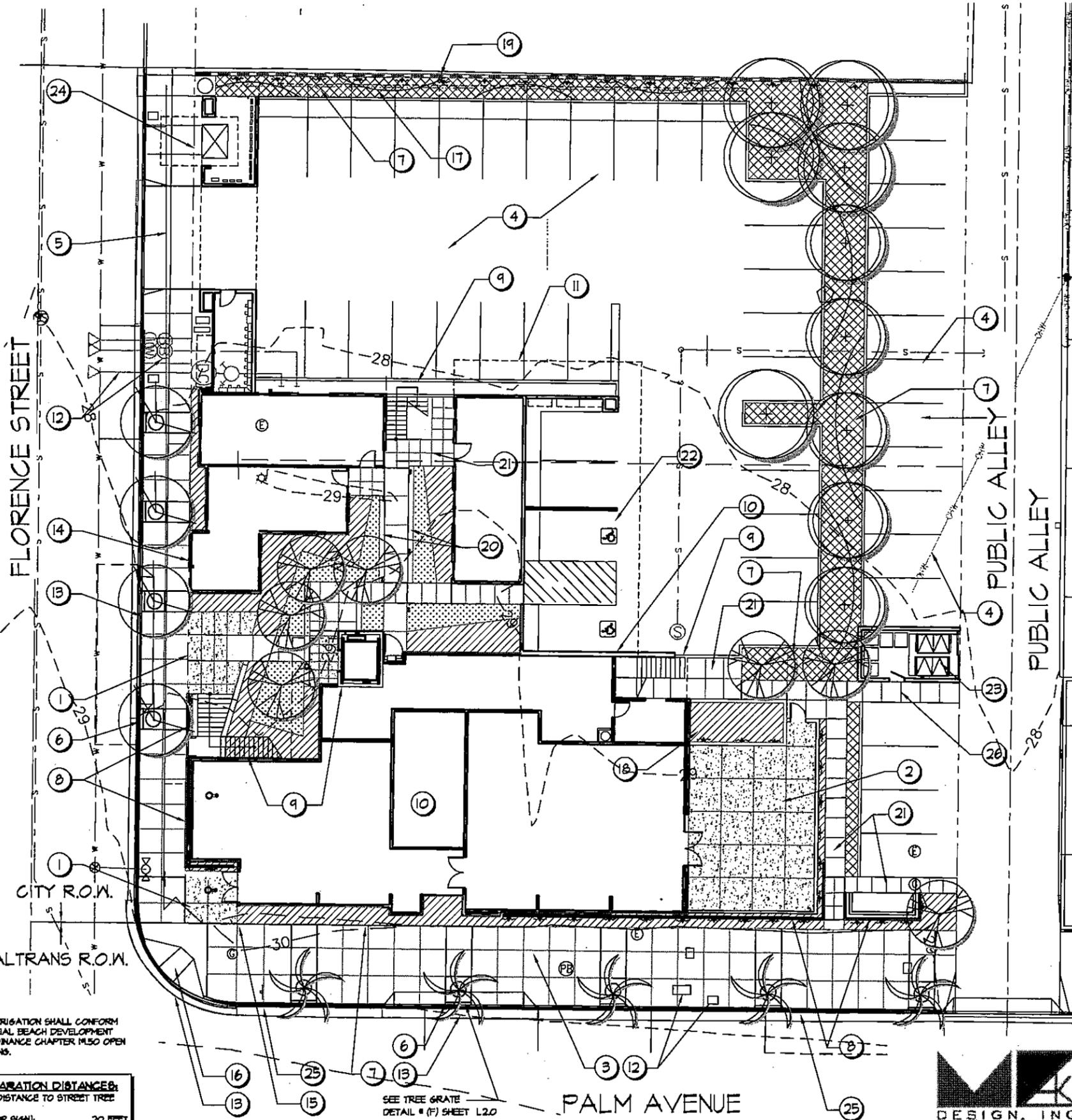
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MINIMUM TREE SEPARATION DISTANCES: IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

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- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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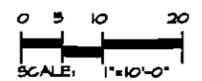
ARCHITECTURE / URBAN PLANNING
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 san diego, california 92017
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LANDSCAPE CONCEPT PLAN

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST:

SYMBOL - Description

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN PAN PALM

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
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 KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
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PARKING LOT TREES

AREBUTUS 'MARINA' - NGN
 FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH
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ALBIZIA JULIBRISSIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 BAUMHIA PURPUREA - PURPLE ORCHID TREE

BUILDING FOUNDATION SHRUBS

ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
 ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAM VAR.
 BUXIX MACROPHYLLA 'JAPONICA' - JAPANESE BOXWOOD
 FATSA 'JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.
 HAKONECHLOA MACRA - JAPANESE FOREST GRASS
 NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS
 RHORNIUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX
 SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE

BUILDING FOUNDATION GROUNDCOVER

ADIANTUM CAPILLUS-VENERIS - SOUTHERN MAIDENHAIR
 FESTUCA O. GLAUCA - BLUE FESCUE
 GALIUM ODORATUM - SHEET WOODRUFF
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 TRACHELOSPERMUM JASMINOIDES - STAR JASMINE

BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS

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 IRIS DOUGLASSIANA - DOUGLAS IRIS
 LETRIS CONDENSATUS 'CANYON PRINCE' - WILD RYE
 MUEHLBERGIA CAPILLARIS 'ROSAI MIST' - PINK MUHLY VAR.
 SENECIO SERPENS - SENECIO

COURTYARD SHRUBS AND GROUNDCOVERS

ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAM VAR.
 LAVANDULA ANGSTUFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
 SEDUM SPP. / STONE CROP

GREEN WALL SHRUBS / VINES

DISTICTIS BUCGINATORIA - BLOODRED TRUMPET VINE
 LONICERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWEN VINE
 PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
 TECOMA GARDENSIS - CAPE HONEYSUCKLE

Size	Description
20-24" BTH	WASHINGTONIA ROBUSTA - MEXICAN PAN PALM
36" BOX	CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
36" BOX	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
36" BOX	KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
36" BOX	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
24" BOX	AREBUTUS 'MARINA' - NGN
24" BOX	FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH
24" BOX	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
24" BOX	ULMUS PARVIFOLIA - CHINESE ELM
36" BOX	ALBIZIA JULIBRISSIN - MIMOSA TREE
36" BOX	BETULA PENDULA - EUROPEAN WHITE BIRCH
36" BOX	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
36" BOX	BAUMHIA PURPUREA - PURPLE ORCHID TREE
5 GAL	ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
5 GAL	ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAM VAR.
5 GAL	BUXIX MACROPHYLLA 'JAPONICA' - JAPANESE BOXWOOD
5 GAL	FATSA 'JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.
1 GAL	HAKONECHLOA MACRA - JAPANESE FOREST GRASS
1 GAL	NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS
5 GAL	RHORNIUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX
5 GAL	SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE
1 GAL/15" O.C.	ADIANTUM CAPILLUS-VENERIS - SOUTHERN MAIDENHAIR
1 GAL/15" O.C.	FESTUCA O. GLAUCA - BLUE FESCUE
1 GAL/24" O.C.	GALIUM ODORATUM - SHEET WOODRUFF
1 GAL/18" O.C.	LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF
1 GAL/24" O.C.	TRACHELOSPERMUM JASMINOIDES - STAR JASMINE
1 GAL	CAREX BUCHANANI - LEATHER LEAF SEDGE
1 GAL	IRIS DOUGLASSIANA - DOUGLAS IRIS
5 GAL	LETRIS CONDENSATUS 'CANYON PRINCE' - WILD RYE
5 GAL	MUEHLBERGIA CAPILLARIS 'ROSAI MIST' - PINK MUHLY VAR.
1 GAL/12" O.C.	SENECIO SERPENS - SENECIO
5 GAL	ANISOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAM VAR.
5 GAL	LAVANDULA ANGSTUFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
3 1/2" POTS/12" O.C.	SEDUM SPP. / STONE CROP
5 GAL @ 15" O.C.	DISTICTIS BUCGINATORIA - BLOODRED TRUMPET VINE
5 GAL @ 15" O.C.	LONICERA JAPONICA - JAPANESE HONEYSUCKLE
5 GAL @ 15" O.C.	PANDORA JASMINOIDES 'LADY DI' - BOWEN VINE
5 GAL @ 15" O.C.	PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
5 GAL @ 15" O.C.	TECOMA GARDENSIS - CAPE HONEYSUCKLE

PLAN KEYNOTES:

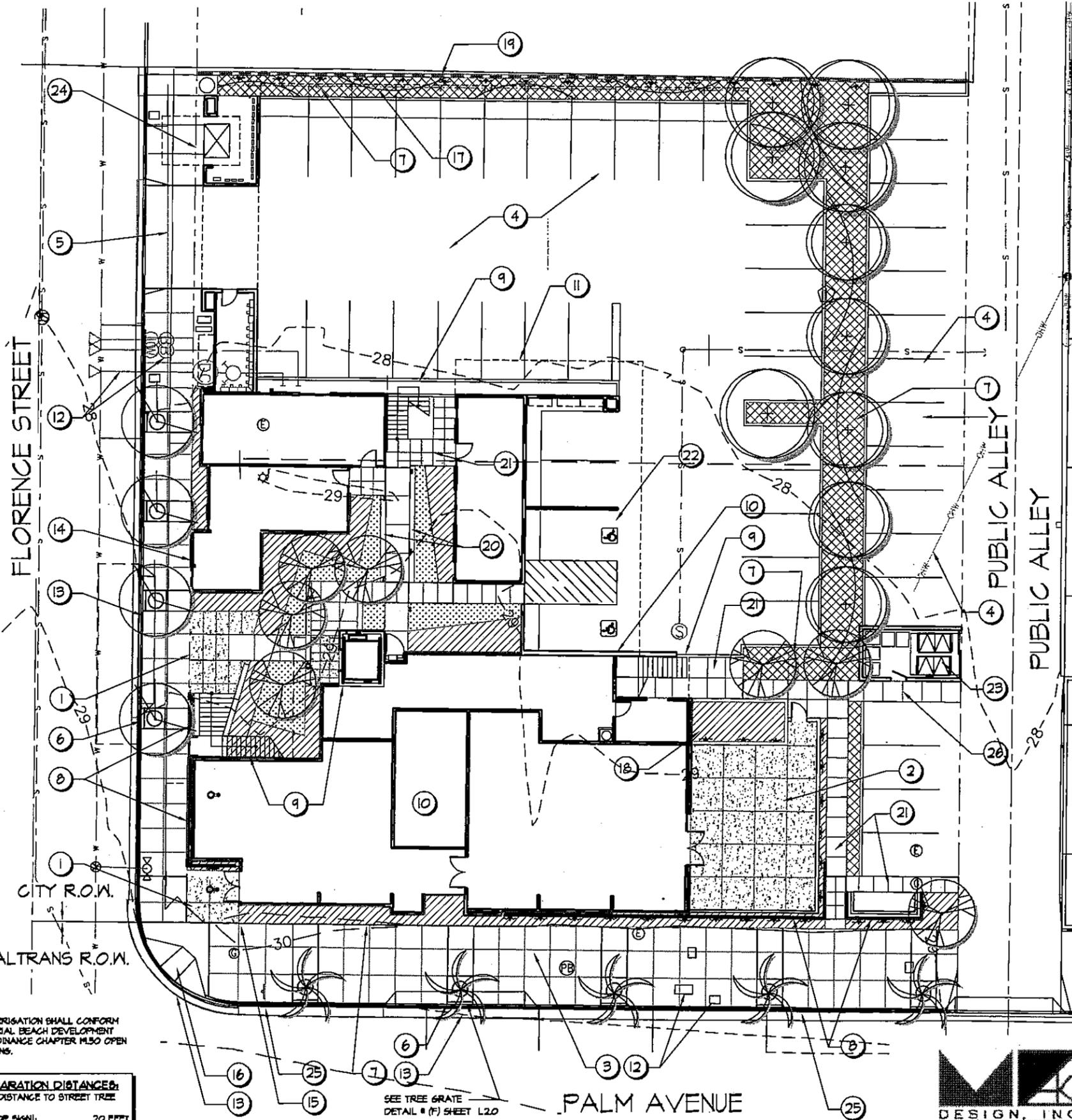
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MINIMUM TREE SEPARATION DISTANCES:

Improvement/Minimum Distance to Street Tree	Distance
- TRAFFIC SIGNALS (STOP SIGN)	20 FEET
- UNDERGROUND UTILITY LINES	10 FEET
- ABOVE GROUND UTILITY STRUCTURES	10 FEET
- DRIVEWAY (ENTRIES)	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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LANDSCAPE CONCEPT PLAN

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.
SYMBOL - DESCRIPTION

SYMBOL	DESCRIPTION	SIZE
STREET TREES		
PALM AVENUE		
	WASHINGTONIA ROBUSTA - MEXICAN FAN PALM	20-24' BTH
FLORENCE STREET		
	CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE	36" BOX
	CERCIS CANADENSIS FOREST PANSY - EASTERN REDBUD	36" BOX
	KOELREUTERIA BIPINNATA - CHINESE FLAME TREE	36" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	36" BOX
PARKING LOT TREES		
	ARECUTIS MARINA - NCN	24" BOX
	FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH	24" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	24" BOX
	ULMUS PARVIFOLIA - CHINESE ELM	24" BOX
COURTYARD TREES		
	ALBIZIA JULIBRISSIN - MIMOSA TREE	36" BOX
	BETULA PENDULA - EUROPEAN WHITE BIRCH	36" BOX
	CERCIS CANADENSIS FOREST PANSY - EASTERN REDBUD	36" BOX
	BAOBAB - PURPLE ORCHID TREE	36" BOX
BUILDING FOUNDATION SHRUBS		
	ABELIA GRANDIFLORA 'SHERWOOD' - GLOSSY ABELIA VAR.	5 GAL
	ANIGOZANTHOS FLAVIDUS BUSH DAMN' - KANGAROO PAM VAR.	5 GAL
	BUXIX MACROPHYLLA JAPONICA - JAPANESE BOXWOOD	5 GAL
	PATISIA JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.	5 GAL
	HAKONECHLOA MACRA - JAPANESE FOREST GRASS	1 GAL
	NASELLA TENUISSIMA - MEXICAN FEATHER GRASS	1 GAL
	RHORIMUM TEXANUM 'JACK SPRATT' - NEW ZEALAND FLAX	5 GAL
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	GALIUM ODORATUM - SHEET WOODRUFF	1 GAL/24" O.C.
	LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF	1 GAL/15" O.C.
	TRACHELOSPERMUM JASMINOIDES - STAR JASMINE	FLATS/24" O.C.
BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS		
	CAREX BOGCHANANII - LEATHER LEAF SEDGE	1 GAL
	IRIS DOUGLASIANA - DOUGLAS IRIS	1 GAL
	LEYMUS CONDENSATUS 'CANYON PRINCE' - MILD RYE	5 GAL
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' - PINK MUHLY VAR.	5 GAL
	SENECIO SERPENS - SENECIO	1 GAL/12" O.C.
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	ANIGOZANTHOS FLAVIDUS BUSH DAMN' - KANGAROO PAM VAR.	5 GAL
	LAVANDULA ANGSTIFOLIA MUNSTEAD' - MUNSTEAD LAVENDER	5 GAL
	SEDUM SPP. / STONE CROP	5 1/2" POTS/12" O.C.
GREEN WALL SHRUBS / VINES		
	DISTICTIS BUCCINATORIA - BLOODRED TRUMPET VINE	5 GAL @ 15" O.C.
	LONICERA JAPONICA - JAPANESE HONEYSUCKLE	5 GAL @ 15" O.C.
	PANDORA JASMINOIDES 'LADY DI' - BOWER VINE	5 GAL @ 15" O.C.
	PARTHENOCEISSUS TRICUSPIDATA - BOSTON IVY	5 GAL @ 15" O.C.
	TECOMA CAPENSIS - CAPE HONEYSUCKLE	5 GAL @ 15" O.C.

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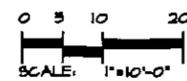
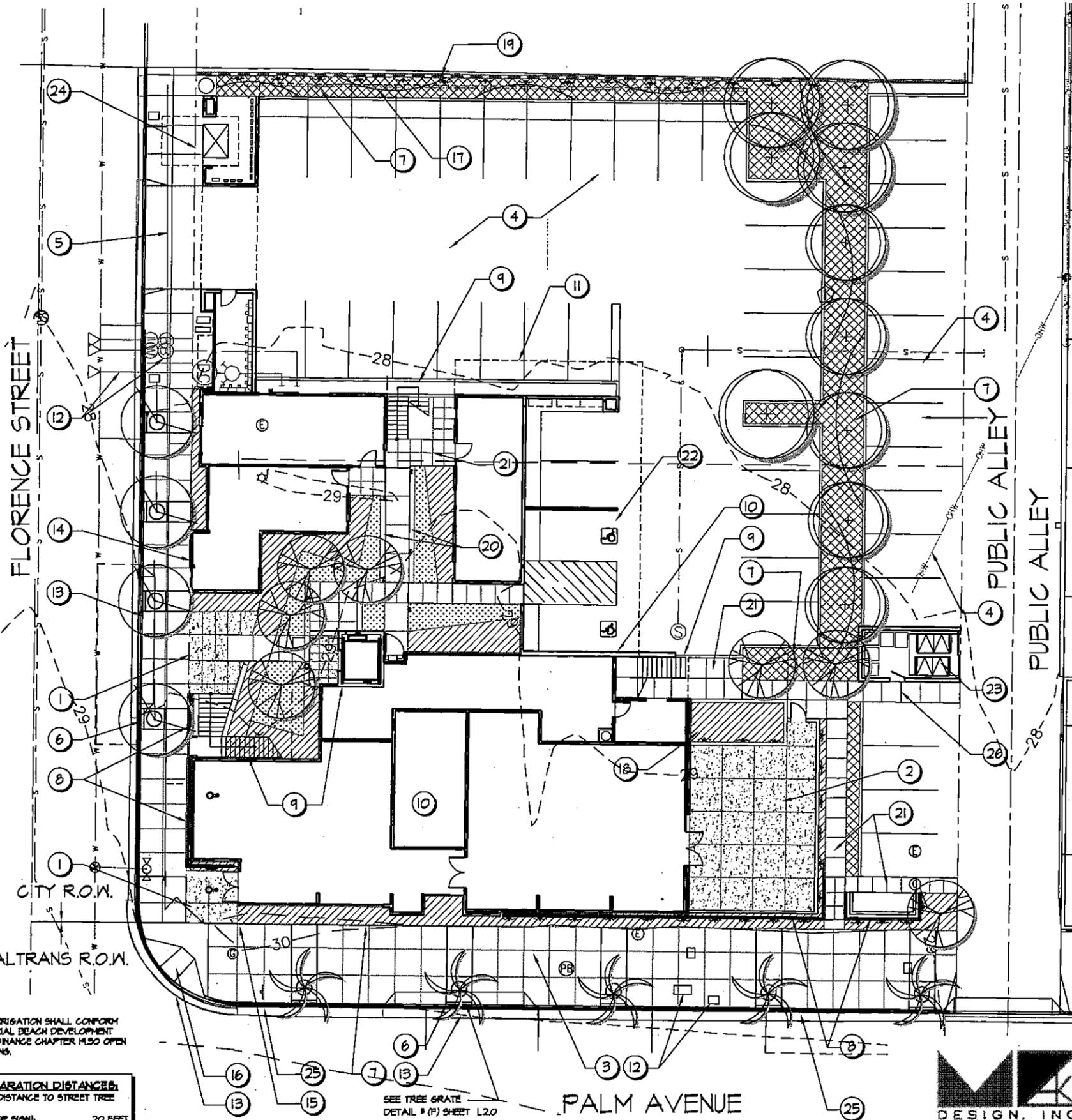
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- STREET TREES IN GRATES PER LEGEND & DETAIL # (F) SHEET L2.0.
- SHRUBS AND GROUNDCOVER IN PLANTING AREA PER LEGEND.
- GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
- STAIRS AND ELEVATOR PER ARCH. DRAWINGS.
- BUILDING OR WALLS PER ARCH. DRAWINGS.
- BUILDING ABOVE AND COLUMN PER ARCH. DRAWINGS.
- EXISTING AND/OR PROPOSED UTILITIES PER CIVIL OR DRY UTILITY CONSULTANT DRAWINGS.
- NEW CURB OR CURB+GUTTER PER CIVIL DRAWINGS.
- RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- PALM AVENUE - CALTRANS RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- NEW ADA RAMP & CURB CORNER PER CIVIL DRAWINGS.
- BIO-SHALE PLANTING AREA TO TREAT RUN-OFF FROM ASPHALT PARKING AREA.
- 10' HIGH RAISED STORMWATER MANAGEMENT PLANTER TO TREAT RUN-OFF FROM ROOF WITH ROCKS, GROUNDCOVER, SHRUBS AND TREES.
- 6' HIGH SCREEN WALL ON PROPERTY LINE.
- BUILT-IN SEAT WALL ALONG PLANTER.
- NEW GRAY CONCRETE SIDEWALK.
- ADA PARKING.
- TRASH & RECYCLE ENCLOSURE PER ARCH. DRAWINGS.
- ELECTRIC TRANSFORMER PER DRY UTILITY CONSULTANT.
- EXISTING CURB & GUTTER TO REMAIN.

GENERAL NOTE:

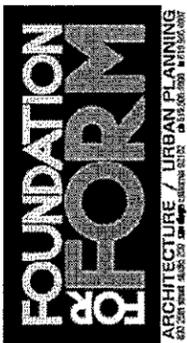
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH DEVELOPMENT GUIDELINES, ZONING ORDINANCE CHAPTER 14.50 OPEN SPACE AND LANDSCAPING.

MINIMUM TREE SEPARATION DISTANCES:
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN)	20 FEET
- UNDERGROUND UTILITY LINES	10 FEET
- ABOVE GROUND UTILITY STRUCTURES	10 FEET
- DRIVEWAY (ENTRIES)	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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Hitzke Development Corporation

SUBMITTAL SET 6.16.11
PROJECT # 1007

LANDSCAPE CONCEPT PLAN

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.

SYMBOL - DESCRIPTION

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN FAN PALM

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 KOELBUTERIA BIPINNATA - CHINESE FLAME TREE
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA

PARKING LOT TREES

AREBUTUS 'MARINA' - NGN
 PRAXINUS VELITINA 'MODESTO' - MODESTO ASH
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
 ULMUS PARVIFOLIA - CHINESE ELM

COURTYARD TREES

ALBIZIA JULIBRISSIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 BAUHINIA PURPUREA - PURPLE ORCHID TREE

BUILDING FOUNDATION SHRUBS

ABELIA 'GRANDIFLORA 'SHERWOOD'' - GLOSSY ABELIA VAR.
 ANGOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 BUXIX MACROPHYLLA JAPONICA - JAPANESE BOXWOOD
 FATSIA JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.
 HAKONECHLOA MACRA - JAPANESE FOREST GRASS
 NASSELLA TENUSISIMA - MEXICAN FEATHER GRASS
 RHORNIUM TENAX 'JACK SPURTT' - NEW ZEALAND FLAX
 SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE

BUILDING FOUNDATION GROUNDCOVERS

ADIANTUM CAPILLIS-VENERIS - SOUTHERN MAIDENHAIR
 PESTUCA O. BLAUGA - BLUE PESCUE
 GALIUM ODORATUM - SWEET WOODRUFF
 LIROPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF
 TRACHELOSPERMUM JASMINOIDES - STAR JASMINE

BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS

CAREX BUCHANANI - LEATHER LEAF SEDGE
 IRIS DOUGLASSIANA - DOUGLAS IRIS
 LETHYS CONDENSATUS 'CANYON PRINCE' - WILD RYE
 MAREMBERSIA CAPILLARIS 'REGAL MIST' - PINK MURLY VAR.
 SENECIO SERPENS - SENECIO

COURTYARD SHRUBS AND GROUNDCOVERS

ANGOZANTHOS FLAVIDUS 'BUSH DAMN' - KANGAROO PAM VAR.
 LAVANDULA ANUSTIFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
 SEDUM SPP. / STONE CROP

GREEN WALL SHRUBS / VINES

DISTICTIS BUCGINATORIA - BLOODRED TRUMPET VINE
 LONGERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWER VINE
 PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
 TECOMA CAPENSIS - CAPE HONEYSUCKLE

20-24' BTH	20-24' BTH
36" BOX	36" BOX
24" BOX	24" BOX
56" BOX	56" BOX
5 GAL	5 GAL
1 GAL	1 GAL
1 GAL	1 GAL
5 GAL	5 GAL
5 GAL	5 GAL
1 GAL/15" O.C.	1 GAL/15" O.C.
1 GAL/15" O.C.	1 GAL/15" O.C.
1 GAL/24" O.C.	1 GAL/24" O.C.
1 GAL/18" O.C.	1 GAL/18" O.C.
FLATS/24" O.C.	FLATS/24" O.C.
1 GAL	1 GAL
1 GAL	1 GAL
5 GAL	5 GAL
5 GAL	5 GAL
1 GAL/12" O.C.	1 GAL/12" O.C.
5 GAL	5 GAL
5 GAL	5 GAL
3 1/2" FOTS/12" O.C.	3 1/2" FOTS/12" O.C.
5 GAL. @ 15" O.C.	5 GAL. @ 15" O.C.
5 GAL. @ 15" O.C.	5 GAL. @ 15" O.C.
5 GAL. @ 15" O.C.	5 GAL. @ 15" O.C.
5 GAL. @ 15" O.C.	5 GAL. @ 15" O.C.
5 GAL. @ 15" O.C.	5 GAL. @ 15" O.C.

PLAN KEYNOTES:

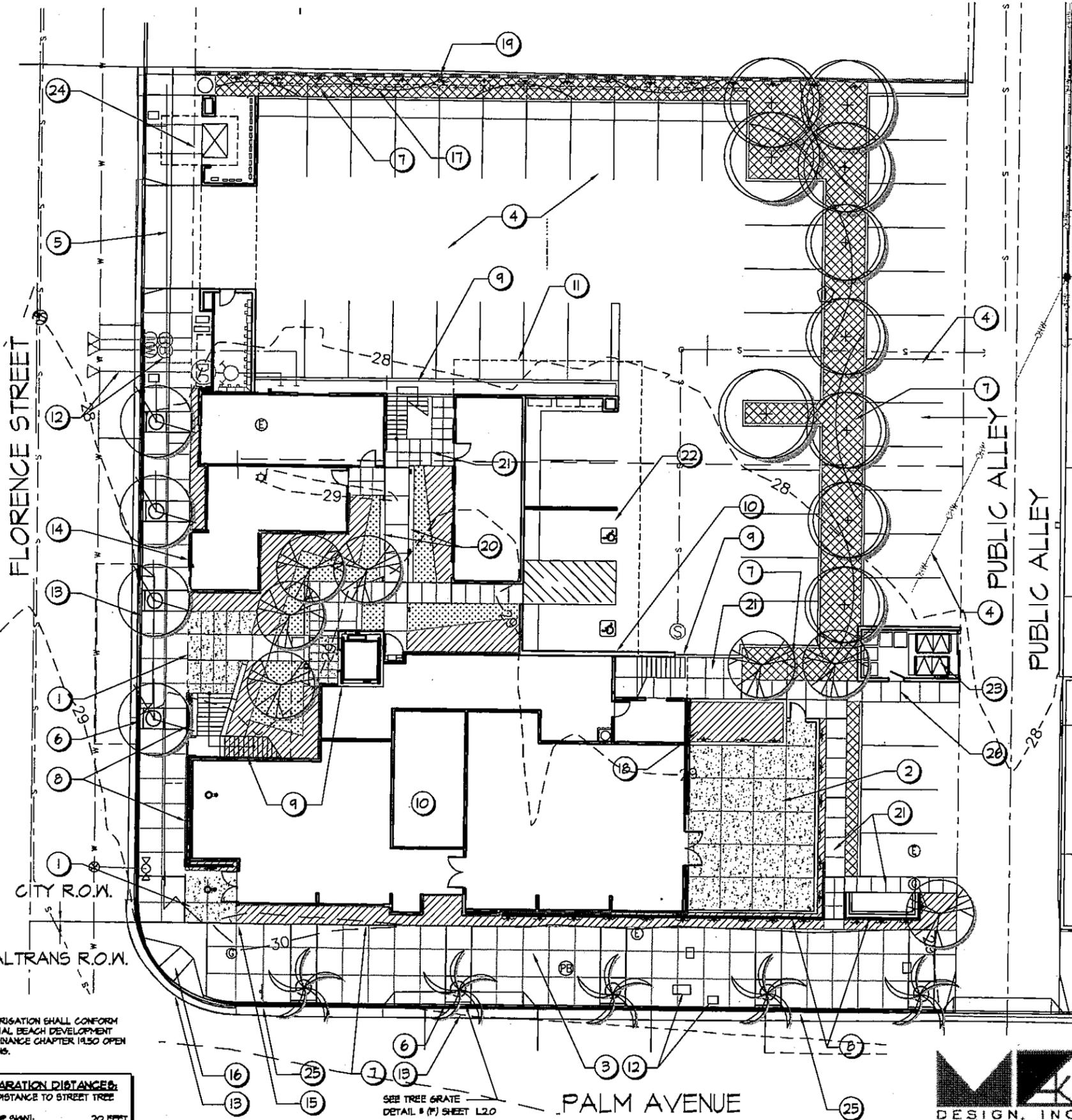
- PROJECT ENTRIES WITH ENHANCED CONCRETE PAVEMENT, SCORING, AND ORNAMENTAL PLANTING AND POTS.
- MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS AND OVERHEAD TRELLIS.
- GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
- PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
- NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
- STREET TREES IN GRATES PER LEGEND & DETAIL # (P) SHEET L2.0.
- SHRUBS AND GROUNDCOVER IN PLANTING AREA PER LEGEND.
- GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
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- BUILDING OR WALLS PER ARCH. DRAWINGS.
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GENERAL NOTE:

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MINIMUM TREE SEPARATION DISTANCES:
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN):	20 FEET
- UNDERGROUND UTILITY LINES:	10 FEET
- ABOVE GROUND UTILITY STRUCTURES:	10 FEET
- DRIVEWAY (ENTRIES):	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS):	25 FEET

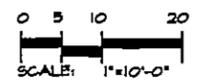


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 san diego, california 92017
 phone / fax 619.255.1802

LANDSCAPE CONCEPT PLAN

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.

SYMBOL - Description

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN FAN PALM

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
 CERCIS CANADENSIS FOREST PANSY - EASTERN REDBUD
 KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA

PARKING LOT TREES

ARBEUTUS MARINA - NCH
 PRAXINUS VELUTINA MODESTO - MODESTO ASH
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
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ALBIZIA JULIBRISIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS FOREST PANSY - EASTERN REDBUD
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BUILDING FOUNDATION SHRUBS

ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
 ANGOZANTHOS FLAVIDUS BUSH DAMN - KANGAROO PAM VAR.
 BUXIX MACROPHYLLA JAPONICA - JAPANESE BOXWOOD
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 RHORNUM TENAX JACK SPRATT - NEW ZEALAND FLAX
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 FESTUCA O. GLAUCA - BLUE FESCUE
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 IRIS DOUGLASHIANA - DOUGLAS IRIS
 LEPYRUS CONDENSATUS 'CANYON PRINCE' - WILD RYE
 MUEHLBERGIA CAPILLARIS 'REGAL MIST' - PINK MUHLY VAR.
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GREEN WALL SHRUBS / VINES

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 LONGICERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWER VINE
 PARTHENOCESSUS TRICUSPIDATA - BOSTON IVY
 TECOMA GARDENSIS - CAPE HONEYSUCKLE

Size

20'-24' BTH

36" BOX
 36" BOX
 36" BOX
 36" BOX

24" BOX
 24" BOX
 24" BOX
 24" BOX

36" BOX
 36" BOX
 36" BOX
 36" BOX

5 GAL
 5 GAL
 5 GAL
 5 GAL
 5 GAL
 1 GAL
 1 GAL
 5 GAL
 5 GAL

1 GAL/15' O.C.
 1 GAL/15' O.C.
 1 GAL/24' O.C.
 1 GAL/18' O.C.
 FLATS/24' O.C.

1 GAL
 1 GAL
 3 GAL
 3 GAL
 1 GAL/12' O.C.

5 GAL
 5 GAL
 3 1/2' POTS/12' O.C.

5 GAL @ 15' O.C.
 5 GAL @ 15' O.C.
 5 GAL @ 15' O.C.
 5 GAL @ 15' O.C.
 5 GAL @ 15' O.C.

PLAN KEYNOTES:

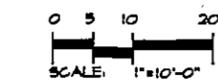
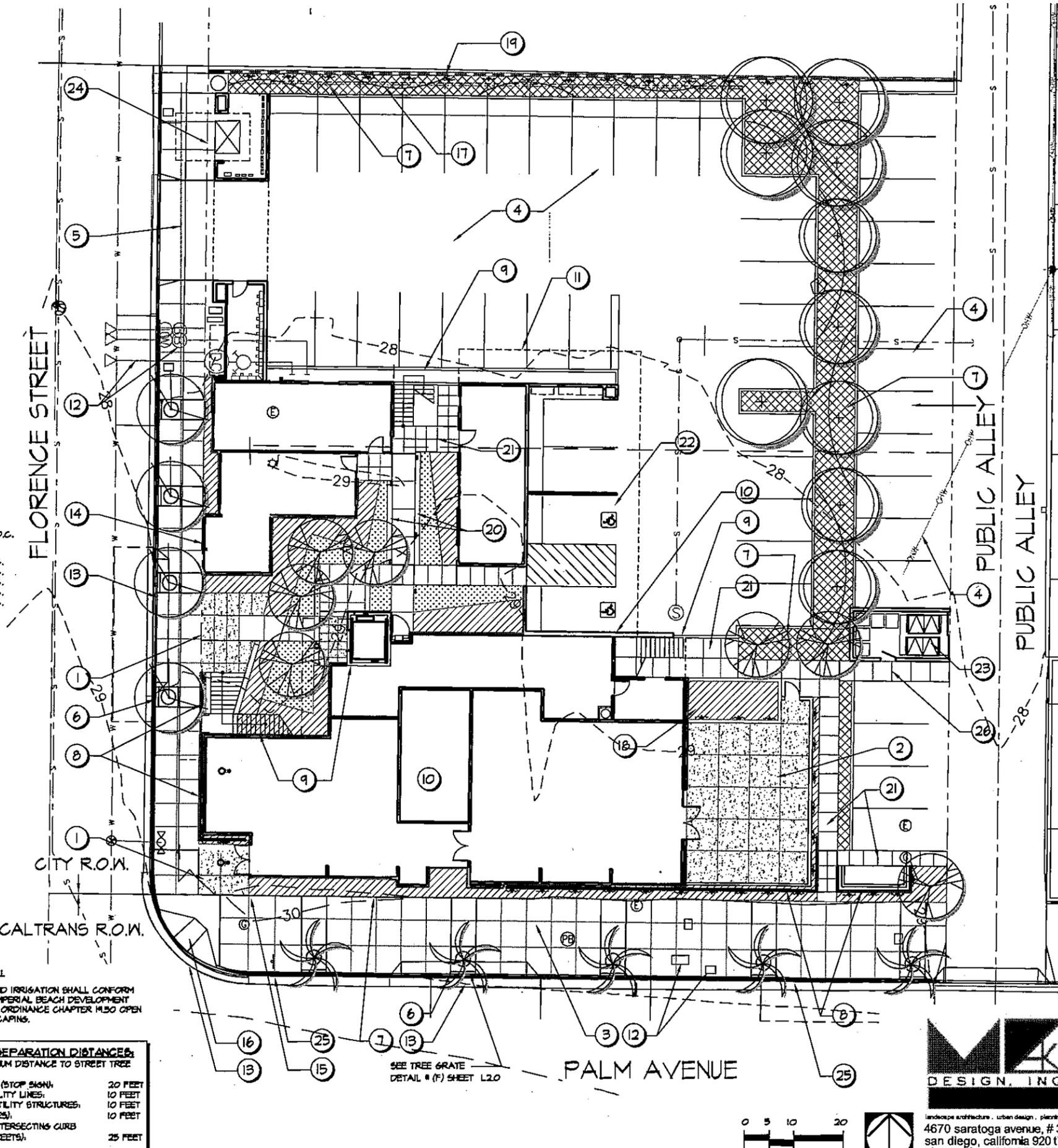
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- MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS AND OVERHEAD TRELLIS.
- GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
- PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
- NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
- STREET TREES IN GRATES PER LEGEND & DETAIL 7, SHEET L2.D.
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- ADA PARKING.
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- EXISTING CURB & GUTTER TO REMAIN.

GENERAL NOTE:

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MINIMUM TREE SEPARATION DISTANCES: IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN)	20 FEET
- UNDERGROUND UTILITY LINES	10 FEET
- ABOVE GROUND UTILITY STRUCTURES	10 FEET
- DRIVEWAY (ENTRIES)	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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SUBMITTAL SET 8.10.11
 PROJECT # 1007

LANDSCAPE CONCEPT PLAN

L1

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST.

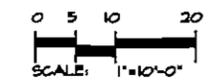
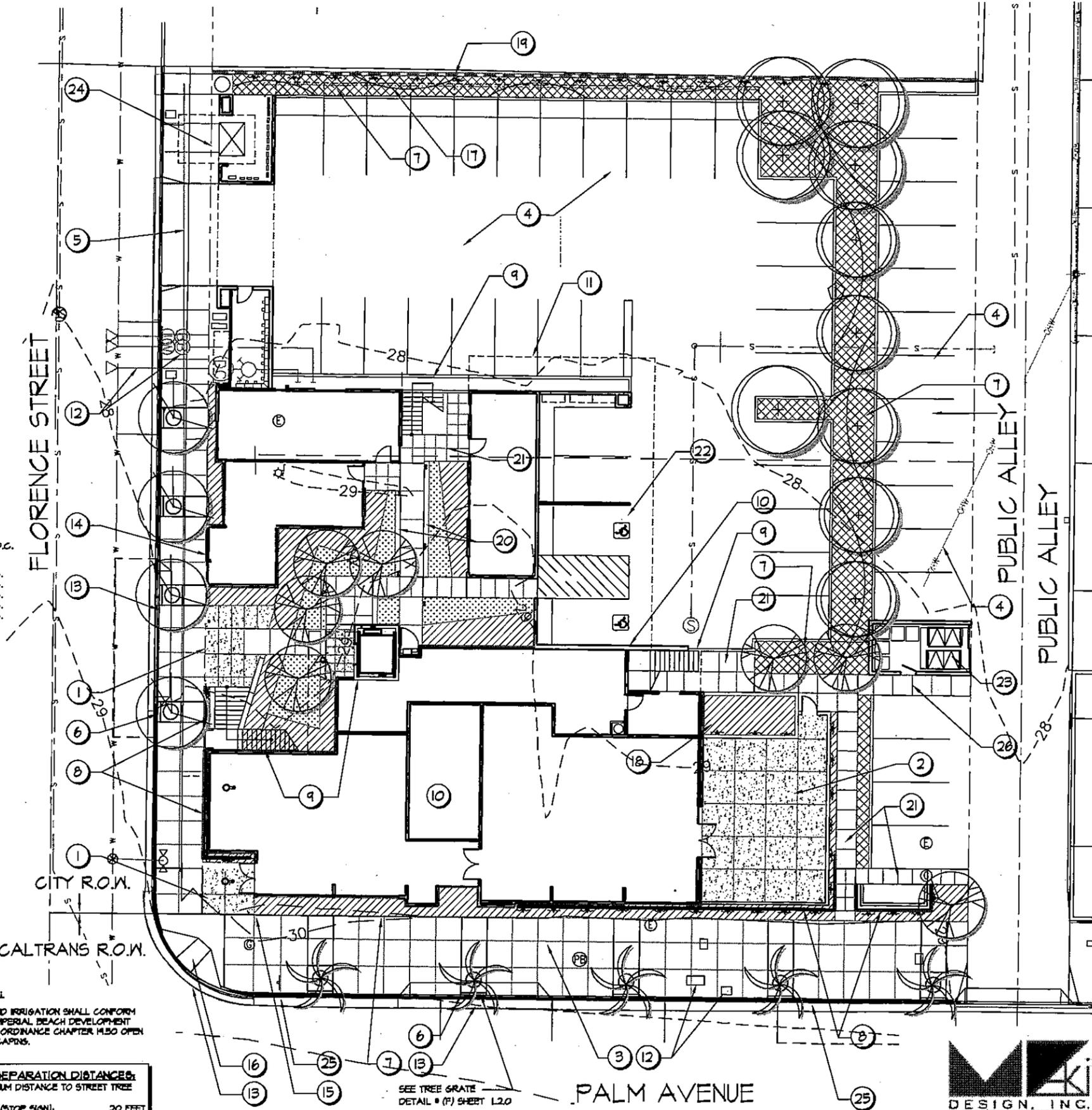
SYMBOL	Description	Size
STREET TREES		
PALM AVENUE		
	WASHINGTONIA ROBUSTA - MEXICAN FAN PALM	20-24' BTH
FLORENCE STREET		
	CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE	36" BOX
	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD	36" BOX
	KOELREUTERIA BIPINNATA - CHINESE FLAME TREE	36" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	36" BOX
PARKING LOT TREES		
	ARECUTUS 'MARINA' - NCN	24" BOX
	FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH	24" BOX
	MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA	24" BOX
	ULMUS PARVIFOLIA - CHINESE ELM	24" BOX
COURTYARD TREES		
	ALBIZIA JULIBRISSIN - MIMOSA TREE	36" BOX
	BETULA PENDULA - EUROPEAN WHITE BIRCH	36" BOX
	CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD	36" BOX
	BAUHINIA PURPUREA - PURPLE ORCHID TREE	36" BOX
BUILDING FOUNDATION SHRUBS		
	ABELIA GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.	5 GAL
	ANIGOZANTHOS FLAVIDUS 'BUSH DART' - KANGAROO PAM VAR.	5 GAL
	BUXIX MACROPHYLLA 'JAPONICA' - JAPANESE BOXWOOD	5 GAL
	PATSIJA JAPONICA 'VARIEGATA' - JAPANESE ARALIA VAR.	5 GAL
	HAKONECHLOA MACRA - JAPANESE FOREST GRASS	1 GAL
	NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS	1 GAL
	RHORIDIUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX	5 GAL
	SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE	5 GAL
BUILDING FOUNDATION GROUNDCOVERS		
	ADIANTUM CAPILLUS-VENERIS - SOUTHERN MAIDENHAIR	1 GAL/15" O.C.
	PESTICA O. GLAUCA - BLUE FESCUE	1 GAL/15" O.C.
	GALIUM ODORATUM - SHEET WOODRUFF	1 GAL/24" O.C.
	LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF	1 GAL/18" O.C.
	TRACHELOSPERMUM JASMINOIDES - STAR JASMINE	PLANTS/24" O.C.
BIO-SHALE / STORMWATER MANAGEMENT & PARKING PLANTS		
	CAREX BUECHANANII - LEATHER LEAF SEDGE	1 GAL
	IRIS DOUGLASIANA - DOUGLAS IRIS	1 GAL
	LEYMUS CONDENSATUS 'CANYON PRINCE' - WILD RYE	5 GAL
	MUHLENBERGIA CAPILLARIS 'REGAL HST' - PINK MUHLY VAR.	5 GAL
	SENECIO SERPENS - SENECIO	1 GAL/12" O.C.
COURTYARD SHRUBS AND GROUNDCOVERS		
	ANIGOZANTHOS FLAVIDUS 'BUSH DART' - KANGAROO PAM VAR.	5 GAL
	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER	5 GAL
	SEDUM SPP. / STONE CROP	3 1/2" POTS/12" O.C.
GREEN WALL SHRUBS / VINES		
	DISTICTIS BUCCINATORIA - BLOODRED TRUMPET VINE	5 GAL • 15" O.C.
	LONGIGERA JAPONICA - JAPANESE HONEYSUCKLE	5 GAL • 15" O.C.
	PANDORA JASMINOIDES 'LADY DI' - BOWER VINE	5 GAL • 15" O.C.
	PARTHENOCISSUS TRICUSPIDATA - BOSTON IVY	5 GAL • 15" O.C.
	TECOMA CAPENSIS - CAPE HONEYSUCKLE	5 GAL • 15" O.C.

- PLAN KEYNOTES:**
- PROJECT ENTRIES WITH ENHANCED CONCRETE PAVEMENT, SCORING, AND ORNAMENTAL PLANTING AND POTS.
 - MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS AND OVERHEAD TRELLIS.
 - GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
 - PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
 - NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
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 - GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
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 - NEW ADA RAMP & CURB CORNER PER CIVIL DRAWINGS.
 - BIO-SHALE PLANTING AREA TO TREAT RUN-OFF FROM ASPHALT PARKING AREA.
 - 18" HIGH RAISED STORMWATER MANAGEMENT PLANTER TO TREAT RUN-OFF FROM ROOF WITH ROCKS, GROUNDCOVER, SHRUBS AND TREES.
 - 6' HIGH SCREEN WALL ON PROPERTY LINE.
 - BUILT-IN SEAT WALL ALONG PLANTER.
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MINIMUM TREE SEPARATION DISTANCES:
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN)	30 FEET
- UNDERGROUND UTILITY LINES	10 FEET
- ABOVE GROUND UTILITY STRUCTURES	10 FEET
- DRIVEWAY (ENTRIES)	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET



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