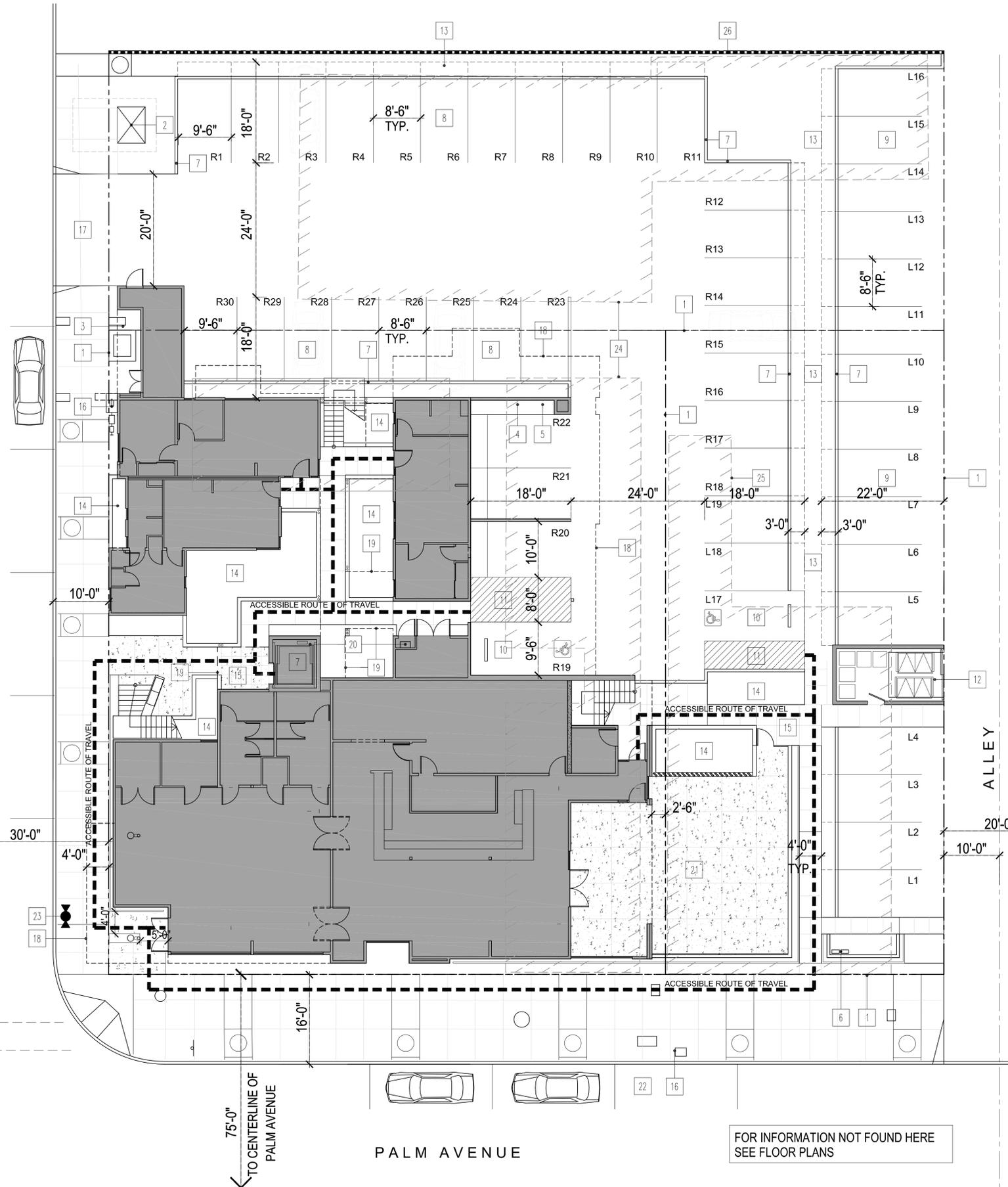


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FLORENCE STREET



SITE PLAN



FOR INFORMATION NOT FOUND HERE
SEE FLOOR PLANS

KEY NOTES SITE PLAN

- 1 PROPERTY LINE, TYP.
- 2 ELECTRICAL TRANSFORMER (SDG&E PAD 3425)
- 3 DOUBLE DETECTOR CHECK
- 4 TELEPHONE SERVICE
- 5 CABLE TV SERVICE
- 6 GAS METERS
- 7 6" CURB
- 8 PARKING SPACE (8'-6" X 18'-0" MIN.) TYP.
- 9 PARKING SPACE - ALLEY (8'6" X 22'-0" MIN.) TYP.
- 10 ACCESSIBLE PARKING SPACE
- 11 ACCESSIBLE STRIPED AISLE
- 12 REFUSE & RECYCLING AREA, SEE SHEET A-4
- 13 VEGETATED SWALE PER CIVIL
- 14 LANDSCAPE PLANTER PER LANDSCAPE
- 15 HARDSCAPE PER LANDSCAPE
- 16 EXISTING/PROPOSED UTILITIES PER CIVIL OR DRY UTILITY CONSULTANT
- 17 DRIVEWAY PER CIVIL
- 18 LINE OF BUILDING ABOVE
- 19 LINE OF WALKWAY ABOVE
- 20 ELEVATOR / ELEVATOR EQUIPMENT
- 21 COVERED PATIO
- 22 EXISTING ON-STREET PARKING TO REMAIN
- 23 EXISTING FIRE HYDRANT TO REMAIN
- 24 EXISTING BUILDING(S) - TO BE DEMOLISHED PHASE I
- 25 EXISTING BUILDING(S) - TO BE DEMOLISHED PHASE II
- 26 6'-0" TALL SOLID FENCE

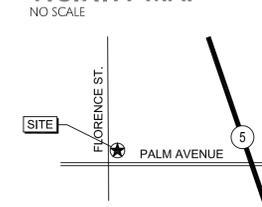
SHEET INDEX

- TS TITLE SHEET / SITE PLAN
- C-1 PRELIMINARY GRADING PLAN
- C-2 PRELIMINARY UTILITY PLAN
- L-1 LANDSCAPE CONCEPT PLAN
- L-2 LANDSCAPE DETAILS & NOTES
- A1 FLOOR PLAN LEVEL ONE
- A2 FLOOR PLAN LEVEL TWO & THREE
- A3 FLOOR PLAN LEVEL FOUR & ROOF PLAN
- A4 FLOOR PLAN / ELEVATIONS TRASH ENCLOSURE
- A5 BUILDING SECTIONS
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS

UNIT REFERENCE TABLE

UNIT TYPE	#	UNIT SIZE RANGE
TYPE 1 (1BEDROOM)	24	485 SF avg.
TYPE 2 (1BEDROOM)	3	480 SF
TYPE 3 (1BEDROOM)	1	460 SF
TYPE 4 (2BEDROOM)	1	785 SF
TYPE 5 (1BEDROOM)	1	465 SF
TOTAL UNITS	30	

VICINITY MAP



PROJECT DATA

PROJECT NAME: THE POST
 PROJECT ADDRESS: 1252 & 1268 PALM AVE. & 655 FLORENCE ST. IMPERIAL BEACH, CA 91932
 ASSESSOR'S PARCEL NUMBERS: 626-242-09, 626-242-24 & 626-242-23
 LEGAL DESCRIPTION: PARCELS A, APN 626-242-09
 PARCELS B, APN 626-242-24
 PARCELS C, APN 626-242-23

THE EAST 90 FEET OF LOT 15 IS INCLUSIVE OF BLOCK 20, EXCEPTING THE SOUTHERLY 10 FEET OF SAID LOT 15 OF 20'00" NORTH SAN DIEGO; BY THE CITY OF IMPERIAL BEACH, CALIFORNIA, ACCORDING TO MAP THEREOF NO. 133, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 5, 1987.
 TOGETHER WITH THAT PORTION OF THE EASTERLY 10 FEET OF FIDUCIARY STREET ADJOINING SAID LOTS ON THE WEST ADJACENT AND ADJACENT TO THE CITY OF IMPERIAL BEACH BY REGULATION NO. 100, ON SEPTEMBER 17, 1966 AND RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 5, 1987, AS AN EASEMENT IS HEREBY GRANTED TO BE OBSERVED, BY US, RECORDED DECEMBER 28, 1994 IN BOOK 568, PAGE 318 OF OFFICIAL RECORDS.

SITE AREA:	0.56 ACRES (24,776 S.F.)
LOT COVERAGE:	5,922 SF / 24,776 = 24%
EXISTING AND PROPOSED ZONE:	GENERAL COMMERCIAL C-1
GENERAL PLAN DESIGNATION:	C - COMMERCIAL
NUMBER OF RESIDENTIAL UNITS:	30
COMMERCIAL TENANT SPACE:	2796 SF (G.F.A.*)
- BAR/MEETING ROOM:	
- BATHROOMS/KITCHEN/STORAGE/	
MOP/OFFICE:	1230 SF (G.F.A.*)
BUILDING HEIGHT:	40'-0" MAX, SEE ELEVATIONS
PROPOSED F.A.R.:	0.86
BUILDING SQUARE FOOTAGE:	
RESIDENTIAL (LEVEL 1)	1,542
RESIDENTIAL (LEVEL 2)	4,750
OFFICE/COMMON (LEV 2)	610
RESIDENTIAL (LEVEL 3)	6,157
RESIDENTIAL (LEVEL 4)	3,074
COMMERCIAL PORTION	4,026
MISC. BUILDING**	1,042
TOTAL	21,201

PROPOSED USE: NEW MIXED-USE RESIDENTIAL AND COMMERCIAL BUILDING WITH ON-GRADE PARKING SPACES AND EXTERIOR PATIO

REQUIRED PARKING SPACES		
AMERICAN LEGION	(1 PER 100 SF N.F.A.*)	2,448 SF / 100 = 24
RESIDENTIAL	(1.5 / UNIT)	30x1.5 = 45
TOTAL REQUIRED		69

PROVIDED PARKING SPACES		
AMERICAN LEGION	(1 PER 126 SF N.F.A.*)	2,448 SF / 126 = 19
RESIDENTIAL	(1 / UNIT)	30x1 = 30
TOTAL PROVIDED		49

OPEN SPACE AND LANDSCAPING:		
REQUIRED	(15% OF COM G.F.A.*)	4,026 SF x 15 = 604 SF
	30 UNITS x 300 = 9,000 SF	
TOTAL REQUIRED		9,604 SF
PROVIDED		
MEMBERS GROUND LEVEL PATIO		1249 SF
RESIDENTIAL 2ND LEVEL PATIO		1129 SF
RESIDENTIAL BALCONIES		604 SF
TOTAL PROVIDED		2,982 SF

*G.F.A. = GROSS/TOTAL FLOOR AREA N.F.A. = NET FLOOR AREA
 ** MISC. BUILDING INCLUDES: ELEVATOR, BOILER ROOM, MAINTENANCE ROOM, ELECTRICAL ROOM, LAUNDRY ROOM AND KITCHEN DUCTWORK SHAFT

GENERAL SQUARE FOOTAGE PERCENTAGES:		
LOT AREA		24,776
BUILDING FOOTPRINT		5,922
LANDSCAPING & PAVED AREAS		18,854

LANDSCAPING & PAVED AREAS ON-SITE	18,854 SF / 24,776 SF = 76%
BUILDING FOOTPRINT ON-SITE	5,922 SF / 24,776 SF = 24%

LANDSCAPE CALCULATION:		
TOTAL SITE AREA:	24,776 SF	
LANDSCAPE REQUIREMENTS PER IBMC 19.50.030A (15%):	3,716 SF	
LANDSCAPE PROVIDED:	3,480 SF (14%)	

PROJECT TEAM

PROPERTY OWNER: AMERICAN LEGION IMPERIAL BEACH
 POST 820
 1628 PALM AVENUE
 IMPERIAL BEACH, CA 91932
 PH #: (619) 423-0876
 CONTACT: PAUL SLATINSKY

CLIENT/APPLICANT: HITZKE DEVELOPMENT CORPORATION
 251 AUTUMN DRIVE
 SUITE 100
 SAN MARCOS, CA 92169
 PH #: (760) 798-9809
 FAX #: (760) 539-9978
 CONTACT: GINGER HITZKE

ARCHITECT: FOUNDATIONFORFORM ARCHITECTURE
 830 25th STREET SUITE 200
 SAN DIEGO, CA 92102
 PH #: (619) 506-4006
 FAX #: (619) 906-4007
 CONTACT: MIKE BURNETT

LANDSCAPE: M ZAKI DESIGN INC.
 4670 SARATOGA AVE. #3
 SAN DIEGO, CA 92107
 (619) 255-1802
 (619) 255-1802
 CONTACT: MOHAMED ZAKI

CIVIL: SWS ENGINEERING
 261 AUTUMN DRIVE SUITE 115
 SAN MARCOS, CA 92069
 (760) 744-0011
 (760) 744-0046
 CONTACT: MICHAEL SCHWEITZER

**FOUNDATION
 FOR
 FORM
 ARCHITECTURE**

**Hitzke
 Development
 Corporation**
 261 Autumn Drive | Suite 100 | San Marcos, CA 92069

The Post
 Affordable housing and facilities for the American Legion Post 820
 1252 & 1268 Palm Avenue, Imperial Beach, CA 91932

1ST SUBMITTAL 6.16.11
 2ND SUBMITTAL 8.29.11
 3RD SUBMITTAL 9.21.11

PROJECT # 1007



**TITLE SHEET/
 SITE PLAN**

TS

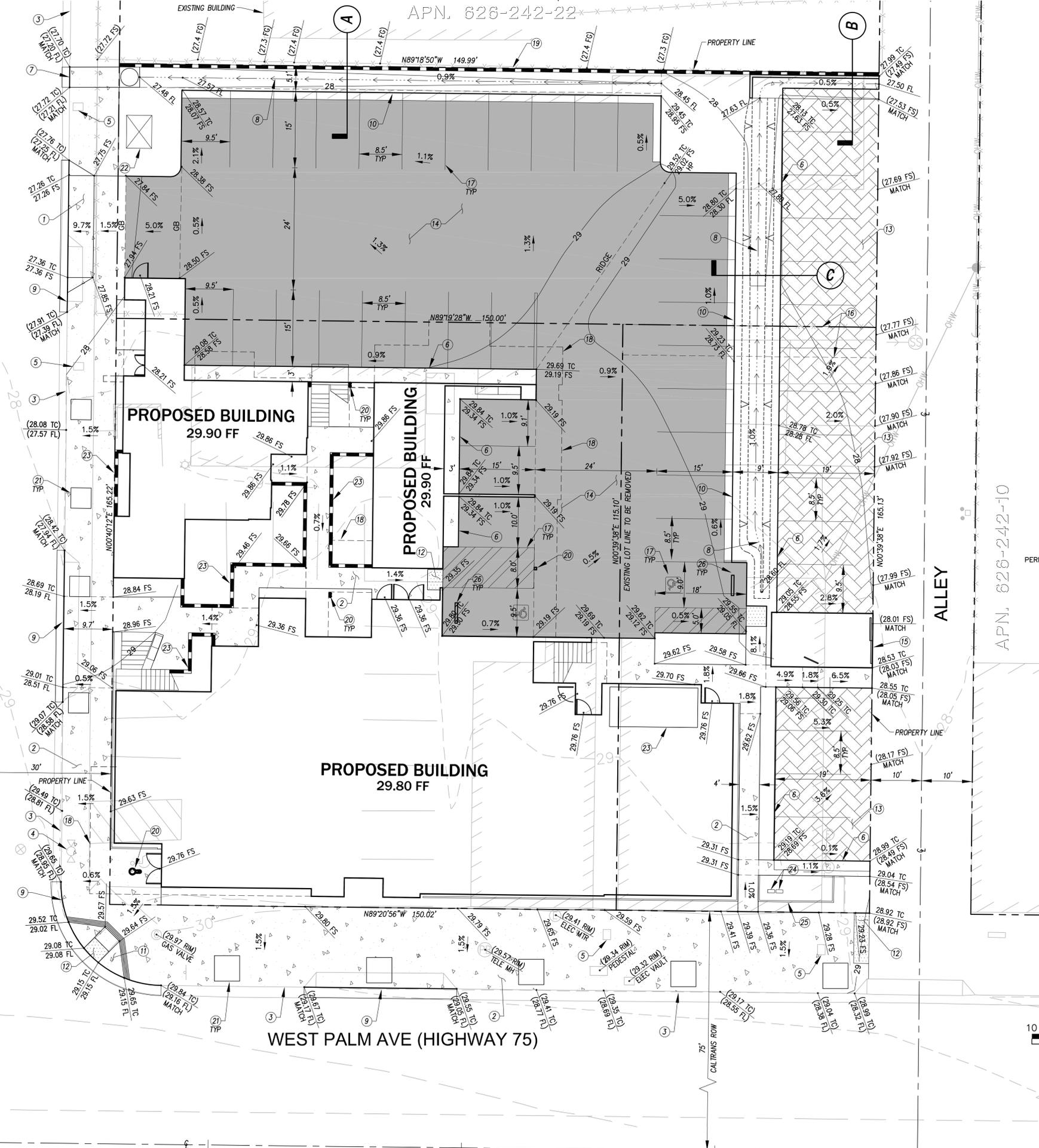
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APN. 626-242-22

FLORENCE STREET

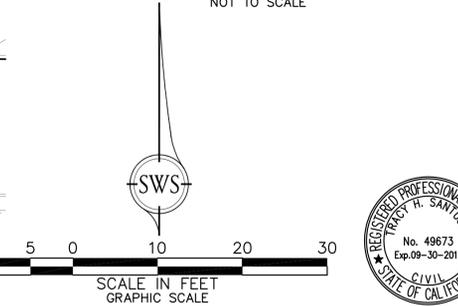
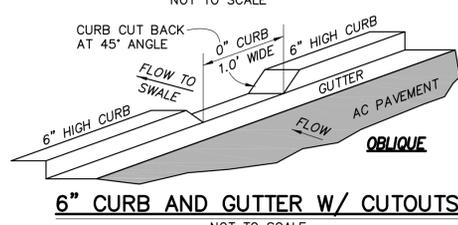
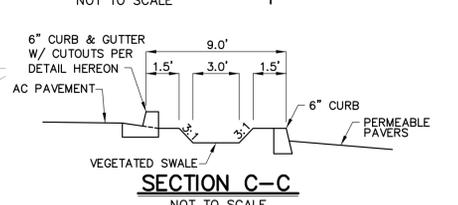
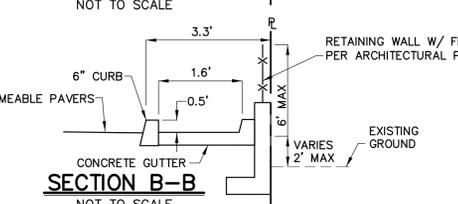
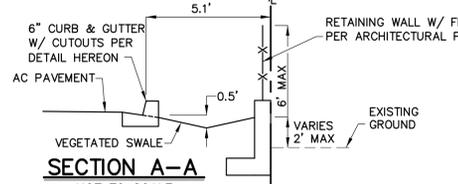
ALLEY

WEST PALM AVE (HIGHWAY 75)



- GRADING NOTES**
- 1 CONCRETE DRIVEWAY
 - 2 CONCRETE SIDEWALK
 - 3 EXISTING CURB AND GUTTER
 - 4 EXISTING FIRE HYDRANT
 - 5 REMOVE EXISTING WATER METER
 - 6 6" CURB
 - 7 CURB OUTLET PER SDRS D-25
 - 8 VEGETATED SWALE
 - 9 6" CURB AND GUTTER
 - 10 6" CURB AND GUTTER WITH CUTOUTS PER DETAIL HEREON
 - 11 ADA CURB RAMP
 - 12 TRUNCATED DOMES
 - 13 PERMEABLE PAVERS
 - 14 AC PAVEMENT
 - 15 TRASH ENCLOSURE PER ARCHITECTURAL PLAN
 - 16 EXISTING 6" SEWER EASEMENT TO BE QUITCLAIMED
 - 17 STRIPING PER ARCHITECTURAL PLAN
 - 18 BUILDING OVERHANG PER ARCHITECTURAL PLAN
 - 19 RETAINING WALL WITH FENCE PER ARCHITECTURAL PLAN
 - 20 BUILDING COLUMN PER ARCHITECTURAL PLAN
 - 21 PLANTERS PER LANDSCAPE PLAN
 - 22 ELECTRICAL TRANSFORMER
 - 23 LANDSCAPE PLANTER WALLS PER ARCHITECTURAL PLAN
 - 24 GAS METERS
 - 25 SCREEN WALL PER ARCHITECTURAL PLAN
 - 26 CURB WHEEL STOPS PER ARCHITECTURAL PLAN

PRELIMINARY EARTHWORK QUANTITIES:
 CUT = 10 C.Y.
 FILL = 447 C.Y.
 IMPORT = 437 C.Y.
 NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION.



FOUNDATION FOR FORM
 ARCHITECTURE / URBAN PLANNING
 830 25th Street, Studio 200 San Diego California 92102 ph 619.906.4006 fx 619.906.4007

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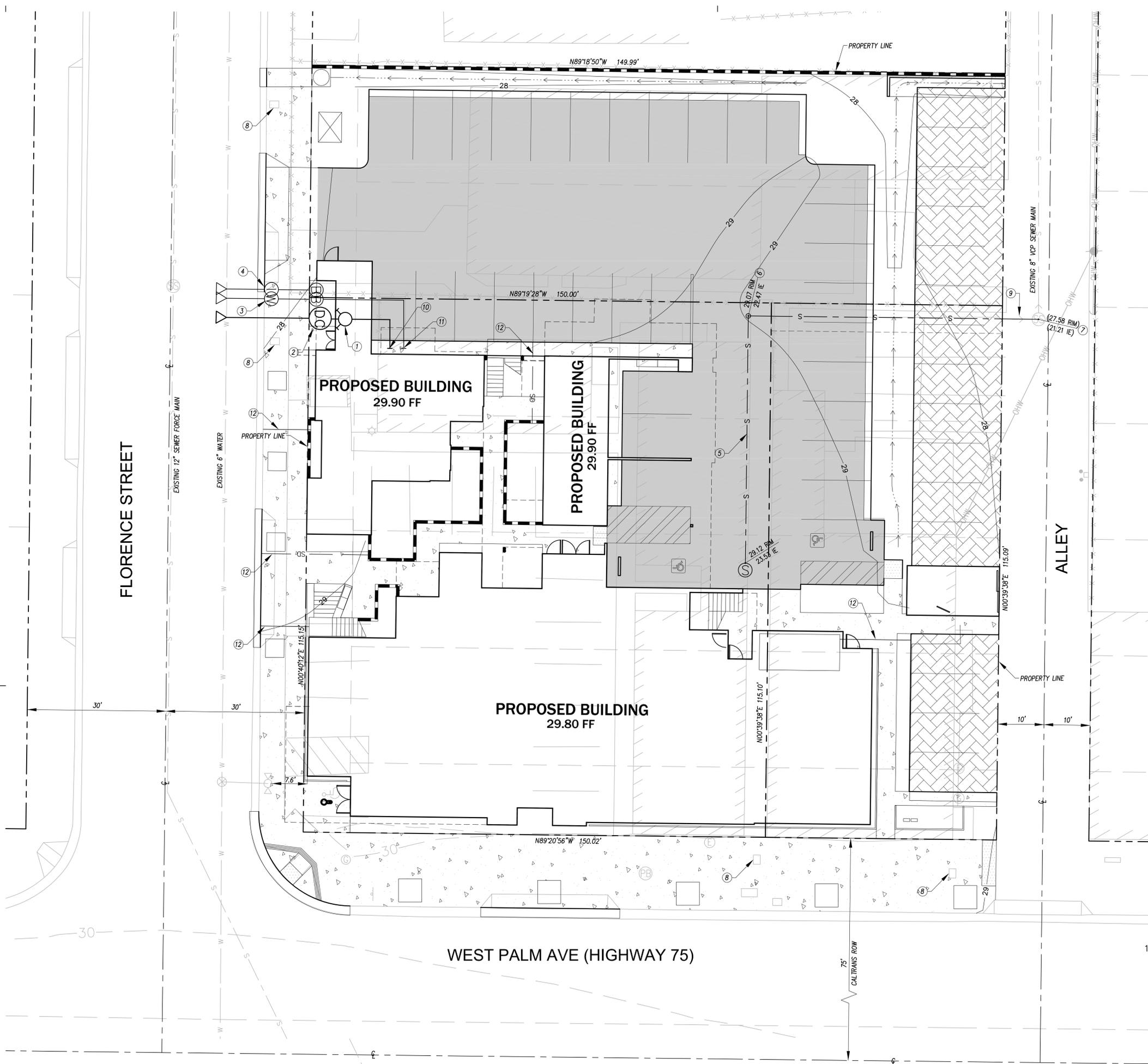
SUBMITTAL SET 06.16.11
 2ND SUBMITTAL 08.29.11
 3RD SUBMITTAL 09.21.11
 PROJECT # 10-045

SWS ENGINEERING, INC.
 CIVIL ENGINEERING • LAND PLANNING • SURVEYING
 31045 Temecula Parkway, Suite 201 | 261 Autumn Drive, Suite 115
 Temecula, CA 92592 | San Marcos, CA 92069
 P: 951-296-3407 F: 951-587-9451 | P: 760-744-0011 F: 760-744-0046

PRELIMINARY GRADING PLAN
C-1

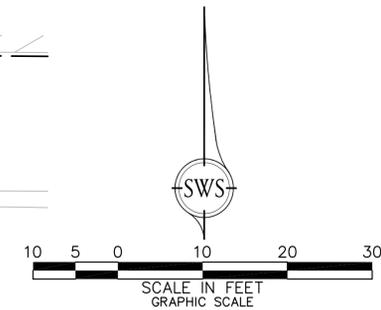
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UTILITY NOTES

- ① FDC/PIV
- ② 6" DOUBLE DETECTOR CHECK ASSEMBLY
- ③ WATER METER AND BACKFLOW
- ④ IRRIGATION METER AND BACKFLOW
- ⑤ 6" SEWER LATERAL
- ⑥ SEWER CLEANOUT
- ⑦ EXISTING SEWER MANHOLE
- ⑧ REMOVE EXISTING WATER METER
- ⑨ REMOVE EXISTING SEWER LATERAL
- ⑩ FIRE SERVICE
- ⑪ WATER SERVICE
- ⑫ SIDEWALK UNDERDRAIN



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 Imperial Beach
 Hitzke Development Corporation

SUBMITTAL SET	06.16.11
2ND SUBMITTAL	08.29.11
3RD SUBMITTAL	09.21.11
PROJECT # 10-045	

PRELIMINARY UTILITY PLAN

C-2

PLANTING LEGEND

PLANTS SHALL BE SELECTED FROM THE FOLLOWING LIST:

SYMBOL Description

STREET TREES

PALM AVENUE

WASHINGTONIA ROBUSTA - MEXICAN FAN PALM

FLORENCE STREET

CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 KOELREUTERIA BIPINNATA - CHINESE FLAME TREE
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA

PARKING LOT TREES

ARBUTUS 'MARINA' - NCN
 FRAXINUS VELUTINA 'MODESTO' - MODESTO ASH
 MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
 ULMUS PARVIFOLIA - CHINESE ELM

COURTYARD TREES

ALBIZIA JULIBRISSIN - MIMOSA TREE
 BETULA PENDULA - EUROPEAN WHITE BIRCH
 CERCIS CANADENSIS 'FOREST PANSY' - EASTERN REDBUD
 BAUHINIA PURPUREA - PURPLE ORCHID TREE

BUILDING FOUNDATION SHRUBS

ABELIA x GRANDIFLORA 'SHERWOODII' - GLOSSY ABELIA VAR.
 ANIGOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAW VAR.
 BUXUS MAGROPHYLLA JAPONICA - JAPANESE BOXWOOD
 FATSIA JAPONICA 'VARIEGATA' - JAPANESE ARLIA VAR.
 HAKONECHLOA MACRA - JAPANESE FOREST GRASS
 NASSELLA TENUISSIMA - MEXICAN FEATHER GRASS
 RHORNIUM TENAX 'JACK SPRATT' - NEW ZEALAND FLAX
 SANSEVIERIA TRIFASCIATA - MOTHER-IN-LAW'S TONGUE

BUILDING FOUNDATION GROUNDCOVER

ADIANTUM CAPILLUS-VENERIS - SOUTHERN MAIDENHAIR
 FESTUCA O. GLAUCA - BLUE FESCUE
 GALIUM ODORATUM - SWEET WOODRUFF
 LIRIOPE MUSCARI 'VARIEGATA' - VARIEGATED BLUE LILY TURF
 TRACHELOSPERMUM JASMINOIDES - STAR JASMINE

BIO-SWALE / STORMWATER MANAGEMENT & PARKING PLANTS

CAREX BUCCHANANII - LEATHER LEAF SEDGE
 IRIS DOUGLASIANA - DOUGLAS IRIS
 LEYMUS CONDENSATUS 'CANYON PRINCE' - WILD RYE
 MUELENBERGIA CAPILLARIS 'REGAL MIST' - PINK MUHLY VAR.
 SENECIO SERPENS - SENECIO

COURTYARD SHRUBS AND GROUNDCOVER

ANIGOZANTHOS FLAVIDUS 'BUSH DAWN' - KANGAROO PAW VAR.
 LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' - MUNSTEAD LAVENDER
 SEDUM SPP. / STONE CROP

GREEN WALL SHRUBS / VINES

DISTICTIS BUCCINATORIA - BLOODRED TRUMPET VINE
 LONICERA JAPONICA - JAPANESE HONEYSUCKLE
 PANDORA JASMINOIDES 'LADY DI' - BOWER VINE
 PARTHENOISSUS TRICUSPIDATA - BOSTON IVY
 TEGOMA CAPENSIS - CAPE HONEYSUCKLE

Size

20-24' BTH

36" BOX
 36" BOX
 36" BOX

24" BOX
 24" BOX
 24" BOX

36" BOX
 36" BOX
 36" BOX

5 GAL.
 5 GAL.
 5 GAL.
 5 GAL.
 1 GAL.
 1 GAL.
 5 GAL.
 5 GAL.

1 GAL./15" O.C.
 1 GAL./15" O.C.
 1 GAL./24" O.C.
 1 GAL./18" O.C.
 FLATS/24" O.C.

1 GAL.
 1 GAL.
 5 GAL.
 5 GAL.
 1 GAL./12" O.C.

5 GAL.
 5 GAL.
 3 1/2" POTS/12" O.C.

5 GAL. @ 15" O.C.
 5 GAL. @ 15" O.C.
 5 GAL. @ 15" O.C.
 5 GAL. @ 15" O.C.
 5 GAL. @ 15" O.C.

PLAN KEYNOTES:

- 1 PROJECT ENTRIES WITH ENHANCED CONCRETE PAVEMENT, SCORING, AND ORNAMENTAL PLANTING AND POTS.
- 2 MEMBER OUTDOOR PATIO WITH ENHANCED OPEN-JOINT PAVERS, SEATING AREAS AND OVERHEAD TRELLIS.
- 3 GRAY CONCRETE SIDEWALK WITH SCORING PER CALTRANS STANDARDS.
- 4 PARKING & ASPHALT PAVEMENT PER CIVIL DRAWINGS.
- 5 NEW DRIVEWAY ENTRANCE TO PARKING PER CIVIL DRAWINGS.
- 6 STREET TREES IN GRATES PER LEGEND & DETAIL F, SHEET L 2.
- 7 SHRUBS AND GROUNDCOVER IN PLANTING AREA PER LEGEND.
- 8 GREEN WALL: 3-DIMENSIONAL, MODULAR, WELDED WIRE TRELLISING SYSTEM WITH VARIOUS VINES.
- 9 STAIRS AND ELEVATOR PER ARCH. DRAWINGS.
- 10 BUILDING OR WALLS PER ARCH. DRAWINGS.
- 11 BUILDING ABOVE AND COLUMN PER ARCH. DRAWINGS.
- 12 EXISTING AND/OR PROPOSED UTILITIES PER CIVIL OR DRY UTILITY CONSULTANT DRAWINGS.
- 13 NEW CURB OR CURB & GUTTER PER CIVIL DRAWINGS.
- 14 RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- 15 PALM AVENUE - CALTRANS RIGHT OF WAY & PROPERTY LINE PER CIVIL DRAWINGS.
- 16 NEW ADA RAMP & CURB CORNER PER CIVIL DRAWINGS.
- 17 BUILT-IN SEAT WALL ALONG PLANTER.
- 18 NEW GRAY CONCRETE SIDEWALK.
- 19 ADA PARKING.
- 20 TRASH & RECYCLE ENCLOSURE PER ARCH. DRAWINGS.
- 21 ELECTRIC TRANSFORMER PER DRY UTILITY CONSULTANT.
- 22 EXISTING CURB & GUTTER TO REMAIN.
- 23 BIKE RACK.

IRRIGATION NOTE WITHIN ROW:

IRRIGATION SYSTEM FOR THE PROPOSED TREES WITHIN THE PUBLIC ROW SHALL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND SHALL BE DESIGNED AND INSTALLED PER IBMC 19.50.040.F.

GENERAL NOTE:

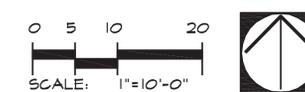
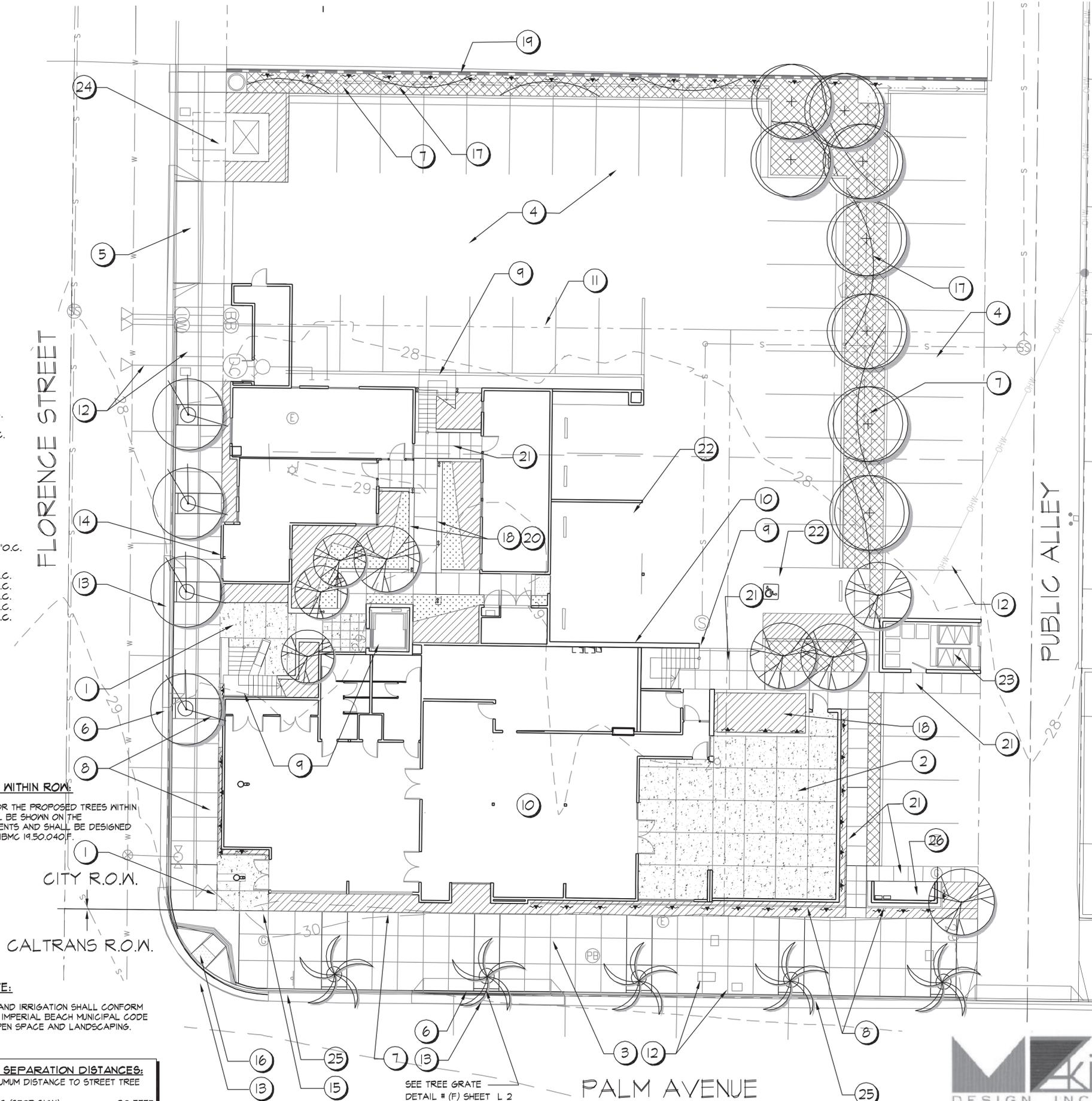
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH MUNICIPAL CODE CHAPTER 19.50 OPEN SPACE AND LANDSCAPING.

MINIMUM TREE SEPARATION DISTANCES:

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE	
- TRAFFIC SIGNALS (STOP SIGN):	20 FEET
- UNDERGROUND UTILITY LINES:	10 FEET
- ABOVE GROUND UTILITY STRUCTURES:	10 FEET
- DRIVEWAY (ENTRIES):	10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS):	25 FEET

LANDSCAPE CALCULATIONS PER IBMC 19.50.030A

TOTAL SITE AREA = +/- 24,716 SF
 LANDSCAPED AREA REQUIRED (15%) = 3,716 SF
 LANDSCAPED AREA PROVIDED = 3,480 SF (14%)



landscape architecture . urban design . planning
 4670 saratoga avenue, # 3
 san diego, california 92017
 phone / fax 619.255.1802



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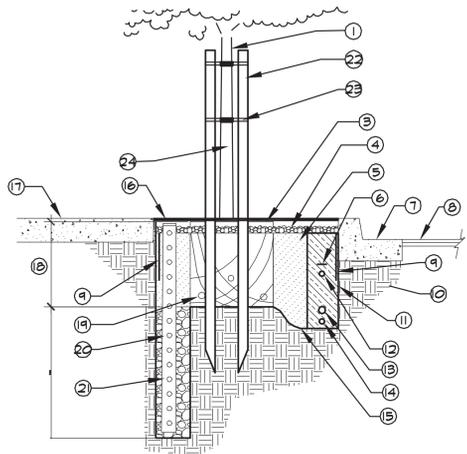
PROJECT # 1007

LANDSCAPE CONCEPT PLAN

L1

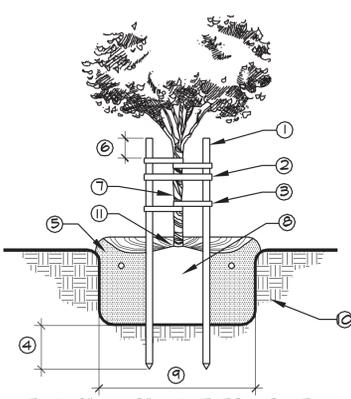
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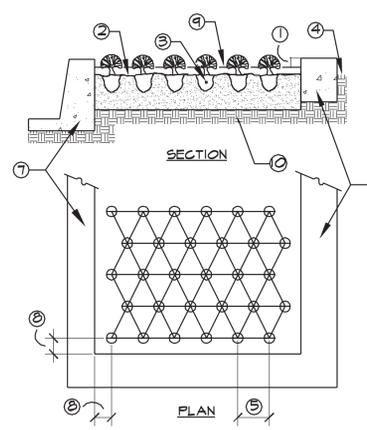
- ① TREE.
- ② ROOTBALL
- ③ PLANT TOP OF ROOTBALL 1" ABOVE SOIL LEVEL
- ④ 3" DEPTH GRAVEL.
- ⑤ PLANTING BACKFILL - PER SOIL REPORT.
- ⑥ TRENCH MARKER.
- ⑦ CURB
- ⑧ STREET.
- ⑨ ROOT BARRIER.
- ⑩ 90% COMPACTED SUBGRADE OR PER GEOTECHNICAL REPORT.
- ⑪ IRRIGATION TRENCH
- ⑫ IRRIGATION LATERAL
- ⑬ IRRIGATION MAIN
- ⑭ IRRIGATION CONTROL WIRES IN SCHEDULE 40 SLEEVE.
- ⑮ EXCAVATE EDGES OF PIT 12" BELOW ROOT BALL.
- ⑯ ADA APPROVED TREE GRATE. PER LC-1 & LC-2.
- ⑰ PAVING.
- ⑱ DEPTH OF ROOTBALL.
- ⑲ PLANT TABS PER SPECIFICATIONS.
- ⑳ OPTIONAL: 8" DIA. AUGER DRAINAGE SUMP BACKFILLED WITH PEA GRAVEL.
- ㉑ 4" DIA. RIGID PERFORATED PIPE WRAPPED WITH FILTER FABRIC. EMPTY TO BOTTOM WITH 4" FLAT DRAIN CAP (NDS NO. 13 OR EQUAL).
- ㉒ TWO 10' LONG LODGEPOLE PINE TREE STAKES IN NURSERY STAKE HOLES.
- ㉓ TREE TIE PER SPECIFICATIONS.
- ㉔ TREE TRUNK.

A TREE PLANTING IN TREE GRATE
NO SCALE



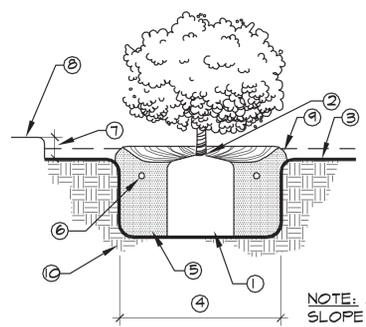
- PREVAILING WIND PLAN VIEW
- ① PINE STAKE (2 REQ'D).
 - ② 1 X 2" WOOD BRACE.
 - ③ VINYL TREE TIE (2 REQ'D. PER STAKE).
 - ④ 24" MIN.
 - ⑤ PLANTING BACKFILL - PER SOIL REPORT.
 - ⑥ 12" MIN.
 - ⑦ TREE TRUNK.
 - ⑧ ROOTBALL. SET ROOT CROWN 1"-2" ABOVE FINISH GRADE.
 - ⑨ 3X ROOTBALL WIDTH
 - ⑩ UNDISTURBED NATIVE SOIL
 - ⑪ 3" DEPTH OF BARK MULCH, 1" TO 2" FROM TREE TRUNK.

B DOUBLE STAKING (15 GALLON TREES & LARGER)
NO SCALE



- ① 1" BELOW PAVEMENT.
- ② PLANTING BACKFILL - PER SOIL REPORT.
- ③ PLANT TABLET, PER SPECS.
- ④ FINISH GRADE.
- ⑤ EQUAL (X) - SEE PLANT LEGEND FOR ON CENTER SPACING.
- ⑥ CONCRETE MOW STRIP, OR HARDSCAPE IMPROVEMENT AS INDICATED ON PLAN.
- ⑦ CONCRETE CURB OR HARDSCAPE IMPROVEMENT AS INDICATED ON PLAN.
- ⑧ SEE PLANT LEGEND FOR MINIMUM CLEARANCE
- ⑨ GROUND COVER PLANTED FROM CONTAINER SHALL RECEIVE 3" MEDIUM GRIND SHREDDED BARK MULCH.
- ⑩ UNDISTURBED NATIVE SOIL

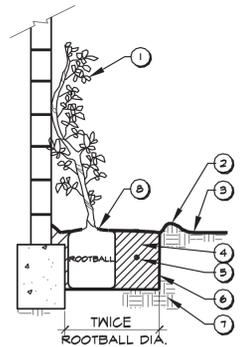
C GROUND COVER PLANTING DETAIL
NO SCALE



- ① ROOTBALL.
- ② CROWN-1" ABOVE FINISH GRADE.
- ③ FINISH GRADE.
- ④ 3 X ROOTBALL DIA.
- ⑤ PLANTING BACKFILL - PER SOIL REPORT.
- ⑥ PLANT TABLETS.
- ⑦ 1" MAX. DEPTH.
- ⑧ TOP OF PAVING.
- ⑨ 4" HIGH WATERING BASIN.
- ⑩ UNDISTURBED NATIVE SOIL.

NOTE: ALL SHRUB BEDS LESS THAN 3:1 SLOPE SHALL RECEIVE A 3" LAYER OF MEDIUM GRIND SHREDDED BARK MULCH

D SHRUB PLANTING
NO SCALE



- ① VINE OR ESPALIER.
 - ② 2" DEEP WATERING BASIN.
 - ③ FINISH GRADE.
 - ④ PLANTING BACKFILL
 - ⑤ PLANTING TABLETS. PLACE IN PIT 2/3 UP FROM PIT BOTTOM. SEE LEGEND THIS SHEET.
 - ⑥ SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 - ⑦ UNDISTURBED NATIVE SOIL.
 - ⑧ SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.
- NOTES:
1. SET VINE OR ESPALIER AS CLOSE TO BACK SURFACE OF PIT AS POSSIBLE.
 2. ALL VINES SHALL BE ATTACHED TO ADJACENT WALLS WITH VINE TIES SUCH AS THE "PLANT ANCHOR KIT" MANUFACTURED BY TUMAX COMPANY, INC. OR APPROVED EQUAL.

E VINE PLANTING DETAIL
NO SCALE

LANDSCAPE IRRIGATION NOTES:

GENERAL NOTES:

1. ALL WORK WITHIN PALM AVENUE RIGHT-OF-WAY SHALL TO CALTRANS STANDARDS AND SPECIFICATIONS. A SEPARATE SET OF PUBLIC IMPROVEMENT AND ON-SITE LANDSCAPE DRAWINGS SHALL BE PREPARED AS DIRECTED BY THE CITY AND CALTRANS.
2. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE CITY OF IMPERIAL BEACH DEVELOPMENT GUIDELINES, ZONING ORDINANCE CHAPTER 19.50 OPEN SPACE AND LANDSCAPING.
3. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
4. THE IRRIGATION SYSTEM SHALL BE AN AUTOMATICALLY CONTROLLED, WATER EFFICIENT, LOW PRECIPITATION RATE SPRAY, ROTOR AND BUBBLER SYSTEM TO BE MAINTAINED BY THE PROPERTY MANAGEMENT.
5. ALL TREES WITHIN 5' OF IMPROVEMENTS SUCH AS, WALKS, CURBS, PAVING, ETC. SHALL BE INSTALLED WITH CITY APPROVED ROOT BARRIERS
6. ALL SHRUB PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MEDIUM GRIND BARK MULCH.
7. PLANT MATERIAL USED FOR THE PROJECT SHALL BE DROUGHT RESISTANT PLANTS WITH LOW WATER USAGE, VARIED IN SIZE, COLOR, TEXTURE, FORM AND COMPLIMENTARY TO BUILDING DESIGN AND ARCHITECTURAL THEME.
8. SHRUBS AND GROUND COVER SHALL BE USED AS APPROPRIATE THROUGHOUT THE AREAS INDICATED ON THE PLAN TO REINFORCE THE TREE PLANTING CONCEPT AND TO ACHIEVE SCREENING AND BUFFERING. PLANT SPACING AND QUANTITIES SHALL BE PROVIDED TO MEET THE LANDSCAPE ORDINANCE AND SHALL BE INDICATED IN THE CONSTRUCTION DOCUMENTS.

MAINTENANCE NOTES:

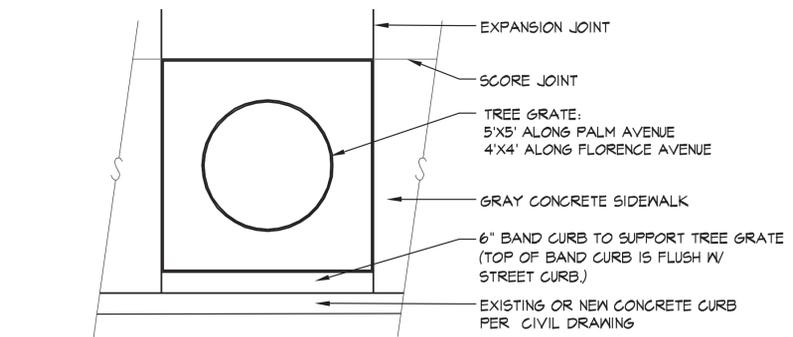
9. ALL ON-SITE LANDSCAPE AREAS SHALL BE MAINTAINED BY A QUALIFIED LANDSCAPE COMPANY HIRED BY THE DEVELOPER OR THE FUTURE PROPERTY MANAGEMENT COMPANY. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED.
10. THE PROPERTY DEVELOPER/MANAGEMENT COMPANY SHALL ENSURE LANDSCAPE MAINTENANCE PROVIDERS USE INTEGRATED PEST MANAGEMENT PRACTICES TO PREVENT FERTILIZERS, PESTICIDES, YARD WASTE, AND OTHER POLLUTANTS FROM ENTERING THE STORM DRAINAGE.

SOIL NOTES:

11. ALL ON-SITE LANDSCAPE AREAS SHALL BE PROVIDED WITH A MINIMUM OF 12-INCHES OF LOAMY SOIL OR AS RECOMMENDED BY THE SOILREPORT IN ORDER TO MAXIMIZE INFILTRATION AND ABSORPTION POTENTIAL DURING WET CONDITIONS AND MINIMIZE IRRIGATION RUN-OFF.

STATEMENT OF WATER CONSERVATION

1. PLEASE NOTE THE FOLLOWING PRINCIPLES OF DESIGN UTILIZED ON THIS PROJECT DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM:
 - A) NO SPRAY OR ROTORS SPRINKLER HEADS SHALL BE USED ON THE PROJECT
 - B) TREES SHALL BE IRRIGATED WITH DEEP ROOT ZONE WATERING BUBBLERS.
 - C) VINES SHALL BE IRRIGATED WITH 4" PO-UP BUBBLERS.
 - D) SHRUBS AND GROUND COVER SHALL BE IRRIGATED WITH NETAFIM DRIP SYSTEM
 - E) IRRIGATION ZONES SEPARATED BY PLANT MATERIAL TYPES.
 - F) IRRIGATION ZONES SEPARATED BY EXPOSURE AND ORIENTATION.
 - G) UTILIZATION OF CONTROLLER WITH WATER BUDGETING FEATURE.
2. PLAN, NOTES, DETAILS AND SPECIFICATIONS OF THE IRRIGATION SYSTEM SHALL BE PROVIDED ON THE CONSTRUCTION DOCUMENTS SET FOLLOWING THE APPROVAL OF THE ENTITLEMENT PERMIT.
3. AN IRRIGATION AUDIT, IN COMPLIANCE WITH THE STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, SHALL BE PERFORMED BY A CERTIFIED IRRIGATION AUDITOR PRIOR TO TURNOVER OF PROJECT FROM INSTALLATION CONTRACTOR TO HOA EMPLOYED STAFF AND EVERY 5 YEARS THEREAFTER. IRRIGATION SYSTEM SHALL BE TESTED AND MAINTAINED ON A MONTHLY BASIS BY THE HOA EMPLOYED MAINTENANCE STAFF. THE REGULAR MAINTENANCE SCHEDULE COUPLED WITH THE AUDITS SHOULD HELP TO MAINTAIN THE IRRIGATION EFFICIENCY AS INTENDED IN THE DESIGN.

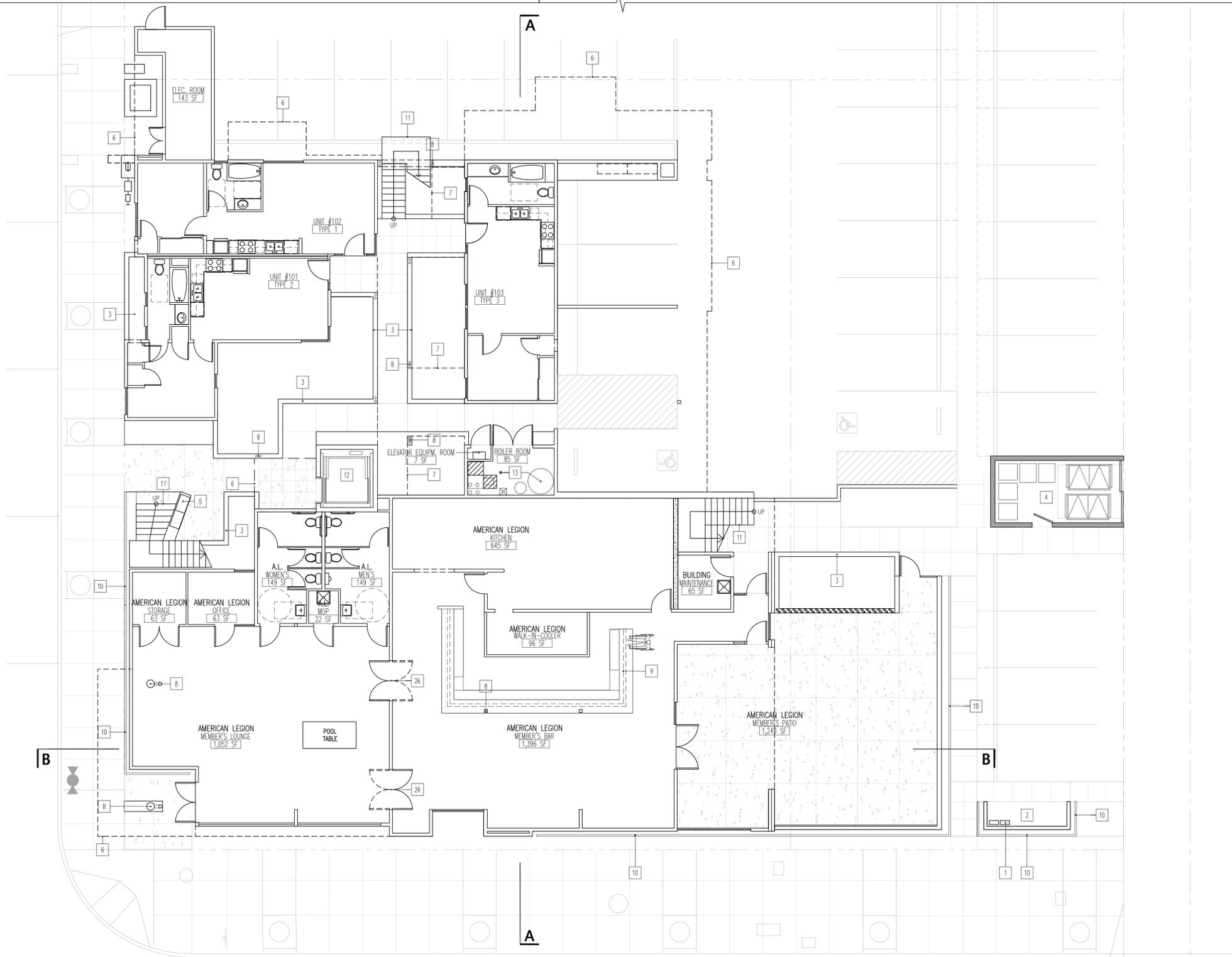


F TREE GRATE DETAIL
NO SCALE



landscape architecture . urban design . planning
4670 saratoga avenue, # 3
san diego, california 92017
phone / fax 619.255.1802

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SITE PLAN - LEVEL ONE

PALM AVENUE



PARKING NOTES

- STANDARD SPACES, 8'-6" x 18'-0", TYP.
- ALL ACCESSIBLE PARKING SPACES SHALL COMPLY WITH U.B.C. SECTION 1129B.4.1
- PROVIDE A BUMPER OR CURB AT EACH SPACE TO PREVENT ENCRoACHMENT INTO REQUIRED WIDTH OF WALKWAYS PER U.B.C. SECTION 1129B.4.3.
- ALL ACCESSIBLE PARKING SPACES ARE TO BE IDENTIFIED BY A REFLECTORIZED SIGN, PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH SPACE.
- EACH ACCESSIBLE PARKING SPACE IS REQUIRED TO BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH SPACE.

GENERAL NOTES

- FOR ADDITIONAL INFORMATION SEE CIVIL DRAWINGS. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION ON PROPOSED WALLS, RETAINING WALLS AND FENCES. SEE CIVIL FOR ADDITIONAL INFORMATION ON CURB RAMPS.
- FOR ADDITIONAL INFORMATION SEE LANDSCAPE DRAWINGS. SEE GRADING PLANS FOR SLOPES AT ALL WALKWAYS. CURB CUTS PER U.B.C. SHALL BE PROVIDED AT ALL INTERSECTIONS WITH WALKWAYS.
- AREA LIGHTING SHALL BE DESIGNED AND DIRECTED TO PREVENT EXCESS LIGHT FROM FALLING ON ADJACENT PROPERTIES TO THE NORTH, SOUTH AND EAST. ALL WALKWAYS, PATIOS AND COURTYARD SPACES SHALL BE PROPERLY LIT TO MAINTAIN A SECURE AND SAFE LIVING ENVIRONMENT. EXACT INTENSITY AND LOCATION OF SITE LIGHTING WILL BE PROVIDED AT TIME OF BUILDING PERMIT SUBMITTAL FOR REVIEW AND CONFORMANCE TO CITY OF IMPERIAL BEACH STANDARDS.
- ALL SIGNS THAT WILL BE USED FOR THE PROJECT SHALL BE CONSISTENT WITH MUNICIPAL CODE SIGN PERMITS.

BUILDING NOTES

- KITCHENS WITHIN DWELLING UNITS SHALL COMPLY WITH CBC SECTION 1133A.
- BATHROOMS WITHIN DWELLING UNITS SHALL COMPLY WITH CBC SECTION 1134 A.
- COMMON AREAS SERVING DWELLING UNITS SHALL COMPLY WITH BOTH CBC CHAPTER 11A AND CBC CHAPTER 11B AS APPLICABLE.
- A DETAILED KITCHEN LAYOUT WILL BE PROVIDED TO THE COUNTY OF SAN DIEGO HEALTH DEPARTMENT FOR REVIEW AND APPROVAL CONCURRENTLY WITH REVIEW BY CITY BUILDING DIVISION.
- PRIOR TO BUILDING PERMIT SUBMITTAL PROVIDE A CODE DATA SECTION ON THE PLANS SHOWING ALL APPLICABLE CURRENT CALIFORNIA BUILDING CODES, OCCUPANCY GROUPS, TYPE OF CONSTRUCTION, FIRE PROTECTIONS SYSTEMS, ETC.

PUBLIC SAFETY NOTES

- BUILDING CONSTRUCTION TYPE, HOUR SEPARATION RATINGS, OCCUPANT LOADS ETC. IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE, CCR TITLE 24 AND SIMILAR APPLICABLE CODES AND STANDARDS UTILIZING CURRENT ADOPTED EDITIONS.
- FIRE SPRINKLER INSTALLATION IN ACCORDANCE WITH THE CALIFORNIA HEALTH AND SAFETY CODE, CCR TITLE 24, NFPA 13, NFPA 14 AND CITY OF IMPERIAL BEACH AMENDMENTS AND SIMILAR APPLICABLE CODES AND STANDARDS UTILIZING CURRENT ADOPTED EDITIONS.
- FIRE ALARM AND CARBON MONOXIDE DETECTION INSTALLATION IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE CCR TITLE 24, NFPA 70 AND 72 AND SIMILAR APPLICABLE CODES AND STANDARDS UTILIZING CURRENT ADOPTED EDITIONS.
- PORTABLE FIRE EXTINGUISHER INSTALLATION IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE CCR TITLES 19 AND 24, NFPA 10 AND SIMILAR APPLICABLE CODES AND STANDARDS UTILIZING CURRENT ADOPTED EDITIONS.

KEY NOTES - FLOOR PLANS

- GAS METERS
- BICYCLE PARKING
- RAISED LANDSCAPE PLANTER WALLS
- REFUSE & RECYCLING AREA, SEE SHEET A-4
- MAILBOX ENCLOSURE
- LINE OF BUILDING ABOVE
- LINE OF WALKWAY ABOVE
- COLUMNS PER PLAN, TYP
- NEW BAR
- 3-DIMENSIONAL SCREEN WALL TO BE PLANTED

- STEEL AND CONCRETE STAIRS TYP.
- ELEVATOR
- HOT WATER P.T. DISCHARGES TO SANITARY SEWER SYSTEM
- RESIDENTIAL PATIO
- 42" HIGH GAURDRAIL PER ELEVATIONS
- DECK DRAIN TYP.
- AREA OPEN TO BELOW
- AREA FOR KITCHEN EXHAUST DUCTWORK
- ELEVATED WALKWAY
- LINE OF ROOF ABOVE

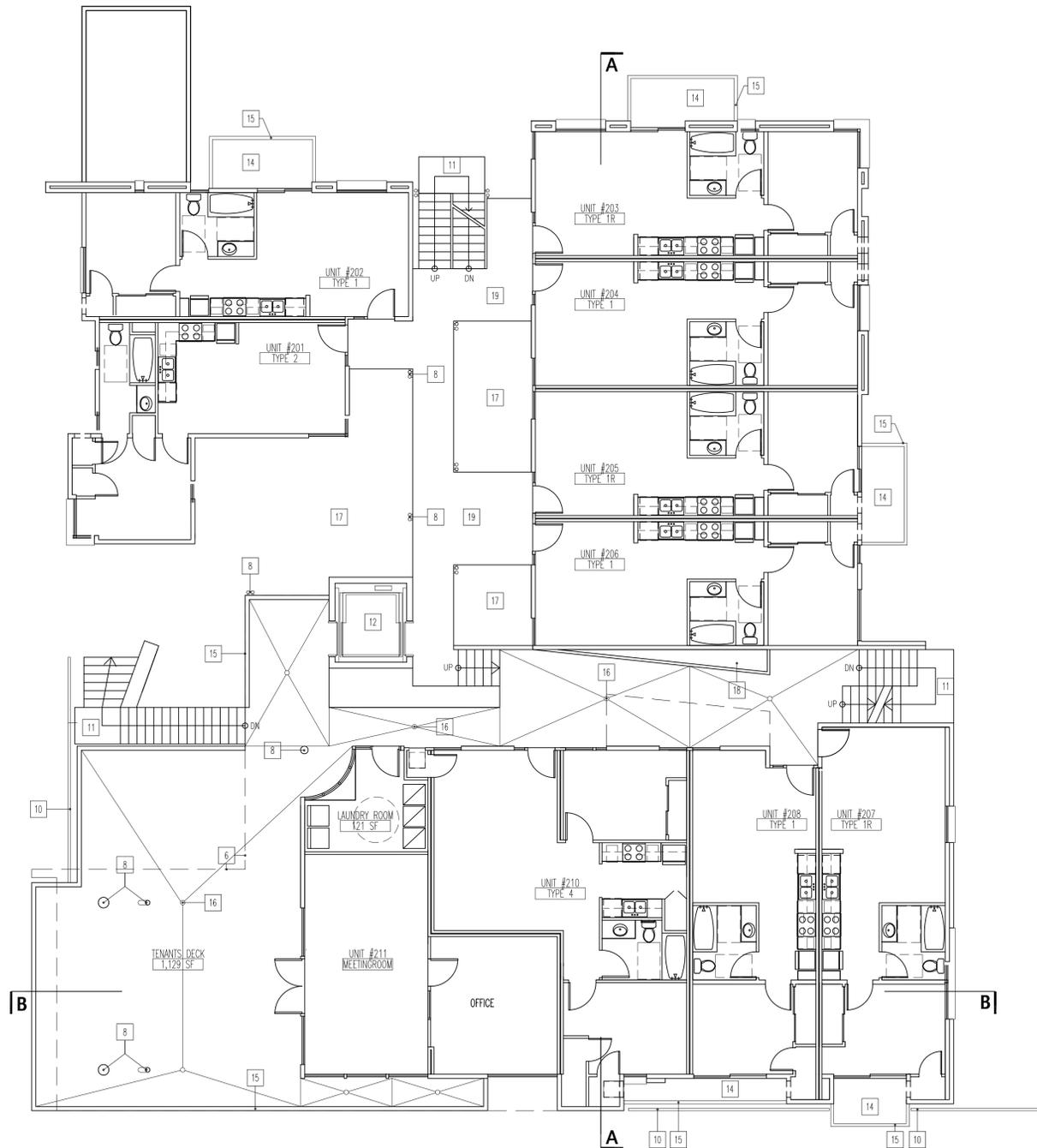
- ARCHITECTURAL SHADE FIN
- PARAPET TYP.
- SLOPED COMPOSITE ROOF TYP.
- ROOF MOUNTED KITCHEN EQUIPMENT
- ELEVATOR ENTRANCE CANOPY
- DOORS NOT TO BE LATCHED

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2ND SUBMITTAL	8.29.11
3RD SUBMITTAL	9.21.11

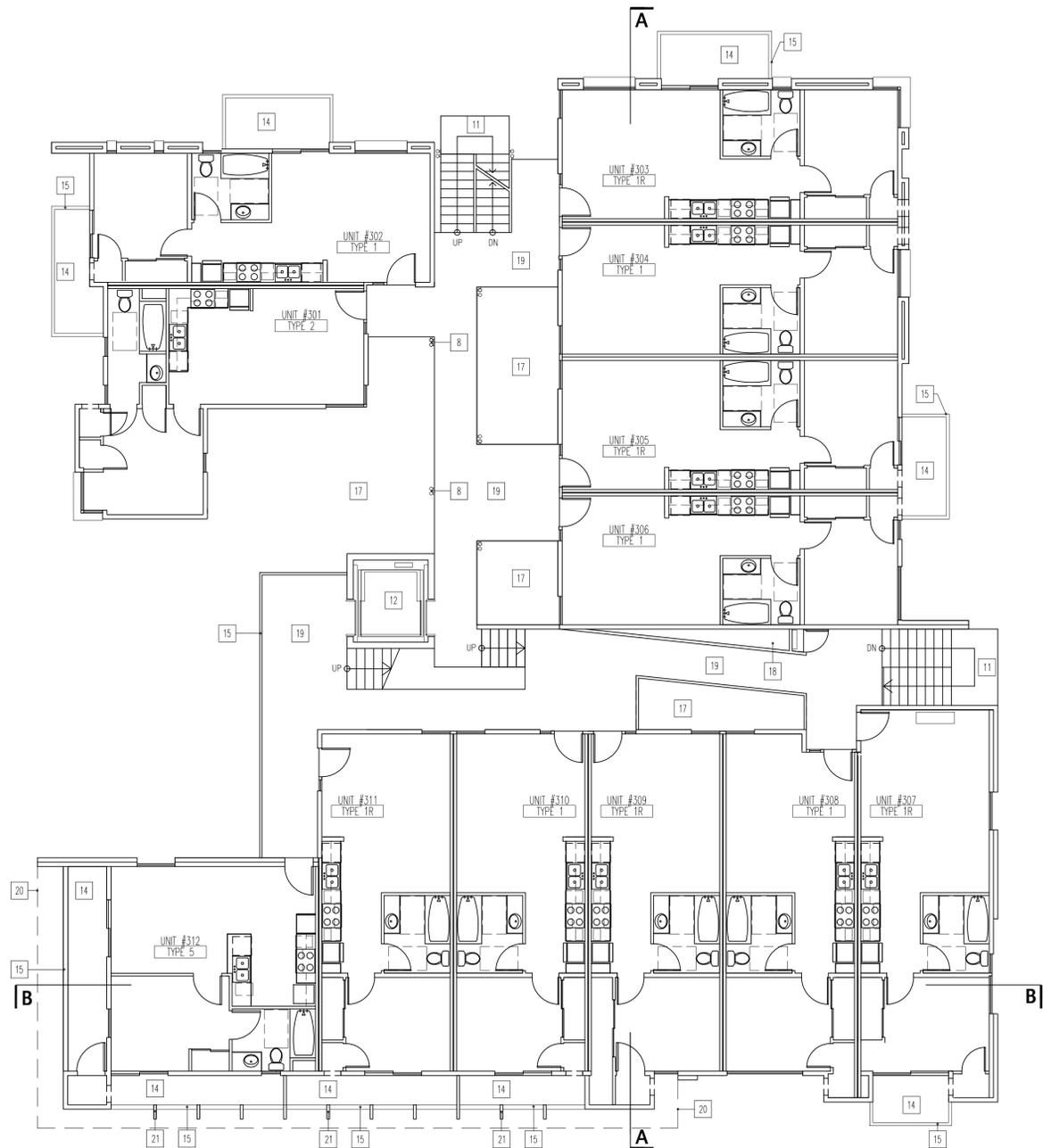
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FLOOR PLAN - LEVEL TWO



FLOOR PLAN - LEVEL THREE



KEY NOTES - FLOOR PLANS

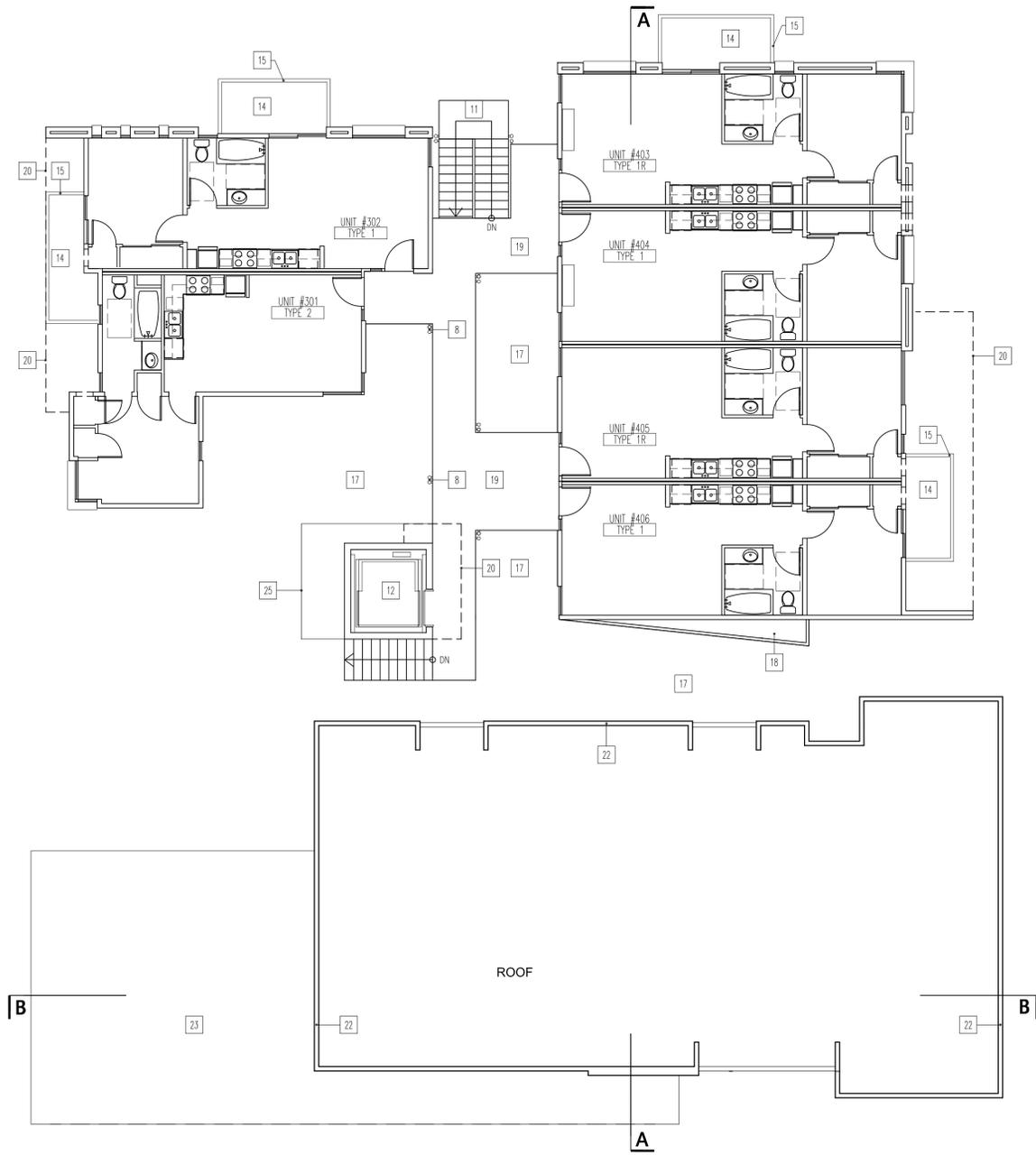
- | | | |
|--|---|-----------------------------------|
| 1 GAS METERS | 11 STEEL AND CONCRETE STAIRS TYP. | 21 ARCHITECTURAL SHADE FIN |
| 2 BICYCLE PARKING | 12 ELEVATOR | 22 PARAPET TYP. |
| 3 RAISED LANDSCAPE PLANTER WALLS | 13 HOT WATER P.T. DISCHARGES TO SANITARY SEWER SYSTEM | 23 SLOPED COMPOSITE ROOF TYP. |
| 4 REFUSE & RECYCLING AREA, SEE SHEET A-4 | 14 RESIDENTIAL PATIO | 24 ROOF MOUNTED KITCHEN EQUIPMENT |
| 5 MAILBOX ENCLOSURE | 15 42" HIGH GAUDDRAIL PER ELEVATIONS | 25 ELEVATOR ENTRANCE CANOPY |
| 6 LINE OF BUILDING ABOVE | 16 DECK DRAIN TYP. | 26 DOORS, NOT TO BE LATCHED |
| 7 LINE OF WALKWAY ABOVE | 17 AREA OPEN TO BELOW | |
| 8 COLUMNS PER PLAN, TYP | 18 AREA FOR KITCHEN EXHAUST DUCTWORK | |
| 9 NEW BAR | 19 ELEVATED WALKWAY | |
| 10 3-DIMENSIONAL SCREEN WALL TO BE PLANTED | 20 LINE OF ROOF ABOVE | |

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3RD SUBMITTAL	9.21.11

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FLOOR PLAN - LEVEL FOUR



ROOF PLAN

KEY NOTES - FLOOR PLANS

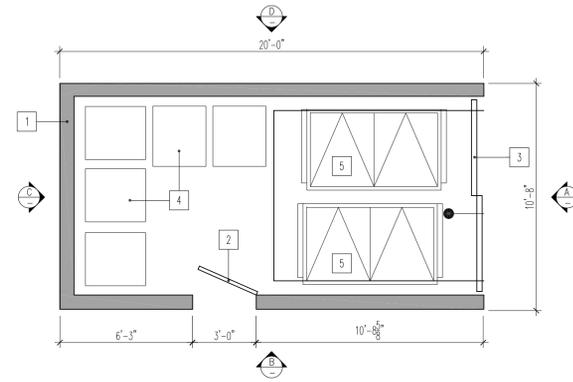
- | | | |
|--|---|-----------------------------------|
| 1 GAS METERS | 11 STEEL AND CONCRETE STAIRS TYP. | 21 ARCHITECTURAL SHADE FIN |
| 2 BICYCLE PARKING | 12 ELEVATOR | 22 PARAPET TYP. |
| 3 RAISED LANDSCAPE PLANTER WALLS | 13 HOT WATER P.T. DISCHARGES TO SANITARY SEWER SYSTEM | 23 SLOPED COMPOSITE ROOF TYP. |
| 4 REFUSE & RECYCLING AREA, SEE SHEET A-4 | 14 RESIDENTIAL PATIO | 24 ROOF MOUNTED KITCHEN EQUIPMENT |
| 5 MAILBOX ENCLOSURE | 15 42" HIGH GAURDRAIL PER ELEVATIONS | 25 ELEVATOR ENTRANCE CANOPY |
| 6 LINE OF BUILDING ABOVE | 16 DECK DRAIN TYP. | 26 DOORS, NOT TO BE LATCHED |
| 7 LINE OF WALKWAY ABOVE | 17 AREA OPEN TO BELOW | |
| 8 COLUMNS PER PLAN, TYP | 18 AREA FOR KITCHEN EXHAUST DUCTWORK | |
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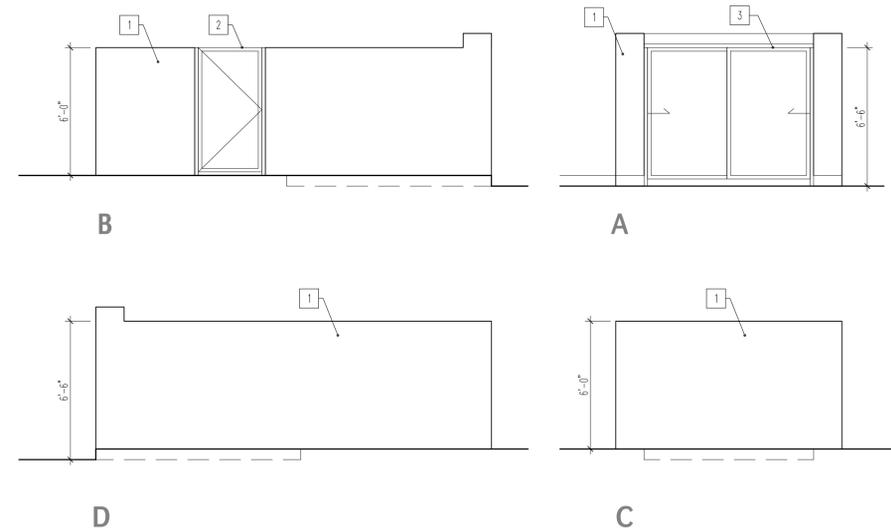
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NOTE:

1. TRASH/REFUSE ENCLOSURE AND RECYCLING ENCLOSURE SHALL COMPLY WITH IBMC 19.74.090. TRASH AND RECYCLING ENCLOSURES ARE TO BE ENCLOSED BY A 6'-0" HIGH MASONRY WALL AND LOCKING GATE. THE MINIMUM SIZE TRASH/REFUSE ENCLOSURE SHALL BE 6'-0" BY 9'-0" AND THE MINIMUM RECYCLING ENCLOSURE SHALL BE 4'-0" BY 8'-0".
2. ANY DISPOSAL/TRANSPORTATION OF SOLID WASTE / CONSTRUCTION WASTE IN ROLL OFF CONTAINERS MUST BE CONTRACTED THROUGH EDCC DISPOSAL CORPORATION UNLESS THE HAULING CAPABILITY EXISTS INTEGRAL TO THE PRIME CONTRACTOR PERFORMING THE WORK.

PLAN



ELEVATIONS

TRASH ENCLOSURE - PLAN & ELEVATIONS

KEY NOTES - TRASH ENCLOSURE

- 1 CONCRETE MASONRY WALL WITH STUCCO FINISH, COLOR TBD
- 2 6' HIGH LOCKABLE GATE
- 3 6' HIGH LOCKABLE SLIDING GATE FACING THE ALLEY
- 4 RECYCLE BINS, TYP.
- 5 DUMPSTER, TYP.

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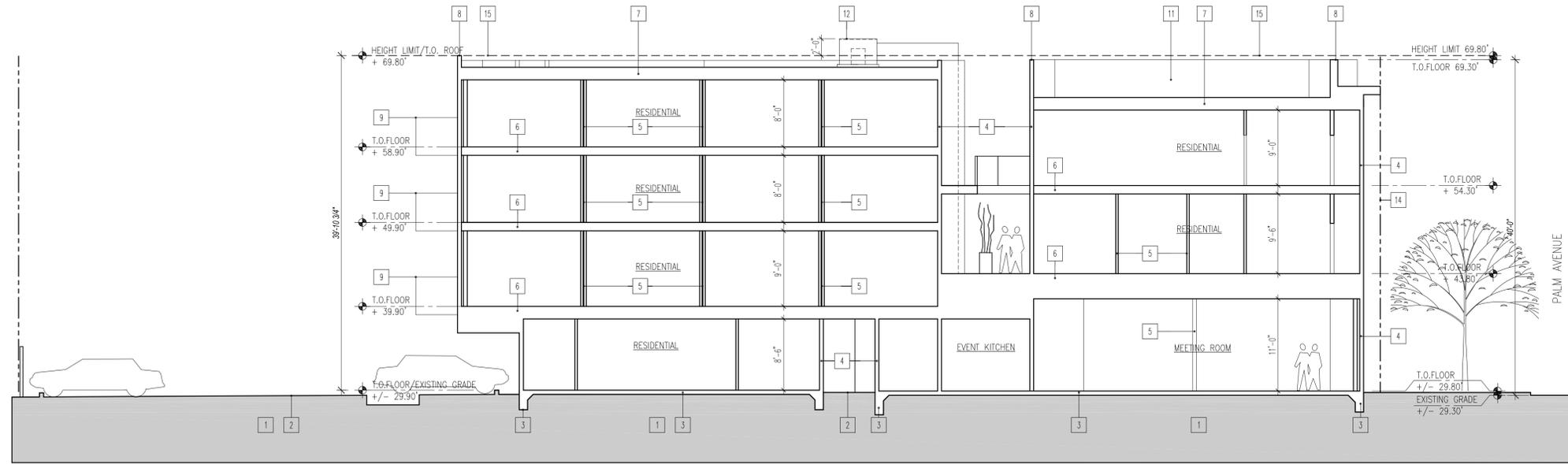
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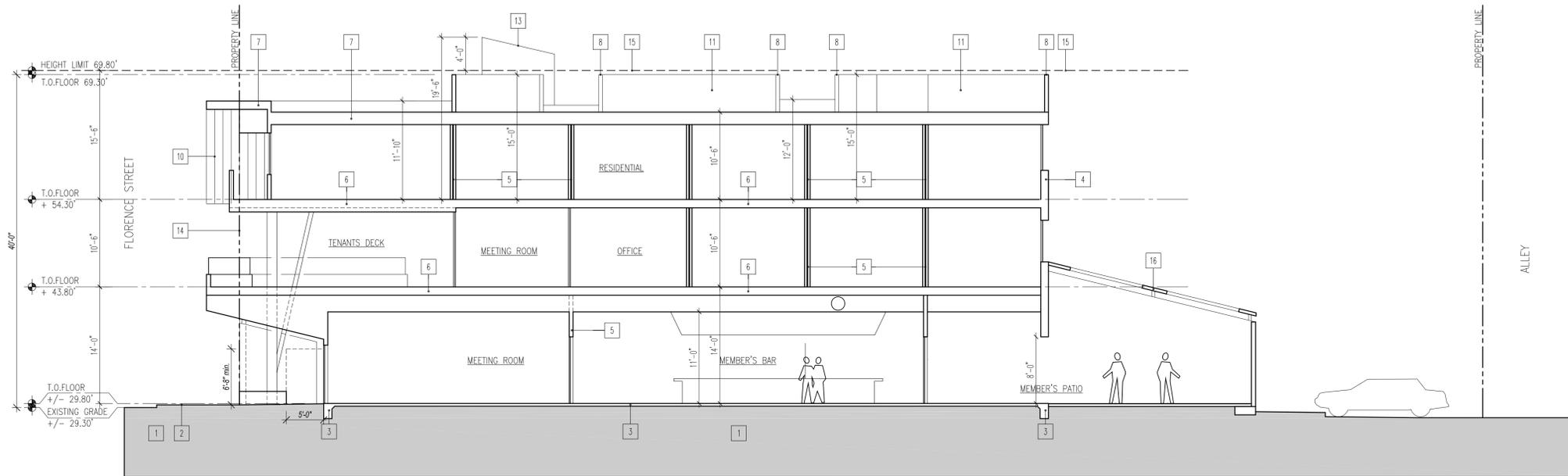
FLOOR PLAN ELEVATIONS TRASH ENCL.

1/8"=1'-0"
A-4

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BUILDING SECTION A



BUILDING SECTION B

KEY NOTES - BUILDING SECTIONS

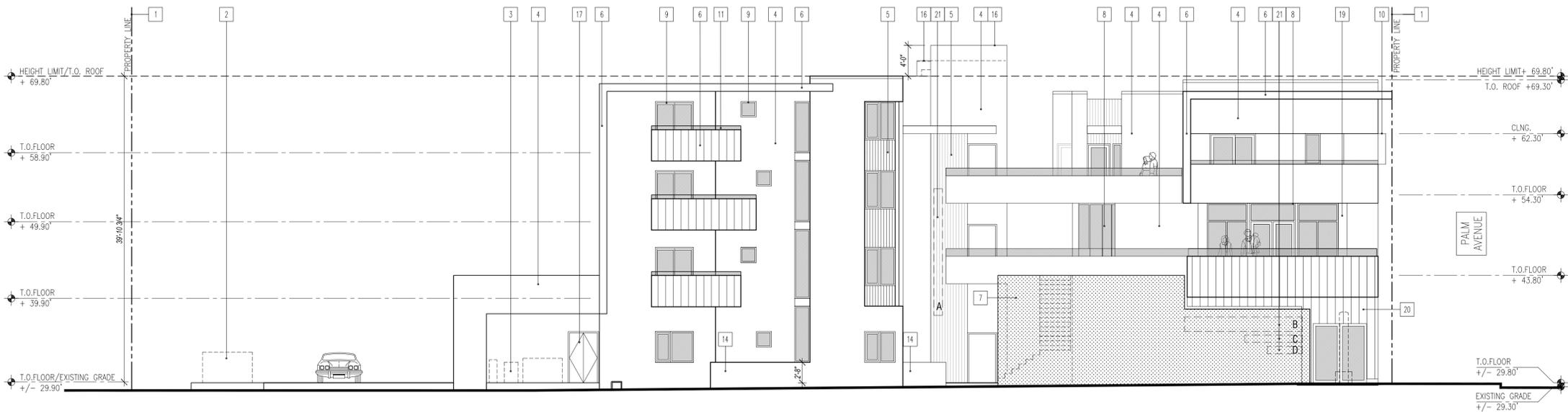
- 1 EARTH
- 2 PROPOSED GRADE LINE
- 3 CONCRETE FOUNDATION / SLAB
- 4 EXTERIOR WOOD WALL ASSEMBLY
- 5 INTERIOR WOOD WALL ASSEMBLY
- 6 FLOOR ASSEMBLY
- 7 ROOF ASSEMBLY
- 8 PARAPET TYP.
- 9 42" HIGH GAUDDRAIL @ RESIDENTIAL PATIO BEYOND
- 10 ROOF ELEMENT BEYOND
- 11 PARAPET BEYOND
- 12 ROOFTOP KITCHEN EQUIPMENT
- 13 ELEVATOR TOWER
- 14 PROPERTY LINT, TYP.
- 15 LINE OF 40'-0" HEIGHT LIMIT
- 16 ROOF OF COVERED PATIO

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3RD SUBMITTAL	9.21.11

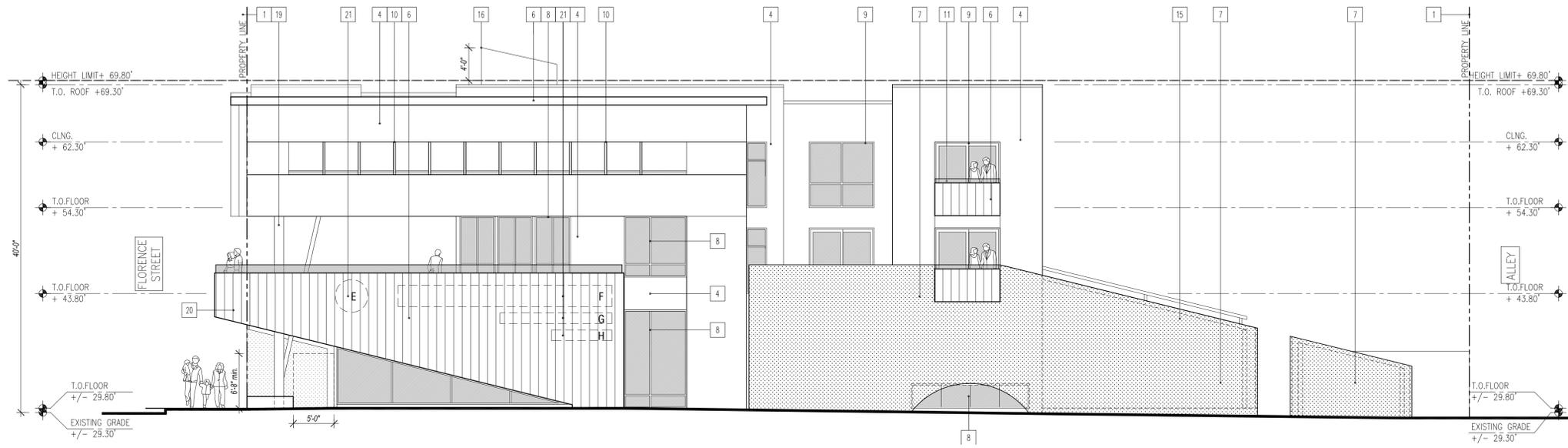
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WEST BUILDING ELEVATION



SOUTH BUILDING ELEVATION

KEY NOTES - ELEVATIONS

- 1 PROPERTY LINE TYP.
- 2 LOCATION OF ELECTRICAL TRANSFORMER
- 3 LOCATION OF DOUBLE DETECTOR CHECK ASSEMBLY
- 4 SEMI-SMOOTH FIELD STUCCO - COLOR PER COLOR ELEVS.
- 5 PAINTED BOX-BEAM CORRUGATED SIDING - COLOR PER COLOR ELEVS.
- 6 PAINTED SMOOTH CEMENTITIOUS VERTICAL SIDING AND ROOF FASCIA - COLOR PER COLOR ELEVS.
- 7 3-DIMENSIONAL PAINTED SCREEN WALL
- 8 ANODIZED BRONZE / BLACK STOREFRONT PER PLAN
- 9 INSET VINYL WINDOWS / DOORS PER PLAN
- 10 PAINTED ARCHITECTURAL SHADE FIN. - COLOR PER COLOR ELEVS.
- 11 TEMPERED GLASS PORTION OF 42" HIGH GAUDDRAIL
- 12 CONCRETE AND STEEL STAIRS PER PLAN
- 13 42" HIGH STEEL GAUDDRAIL @ STAIRS / WALKWAYS PER PLAN
- 14 RAISED LANDSCAPE PLANTER WALL PER PLAN
- 15 COVERED PATIO BEYOND
- 16 PORTION OF BUILDING EXCEEDING 40'-0" HEIGHT LIMIT
- 17 PAINTED STEEL DOOR(S) / FRAME - COLOR PER COLOR ELEVS.
- 18 ROOF OF COVERED PATIO
- 19 PAINTED STEEL COLUMN(S) PER PLAN
- 20 SLOPED SOFFIT
- 21 AREA OF PROPOSED SIGNAGE

SIGNAGE ON WEST ELEVATION:

- A: 16'-0" x 1'-11" = 17.9 SQ FT
- B: 15'-0" x 1'-10" = 17.0 SQ FT
- C: 7'-0" x 1'-11" = 6.9 SQ FT
- D: 4'-7" x 1'-11" = 4.2 SQ FT

TOTAL PROPOSED SIGNAGE AREA ON WEST ELEVATION: **46.0 SQ FT**
 LINEAL FEET OF WALL FACE: 121'-0"
 MAXIMUM AREA OF SIGNAGE: 121'-0" X 1'-0" = 121 SQ FT
 46.0 SQ FT < 121 SQ FT

SIGNAGE ON SOUTH ELEVATION:

- E: 0'-4"-0" = 12.6 SQ FT
- F: 26'-0" x 2'-7" = 67.2 SQ FT
- G: 13'-0" x 1'-3" = 17.2 SQ FT
- H: 7'-0" x 1'-3" = 9.3 SQ FT

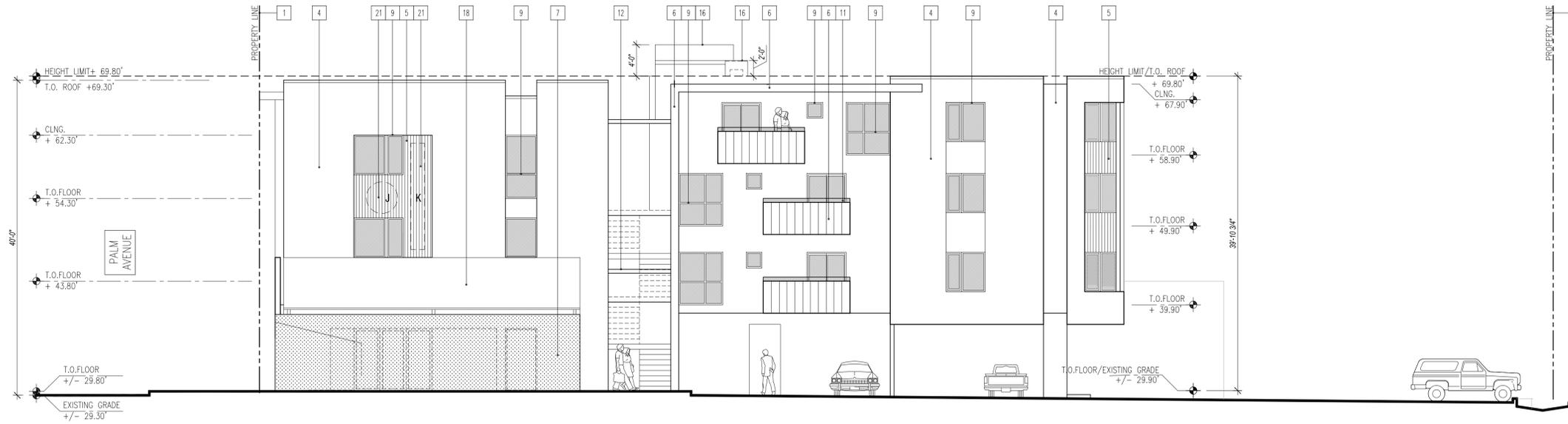
TOTAL PROPOSED SIGNAGE AREA ON EAST ELEVATION: **106.3 SQ FT**
 LINEAL FEET OF WALL FACE: 128'-0"
 MAXIMUM AREA OF SIGNAGE: 128'-0" X 1'-0" = 128 SQ FT
 106.3 SQ FT < 128 SQ FT

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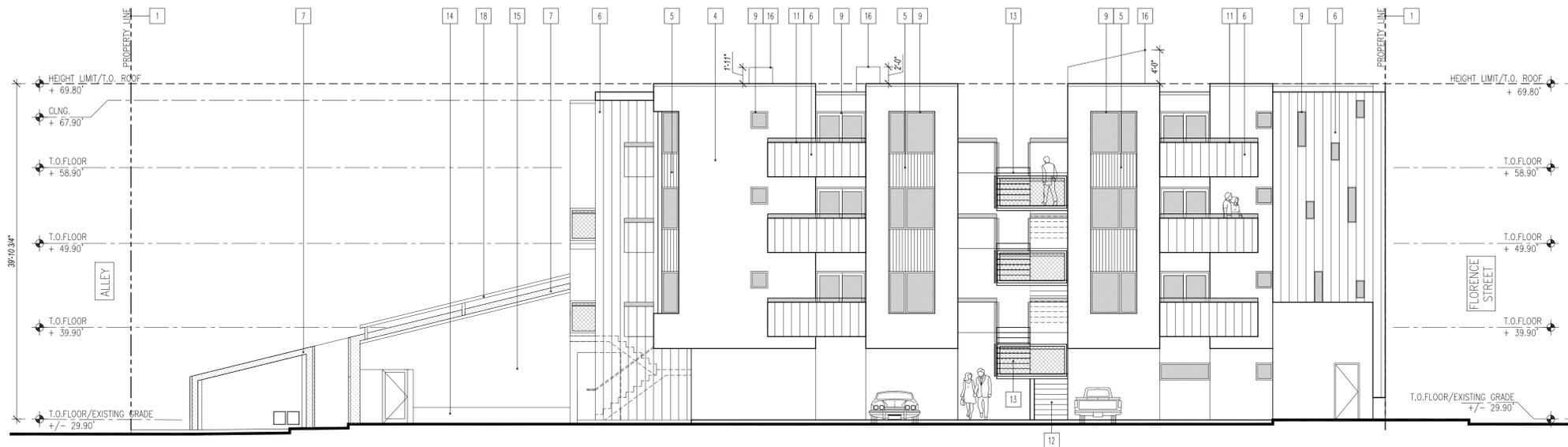
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EAST BUILDING ELEVATION



NORTH BUILDING ELEVATION

KEY NOTES - ELEVATIONS

- 1 PROPERTY LINE TYP.
- 2 LOCATION OF ELECTRICAL TRANSFORMER
- 3 LOCATION OF DOUBLE DETECTOR CHECK ASSEMBLY
- 4 SEMI-SMOOTH FIELD STUCCO - COLOR PER COLOR ELEVS.
- 5 PAINTED BOX-BEAM CORRUGATED SIDING - COLOR PER COLOR ELEVS.
- 6 PAINTED SMOOTH CEMENTIOUS VERTICAL SIDING AND ROOF FASCIA - COLOR PER COLOR ELEVS.
- 7 3-DIMENSIONAL PAINTED SCREEN WALL
- 8 ANODIZED BRONZE / BLACK STOREFRONT PER PLAN
- 9 INSET VINYL WINDOWS / DOORS PER PLAN
- 10 PAINTED ARCHITECTURAL SHADE FIN. - COLOR PER COLOR ELEVS.
- 11 TEMPERED GLASS PORTION OF 42" HIGH GAURDRAIL
- 12 CONCRETE AND STEEL STAIRS PER PLAN
- 13 42" HIGH STEEL GAURDRAIL @ STAIRS / WALKWAYS PER PLAN
- 14 RAISED LANDSCAPE PLANTER WALL PER PLAN
- 15 COVERED PATIO BEYOND
- 16 PORTION OF BUILDING EXCEEDING 40'-0" HEIGHT LIMIT
- 17 PAINTED STEEL DOOR(S) / FRAME - COLOR PER COLOR ELEVS.
- 18 ROOF OF COVERED PATIO
- 19 PAINTED STEEL COLUMN(S) PER PLAN
- 20 SLOPED SOFFIT
- 21 AREA OF PROPOSED SIGNAGE

EAST ELEVATION:

J: \emptyset 4'-0" = 12.6 SQ FT

K: 1'-8" x 13'-6" = 22.5 SQ FT

TOTAL PROPOSED SIGNAGE AREA ON EAST ELEVATION: **35.1 SQ FT**

LINEAL FEET OF WALL FACE: 108'-0"

MAXIMUM AREA OF SIGNAGE: 108'-0" X 1'-0" = 108 SQ FT

35.1 SQ FT < 108 SQ FT

Architect
FOUNDATION FOR FORM ARCHITECTURE
210 25th Street, Suite 200 San Diego, California 92101 phone 619.506.6006

Developer
H Hitzke Development Corporation
267 Autumn Drive | Suite 100 | San Marcos, CA 92069

The Post
Affordable housing and facilities for the American Legion Post 820
1252 & 1268 Palm Avenue, Imperial Beach, CA 91932

1ST SUBMITTAL 6.16.11
2ND SUBMITTAL 8.29.11
3RD SUBMITTAL 9.21.11

PROJECT # 1007

Stamp / Signature

BUILDING ELEVATIONS
1/8"=1'-0"
A-7

TENTATIVE PARCEL MAP NO. FOR AIR SPACE LOT PURPOSES THE POST

APN. 626-242-22

OWNER/APPLICANT

SIGNATURE: _____ DATE: _____
TITLE: _____

PREPARED BY

SWS ENGINEERING, INC.
261 AUTUMN DRIVE, SUITE 115
SAN MARCOS, CA 92069
PH: 760-744-0011
FAX: 760-744-0046
DATE: 08-25-11



APN

626-242-09, 626-242-23, 626-242-24

SITE ADDRESS

1252-1268 PALM AVENUE, 655 FLORENCE STREET
IMPERIAL BEACH, CALIFORNIA 91932

LEGAL DESCRIPTION

LOTS 13 TO 18 INCLUSIVE TOGETHER WITH THE NORTHERLY 15 FEET OF LOT 19, ALSO TOGETHER THE EASTERLY 10 FEET OF FLORENCE STREET VACATED AND CLOSED TO PUBLIC USE OF BLOCK 20 OF SOUTH SAN DIEGO, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 133, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 5, 1887.

FLOOD NOTE

NO AREAS WITHIN PROJECT BOUNDARY SUBJECT TO INUNDATION OF STORM WATER OVERFLOW.

ZONING

EXISTING ZONING: GENERAL COMMERCIAL C-1
PROPOSED ZONING: GENERAL COMMERCIAL C-1

GENERAL PLAN DESIGNATION

C-COMMERCIAL

MONUMENTS

NO BOUNDARY CORNER MONUMENTS FOUND

SUMMARY REQUEST

REQUEST A TWO LOT SUBDIVISION TO CONVERT THREE (3) LOTS TO TWO (2) LOTS FOR AIR SPACE LOT PURPOSES WITH TWO (2) AIR LOTS.

EASEMENTS

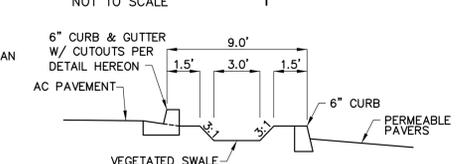
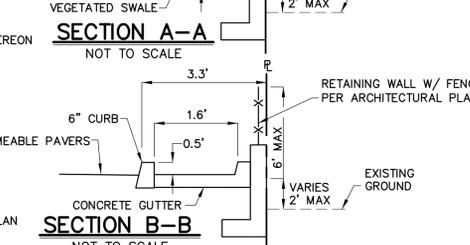
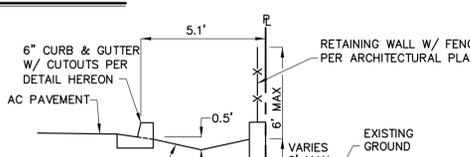
① 6' SEWER EASEMENT. REC. 12/29/1954, BK. 5478/PG.318

STATEMENT OF ACKNOWLEDGEMENT:
EASEMENT HOLDER, CITY OF IMPERIAL BEACH, HEREBY ACKNOWLEDGES THE PREPARATION AND FILING OF THIS TENTATIVE PARCEL MAP

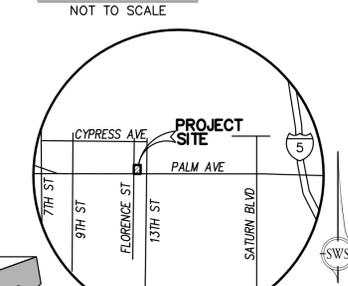
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GRADING NOTES

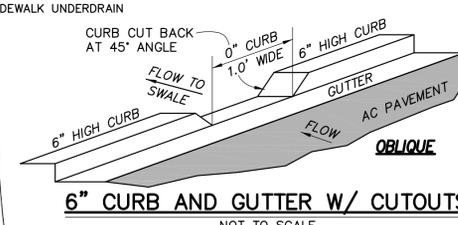
- ① CONCRETE DRIVEWAY
- ② CONCRETE SIDEWALK
- ③ EXISTING CURB AND GUTTER
- ④ EXISTING FIRE HYDRANT
- ⑤ REMOVE EXISTING WATER METER
- ⑥ 6" CURB
- ⑦ CURB OUTLET
- ⑧ VEGETATED SWALE
- ⑨ 6" CURB AND GUTTER
- ⑩ 6" CURB AND GUTTER WITH CUTOUTS PER DETAIL HEREON
- ⑪ ADA CURB RAMP
- ⑫ TRUNCATED DOMES
- ⑬ PERMEABLE PAVERS
- ⑭ AC PAVEMENT
- ⑮ TRASH ENCLOSURE
- ⑯ EXISTING 6' SEWER EASEMENT TO BE QUITCLAIMED
- ⑰ STRIPING
- ⑱ BUILDING OVERHANG
- ⑲ RETAINING WALL WITH FENCE PER ARCHITECTURAL PLAN
- ⑳ BUILDING COLUMN
- ㉑ PLANTERS PER LANDSCAPE PLAN
- ㉒ ELECTRICAL TRANSFORMER
- ㉓ LANDSCAPE PLANTER WALLS PER ARCHITECTURAL PLAN
- ㉔ GAS METERS
- ㉕ REMOVE EXISTING DRIVEWAY
- ㉖ REMOVE EXISTING BUILDING
- ㉗ REMOVE EXISTING AC PAVEMENT
- ㉘ REMOVE EXISTING CONCRETE SIDEWALK
- ㉙ FDC/PIV
- ㉚ 6" DOUBLE DETECTOR CHECK ASSEMBLY
- ㉛ WATER METER AND BACKFLOW
- ㉜ IRRIGATION METER AND BACKFLOW
- ㉝ 6" SEWER LATERAL
- ㉞ SEWER CLEANOUT
- ㉟ EXISTING SEWER MANHOLE
- ㊱ REMOVE EXISTING SEWER LATERAL
- ㊲ FIRE SERVICE
- ㊳ WATER SERVICE
- ㊴ CURB WHEEL STOPS PER ARCHITECTURAL PLAN
- ㊵ CURB WHEEL PER ARCHITECTURAL PLAN
- ㊶ SCREEN WALL UNDERDRAIN
- ㊷ SIDEWALK UNDERDRAIN



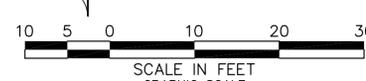
SECTION C-C
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



6" CURB AND GUTTER W/ CUTOUTS
NOT TO SCALE

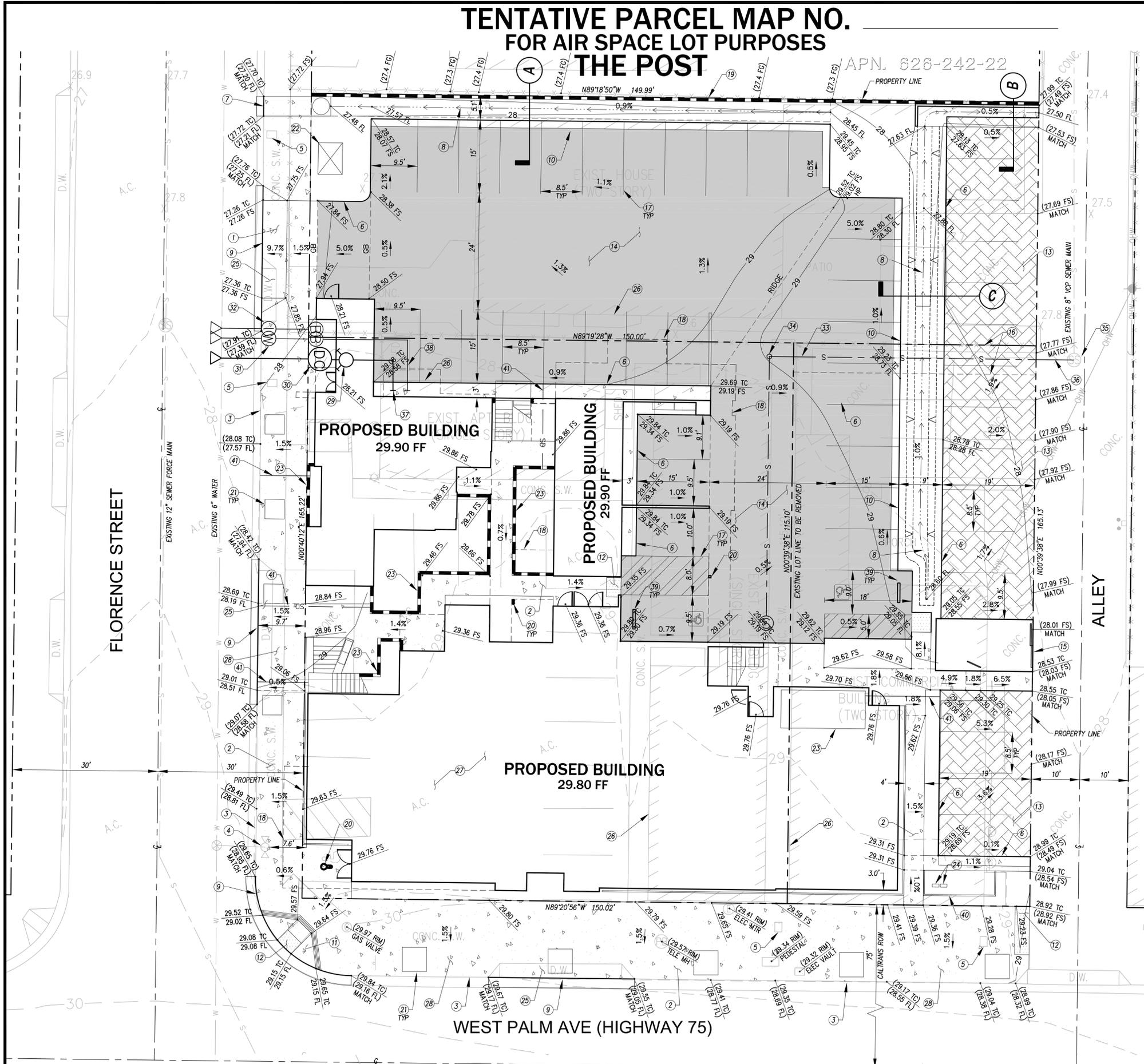


SCALE IN FEET
GRAPHIC SCALE

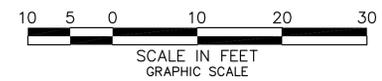
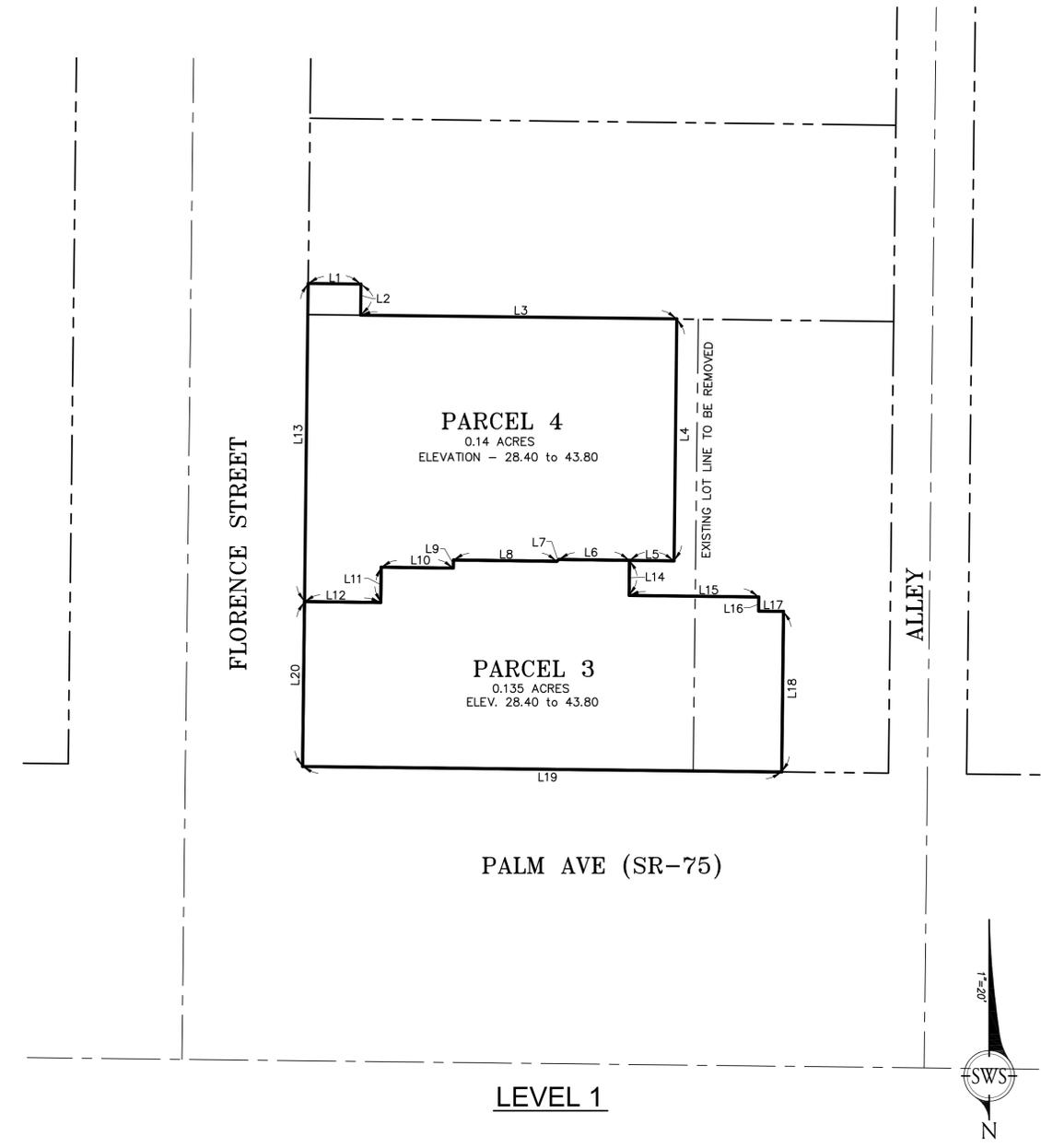
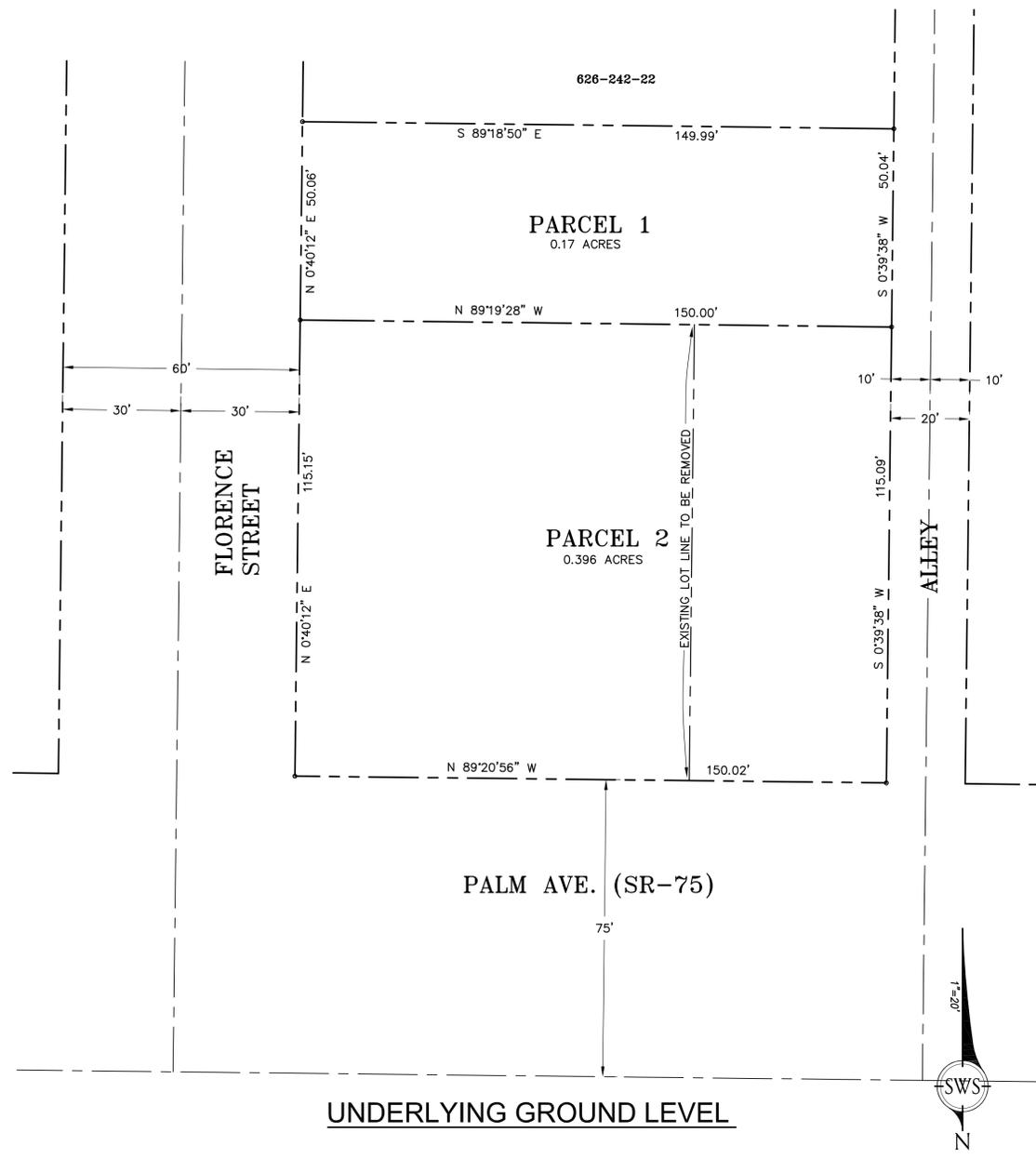
SWS ENGINEERING, INC.

CIVIL ENGINEERING • LAND PLANNING • SURVEYING
31045 Temecula Parkway, Suite 201 | 261 Autumn Drive, Suite 115
Temecula, CA 92592 | San Marcos, CA 92069
P: 951-296-3407 F: 951-587-9451 | P: 760-744-0011 F: 760-744-0046

DATE: Sep 21, 11 8:54am by SWS
FILE: Z:\Projects\2010\10-045\PROJ\TM\10-045.TM.dwg



TENTATIVE PARCEL MAP NO. FOR AIR SPACE LOT PURPOSES THE POST

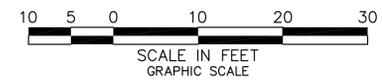
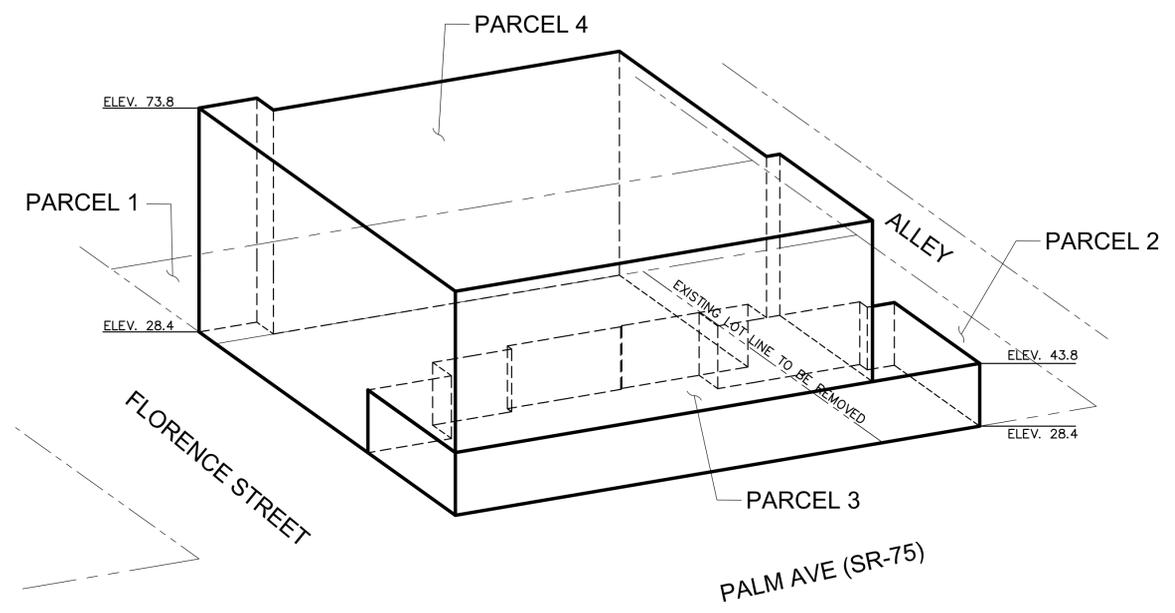
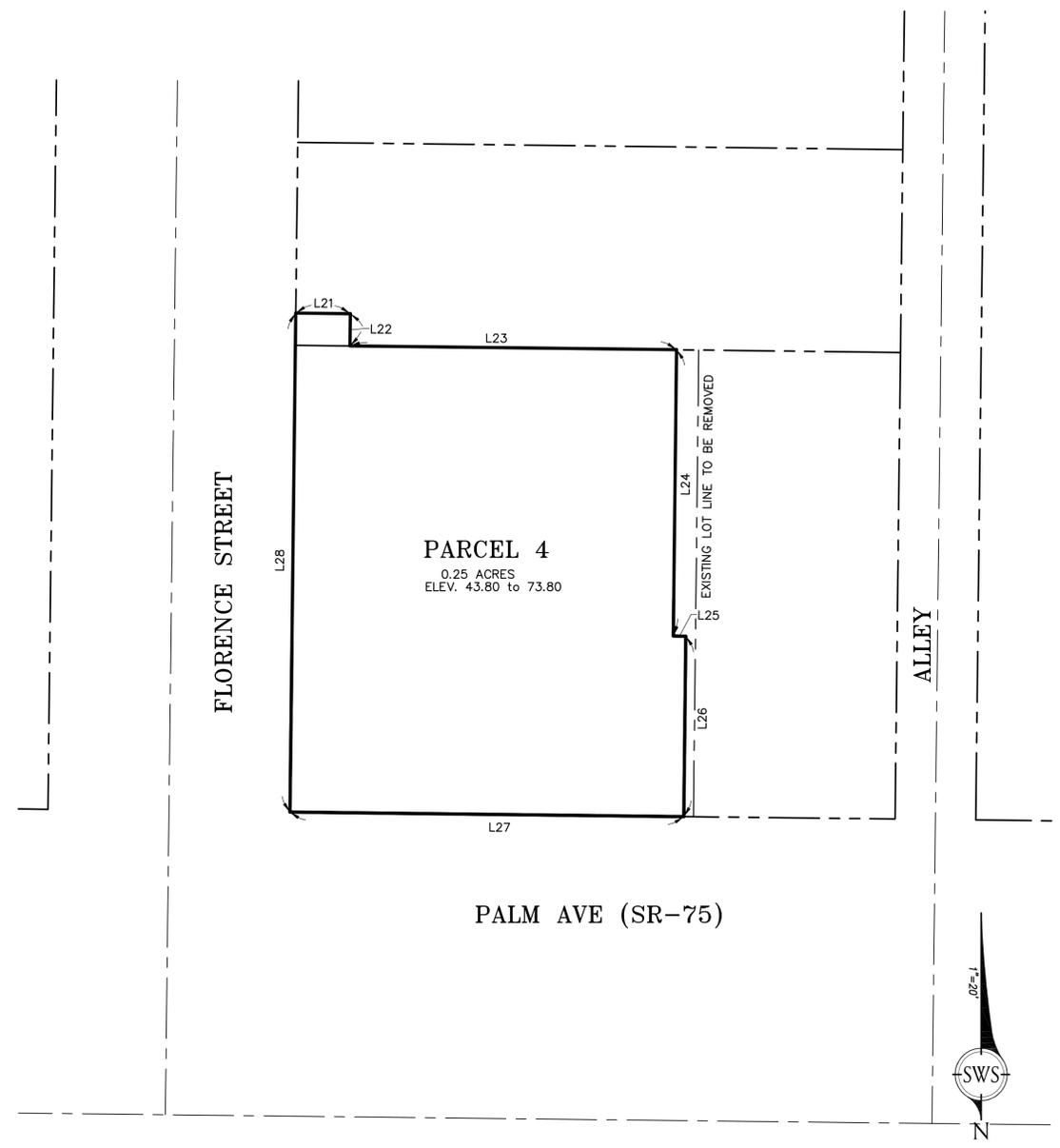


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DATE: Sep 21, 11 9:05am by: SWS
 FILE: Z:\Projects\2010\10-045\PROD\TM\10-045TM02.dwg

TENTATIVE PARCEL MAP NO. FOR AIR SPACE LOT PURPOSES THE POST

LINE DATA TABLE			
SYM	DELTA/BRG	RADIUS	LENGTH
L1	S89°19'48"E	-	13.52'
L2	S00°40'12"W	-	7.95'
L3	S89°20'56"E	-	80.98'
L4	S00°40'11"W	-	61.68'
L5	N89°19'48"W	-	29.48'
L6	N89°19'48"W	-	18.08'
L7	S48°09'34"W	-	0.68'
L8	N89°19'48"W	-	26.51'
L9	S00°40'14"W	-	2.04'
L10	N89°19'48"W	-	18.47'
L11	S00°40'12"W	-	9.00'
L12	N89°19'48"W	-	19.54'
L13	N00°40'12"E	-	81.11'
L14	S00°40'12"W	-	8.96'
L15	S89°19'48"E	-	33.22'
L16	S00°40'12"W	-	3.60'
L17	S89°19'48"E	-	6.37'
L18	S00°39'04"W	-	40.91'
L19	N89°20'56"W	-	122.70'
L20	N00°40'12"E	-	42.01'
L21	S89°19'48"E	-	13.52'
L22	S00°40'12"W	-	7.95'
L23	S89°20'56"E	-	80.98'
L24	S00°40'12"W	-	70.64'
L25	S89°00'39"E	-	3.11'
L26	S00°39'04"W	-	44.50'
L27	N89°20'56"W	-	97.62'
L28	N00°40'12"E	-	123.11'



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