



SPECIAL AGENDA



CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD SPECIAL MEETING

TUESDAY, JUNE 30, 2015 – 2:00 P.M.

**Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Larissa Richards at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll call of members: Nakawatase, Schaaf, Bowman, Lopez

2.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. In accordance with State law, the Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to staff or placed on a future agenda.

3.0 CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately.

3.1 MOTION TO APPROVE THE MINUTES OF JUNE 1, 2015.

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: KEGEL (APPLICANT); CONSIDERATION OF DESIGN REVIEW CASE (DRC 140025) FOR THE DEMOLITION OF ONE EXISTING RESIDENTIAL UNIT AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH THREE RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 951 SEACOAST DRIVE (APN 625-352-23-00). MF 1149.

4.2 REPORT: ERIC WILSON (APPLICANT); CONSIDERATION OF DESIGN REVIEW CASE (DRC 150008) FOR THE DEMOLITION OF ONE EXISTING BUILDING AND CONSTRUCTION OF EIGHT NEW RESIDENTIAL CONDOMINIUM UNITS AT 808 13TH STREET (APN 626-342-15-00). MF 1178.

**5.0 INFORMATIONAL ITEMS/REPORTS
NONE.**

6.0 ADJOURNMENT

/s/
LARISSA RICHARDS
ADMINISTRATIVE ASSISTANT

DRAFT

SPECIAL MEETING

MINUTES

**CITY OF IMPERIAL BEACH
DESIGN REVIEW BOARD COMMITTEE**

**City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

MONDAY, JUNE 01, 2015

4:00 P.M.

In accordance with City policy, all Design Review Board meetings are recorded in their entirety and recordings are available for review. These minutes are a brief summary of action taken.

1.0 CALL TO ORDER

CHAIRPERSON NAKAWATASE called the Special meeting to order at 3:08 P.M.

ROLL CALL

BOARDMEMEBERS PRESENT: Bowman, Schaaf, Nakawatase

BOARDMEMBERS ABSENT: Lopez

STAFF PRESENT: Assistant City Manager Wade, Senior Planner Foltz, Recording Secretary Richards

2.0 PUBLIC COMMENTS

None.

3.0 CONSENT CALENDAR

3.1 MOTION BY SCHAAF, SECOND BY NAKAWATASE, TO APPROVE THE MINUTES FOR THE APRIL 16, 2015 DESIGN REVIEW BOARD MEETING.

MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: BOWMAN, SCHAAF, NAKAWATASE

NOES: NONE

ABSENT: LOPEZ

ABSTAIN: NONE

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: UNIFIED PORT OF SAN DIEGO – SOUTH SEACOAST COMFORT STATION.

ASSISTANT CITY MANAGER WADE introduced the South Seacoast Comfort Station project and stated the first phase of the project being a feasibility study to look at potential for locating a comfort station on South Seacoast Drive.

KIMBERLY WENDER, PSOMAS PROJECT ENGINEER, gave a PowerPoint presentation on the study of the feasibility of the restrooms in different locations of the city. Ms. Wender discussed the three most viable locations, which are Beach Avenue, Descanso Avenue and Encanto Avenue which were based on parking, residential impact and safety and proximity to the other restrooms.

LARRY SILLMAN, PRINCIPAL WITH SILLMAN WRIGHT ARCHITECTS, gave a brief opening for Joe Lucido, Designer with Sillman Wright Architects.

DESIGN REVIEW BOARD MINUTES

June 1, 2015

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JOE LUCIDO, DESIGNER WITH SILLMAN WRIGHT ARCHITECTS, gave a PowerPoint presentation on the three different design possibilities and how they would look in each of the proposed feasible locations. The three different designs being considered are Utilitarian, Intermediate and Architectural. Mr. Lucido discussed the different features of each restroom design, materials and how they used the surrounding elements in order to create each design.

ASSISTANT CITY MANAGER WADE stated that the facility still has to be discussed with the residents. Mr. Wade discussed how staff took into consideration that there were a few design elements that the community would benefit from as well as safety and impact on residents. Wade stated that the comments from the Design Review Board would be very helpful to the Port and staff.

CHAIRPERSON NAKAWATASE stated that Encanto Avenue is the only location where you will not lose parking which is very scarce during summertime.

BOARD MEMBER BOWMAN stated that she agrees that Encanto Avenue is the only location that will not lose parking or a view.

CHAIRPERSON NAKAWATASE stated that the main concern with a restroom would be the cost of maintenance and she would like to know if there is a way to reduce costs in the interior of the bathroom.

VICE CHAIRPERSON SCHAAF also stated that Encanto Avenue has the least impact on parking which would be beneficial to the area because parking is a premium.

ASSISTANT CITY MANAGER WADE commented on the residential trash enclosure on Encanto Avenue located to the north that intrudes into the right of way. He stated that staff would have to do research to find out if there is an encroachment permit for it.

BOARD MEMBER BOWMAN noted that on some of the renderings will have traffic issues because some residents exit their driveways near the proposed location, however, Encanto would not impact driveways.

CHAIRPERSON NAKAWATASE asked if any more comments or discussion was needed by the board for the Port or staff.

ASSISTANT CITY MANAGER WADE stated that of the comments the Board satisfy the comments needed and they can move it forward with the council.

4.2 REPORT: DEMOLITION OF AN EXISTING LIBRARY AND COMMUNITY ROOM AND CONSTRUCTION OF A NEW LIBRARY AND COMMUNITY ROOM AT 810 IMPERIAL BEACH BOULEVARD (THE COMMUNITY ROOM IS CURRENTLY LOCATED AT 1075 8TH STREET) (APN 626-400-54-00 & 626-400-71-00). MF 1067.

JEFF KATZ, PRESIDENT OF JEFF KATZ ARCHITECTURE, gave a PowerPoint presentation on the design of the new library and how it would impact the area around it. He also stated that 16 parking spaces would be added.

VICE CHAIRPERSON SCHAAF inquired about the wood color outside and the glass on top.

MR. KATZ stated that the wood color is a metal acoustic deck material that would be painted and the glass has a gray tint so that during the day the interior would be darker. The reason for the tinting on the glass is to reduce the glare during the day.

VICE CHAIRPERSON SCHAAF stated that the dark glass will make you lose the open feeling of the room.

CHAIRPERSON NAKAWATASE stated that on the South and North Elevations there can be very light tint because it would be low impact. However, she cautioned that on the East and West Elevations as the tint decreases, your cooling element becomes more costly because it will get hot much faster.

MR. KATZ presented the different materials being proposed for the project. He stated that they chose the dark color for the wave roof to represent a wave breaking from the back view.

VICE CHAIRPERSON SCHAAF stated that darker colors do not fit in with our community.

CHAIR NAKAWATASE CLOSED THE DISCUSSION TO THE PUBLIC AT 4:04 P.M.

CHAIRPERSON NAKAWATASE stated that the roof is supposed to be representative of a breaking wave and the dark color presented does not convey that image.

BOARD MEMBERS agreed that they are all in favor of the materials being presented for the project with the exception of the tint on the glass and the color of the material for the roof.

MOTION BY NAKAWATASE, SECOND BY SCHAAF, TO APPROVE THE DESIGN AS PRESENTED FOR THE NEW LIBRARY WITH THE CONDITION THAT ALTERNATIVE COLORS FOR BOTH THE WINDOWS AND THE ROOF BE BROUGHT BACK AT A LATER TIME WITH LIGHTER A COLOR.

MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: BOWMAN, SCHAAF, NAKAWATASE
NOES: NONE
ABSENT: LOPEZ
ABSTAIN: NONE

5.0 INFORMATIONAL ITEMS/REPORTS

SENIOR PLANNER FOLTZ stated that staff is aware of the Board's request to update the guidelines and staff continues to work on it.

CHAIRPERSON NAKAWATASE requested an update on the 9th and Palm corridor.

SENIOR PLANNER FOLTZ stated that the project is still being reviewed by engineers and they are still working on a grading plan.

6.0 **ADJOURNMENT**

CHAIRPERSON NAKAWATASE adjourned the meeting at 4:12 P.M.

Approved:

Shirley Nakawatase, DRB Chairperson

Attest:

Larissa Richards, Recording Secretary

DRAFT



**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD
FROM: TYLER FOLTZ, SENIOR PLANNER *TF*
MEETING DATE: JUNE 30, 2015
ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT
SUBJECT: REPORT: KEGEL (APPLICANT); CONSIDERATION OF DESIGN REVIEW CASE (DRC 140025) FOR THE DEMOLITION OF ONE EXISTING RESIDENTIAL UNIT AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH THREE RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 951 SEACOAST DRIVE (APN 625-352-23-00). MF 1149.

EXECUTIVE SUMMARY:

The property owner of a site located at 951 Seacoast Drive has initiated the process to demolish an existing single-family residence and construct a new mixed-use development with three residential condominium units above approximately 2,118 square feet of commercial space. Staff is recommending that the Design Review Board consider the proposed project and provide recommendations on the design to the City Council for consideration.

BACKGROUND:

The project was originally reviewed by the Design Review Board on March 19 and March 26, 2015 and the City Council on May 20 and June 3, 2015. Following these meetings, it was discovered that notice of these meetings was not sent to some occupants within the vicinity. It was not the



intent of the applicant or City to omit any member of the public from the review process. Therefore, the project has been renoticed and is returning to both the Design Review Board and City Council for review. The public is invited to comment.

The application, originally submitted to the City on April 8, 2014, proposes a Regular Coastal Permit (CP 140023), Conditional Use Permit (CUP 140024), Design Review Case (DRC 140025), Site Plan Review (SPR 140026), Tentative Parcel Map (TPM 140027), and Categorical Exemption pursuant to CEQA Guidelines 15332 (In-fill Development) for the demolition of one existing residential unit and the construction of a new, mixed-use development with three residential condominium units above approximately 2,118 square feet of commercial/retail space at 951 Seacoast Drive (APN 625-352-23-00), which is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone.



ANALYSIS:

The Design Review Board reviewed the project twice. At the March 19, 2015 meeting, the Board recommended modifications to the southern elevation and requested that the project return to the Board the following week. The applicant was receptive of the Board's recommendations, made revisions to the plans, and the project was scheduled to be heard by the Design Review Board on March 26, 2015. At the March 26, 2015 Design Review Board meeting, the Board recommended conditional approval of the project with a vote of 3-0 (1 absent). The conditions recommended by the Design Review Board included minor revisions to the building elevations that were incorporated into the plans (Attachment 2).

The project was then reviewed by the City Council on May 20, 2015 and June 3, 2015. At the May 20, 2015 meeting the City Council recommended that the project provide lighter colors and remove the tubes from the rooftop mechanical equipment structure at the northwest corner of the building. Revised plans were made available at the June 3, 2015 City Council meeting, and the project was approved with a vote of 5-0 (Attachment 1). Following these meetings, it was discovered that notice was not sent to some occupants within the vicinity, and it was determined

that the project should be noticed for a new review by the Design Review Board meeting, followed by a new City Council public hearing.

The project site includes one lot measuring 4,765 square feet fronting Seacoast Drive at the northeast corner of Seacoast Drive and Elder Avenue in the C/MU-2 Zone. The property to the north of the site is mixed-use, the property to the west is Pier Plaza, and the properties to the south and east are comprised of residential uses on commercially zoned land.

Off-Street Parking

The three-story project proposes approximately 2,118 square feet of commercial space on the ground floor and three residential dwelling units located above the first floor each providing a roof deck. The building would provide pedestrian access to the commercial space from Seacoast Drive. Pedestrian access to the residential units would be provided from Seacoast Drive and also from the parking spaces off the alley to the north of the site on the ground floor. The Municipal Code requires 1.5 parking spaces per dwelling unit, though mixed-use projects may receive a 25% reduction in parking (IBMC Section 19.48.035). As such, a minimum of three parking spaces are required for the residential units. However, the applicant is proposing five enclosed parking spaces that would be accessed off the alley to serve the residential units.

For the ground-floor commercial space, the C/MU-2 Zone requires one (1) parking space per 1,000 gross square feet of commercial space, though the Municipal Code allows for commercial uses less than 1,000 square feet to be eligible for parking waivers (IBMC Section 19.48.035). Although no tenants have been confirmed for the commercial space, the applicant is anticipating a maximum of two commercial units, one of which measuring approximately 908 square feet would be eligible for a parking waiver with the second unit measuring approximately 1,210 square feet. One parking space would be required for the second unit, though it would have to be designed to meet Americans with Disability Act (ADA) standards. As such, one parking space designed to meet ADA standards would be provided and would be accessed from a proposed curb cut on Elder Avenue. The proposed curb cut would require the elimination of one on-street parking space, however there are no alternative locations for a curb cut or van-accessible ADA stall due to the limited site constraints.

If a future tenant is interested in occupying the entire 2,118 square feet of commercial/retail space, off-site parking within one thousand feet of the project site may be used to satisfy the parking requirements with approval of a conditional use permit and implementation of transportation demand management (TDM) strategies (IBMC Section 19.48.050). Two parking lots are located within one thousand feet of the project site and the TDM strategy proposed by the applicant includes the provision of bicycle parking. In addition, the commercial tenants would be required to encourage employees to use transit and other forms of active transportation such as bicycling and walking to commute to and from work.

Building Height

The maximum allowable building height in the C/MU-2 Zone is typically 30 feet; however, the Municipal Code allows properties east of Seacoast Drive to have a height limit of up to three stories and 35 feet with approval of a conditional use permit that demonstrates compliance with side yard setbacks and/or stepbacks that protect street-end public views towards the ocean, and provided the project meets two or more specified development incentives (IBMC Section 19.27.070). As such, the project applicant is requesting a conditional use permit for a building height of 35 feet. The project would not impact street-end public views toward the ocean by

incorporating the required setbacks and stepbacks, and the applicant is proposing to meet the following two development incentives specified in IBMC Section 19.27.020(A)(5):

1. At least 25% of the proposed residential units would be three-bedroom units (100% proposed); and
2. The project would provide a minimum of seventy-five percent “active commercial uses” on the ground floor.

As defined in the IBMC Section 19.40.020, the building heights specified in the C/MU-2 Zone, either the base height limit of 30 feet or of 35 feet on the east side of Seacoast Drive with approval of a Conditional Use Permit, do not include the following structural elements of a building:

- Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;
- Fire or parapet walls required by law;
- Skylights chimneys, smokestacks or utility towers;
- Flagpoles, antennas, radio masts, risers and similar structures.

As allowed under the IBMC, portions of the project are proposing to extend above the height limit. A roof structure housing mechanical equipment proposed for the northwest corner of the roof would measure approximately 43 feet in height. In addition, elevator and stairwell enclosures providing access to the upper stories and the roof decks measure approximately 44 feet in height. Finally, parapet walls extend 42 inches above the roof deck for safety purposes. Due to these height exceptions, the proposed parapet walls and mechanical, elevator, and stairwell enclosures may extend above the height limit. It should be noted that the City does not have a view protection ordinance and the property is not burdened by a covenant or restriction that would prohibit the development or height of this project in any way.

Roof Projections

Portions of the roof eave for the proposed mechanical equipment enclosure on the northwest corner of the roof are proposed to extend approximately one foot over the public right-of-way at an elevation of approximately 37 feet. Buildings are typically required to remain within the confines of private property; however, this design proposal may be considered because the City would be requiring dedication of portions of the property for pedestrian access (accessible sidewalk on Elder Avenue and pedestrian ramp at Elder Avenue and Seacoast Drive). Typically roof extensions and similar architectural features may extend into required setbacks. However, the C/MU-2 Zone does not provide a required front yard setback, and encourages buildings to locate on the front property line. The northwest portion of the building is located on the property line and the proposed roof overhang of one foot is requested for aesthetic purposes. The proposed roof extension should not provide any significant impacts to the public.

Ground-Floor Retail Floor-to-Ceiling Dimension

The applicant is requesting approval of an administrative adjustment of 10% to reduce the commercial/retail vertical floor-to-ceiling dimension from 15 feet to 13.5 feet, as provided for in IBMC Section 19.84.150, which allows for an adjustment of up to 10% for certain development standards listed in the Municipal Code. The applicant is requesting the administrative adjustment to allow for more desirable/livable vertical floor-to-ceiling dimensions above the first

floor. A vertical floor-to-ceiling dimension of 13.5 feet at the first level allows for a vertical floor-to-ceiling dimension of approximately nine feet for both the second and third floors of the residential units.

Safety

The City has received inquiries regarding the safety of the building due to its proximity to the property line. Public Safety staff has reviewed the plans and have determined that the project would not create any undue safety hazards. The project would not encroach upon any required roadway dimensions and would not obstruct the line of sight of emergency vehicles. With regard to pedestrian safety, vehicles traveling westbound on the alley would be driving on the right-hand side of the road and should be able to observe pedestrians entering the alley from the southern pedestrian ramp. Vehicles heading northbound on Seacoast Drive that turn into the alley would have a clear view of any pedestrians on Seacoast Drive. As such, the proposed project would not create any safety concerns.

The proposed project design would contribute positively in making an architectural statement along this mixed-use, commercial corridor, which incorporates both natural stone and modern elements along with a signature “lighthouse” design element. It is staff’s opinion that the proposed design conforms with the intent and purpose of the design standards outlined in IBMC Section 19.83.010 and the City’s Design Guidelines for Commercial/Mixed-Use Zones. The applicant’s design provides varied rooflines and architectural relief through the incorporation of building pop-outs, vertical articulation, and façade variation. In addition, the project would provide architectural interest on all elevations with varied building materials such as glass, copper, board siding, and stone elements.

Due to the narrow lot size and required parking and pedestrian accessibility requirements, there are limited areas to provide on-site landscaping. In order to comply with the landscaping and drainage requirements, the applicant is proposing a ground floor landscape basin near the eastern property line and landscaped roof decks. Street trees are proposed on the Seacoast Drive and Elder Avenue public rights-of-way, though the final design would depend on the eventual Seacoast Drive Aesthetic Improvement plan approved by the City.

General Plan Consistency:

C/MU-2 (Seacoast Commercial and Mixed-use) Zone: The purpose of the C/MU-2 Zone is to provide land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who use the beach area. It is intended that the dominant type of commercial activity in the C/MU-2 Zone will be visitor-serving retail such as specialty stores, surf shops, restaurants, and hotels and motels. Mixed-use and multiple family residences are also permitted in the C/MU-2 Zone and in the Seacoast Mixed Use/Residential Overlay Zone. The development standards of the C/MU-2 Zone encourage pedestrian activity through the design and location of building frontages and parking provisions (IBMC Section 19.27.010). The proposed mixed-use project meets the purpose and intent of the C/MU-2 land use designation because mixed-use buildings are permitted in the C/MU-2 Zone and the project would encourage pedestrian activity through the design, location, and use of the building frontage and would provide commercial goods and services required by the tourist population and local residents.

C/MU-2 STANDARDS	PROVIDED/PROPOSED
<p>Maximum density of one dwelling unit for every one thousand five square feet of lot area, or if located on the east side of Seacoast Drive or Palm Avenue, east of Seacoast Drive, one dwelling unit for each one thousand two hundred and ten gross square feet of lot area with approval of a conditional use permit by the City Council that demonstrates compliance with two or more development incentives (Section 19.27.020(A)(5)).</p>	<p>The property measures 4,765 square feet and proposes three units at a density of one unit for each 1,500 sq. ft. of lot area. A density bonus is not being requested for the project.</p>
<p>Yard requirements for the C/MU-2 zone are as follows (Section 19.27.040):</p> <p>A. On property fronting on Seacoast Drive, the front of each building shall be set on the front property line. For purposes of this requirement an arcade is considered a part of the building.</p>	<p>A. The project fronts Seacoast Drive with the building and arcade/patio.</p>
<p>Stepback requirements for the C/MU-2 Zone are as follows (Section 19.27.041):</p> <p>A. On property with a side or rear yard abutting a residential zone, the second-floor stepback shall be a minimum of five feet from the abutting residential property line and the third-floor stepback shall be a minimum of ten feet from the abutting residential property line.</p> <p>B. Stepbacks are not required where the ten-foot setback is required or observed for at least fifty percent of the property line abutting residential property.</p> <p>C. On properties fronting Seacoast Drive, an upper-story setback of five to ten feet is required for a minimum of fifty percent of street-facing facades along Seacoast Drive.</p>	<p>A. The property abuts commercially zoned properties. As such, stepbacks are not required. Though a majority of the building is located on the property lines, various stepbacks are provided on the east and west elevations.</p> <p>B. The property abuts commercially zoned properties. As such, stepbacks are not required. Though a majority of the building is located on the property lines, various stepbacks are provided on the east and west elevations.</p> <p>C. The property fronts Seacoast Drive and the building provides an upper-story setback of five to ten feet for at least fifty percent of the Seacoast Drive street-facing facade.</p>
<p>Minimum lot size of 3,000 square-feet (Section 19.27.050).</p>	<p>The lot size measures 4,765 square feet.</p>
<p>Minimum street frontage of 30 feet (Section 19.27.060).</p>	<p>The Seacoast Drive frontage is approximately 95 feet and the Elder Avenue frontage is approximately 50 feet.</p>
<p>Maximum height of three stories or thirty feet, whichever is less, except as follows (Section 19.27.070(A)):</p> <p>Properties east of Seacoast Drive shall have a height limit not to exceed three stories and thirty-five feet with approval of a conditional use permit that</p>	<p>The project proposes a building height of 35 feet and is requesting a conditional use permit.</p>

<p>demonstrates compliance with the following:</p> <p style="padding-left: 40px;">a. Side yard setbacks and/or stepbacks have been incorporated into the project to protect street-end public views towards the ocean;</p> <p style="padding-left: 40px;">b. Two or more of the development incentives listed in Section 19.27.020(A)(5).</p> <p>Exceptions to the height limit as follows (Section 19.40.020):</p> <p>A. Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;</p> <p>B. Fire or parapet walls required by law;</p> <p>C. Skylights chimneys, smokestacks or utility towers;</p> <p>D. Flagpoles, antennas, radio masts, risers and similar structures.</p>	<p>a. The project incorporates the required setbacks and stepbacks and would not impact street-end public views.</p> <p>b. The project is proposing the following development incentives: 1) At least 25% of the proposed residential units will be three-bedroom units (100% proposed); 2) The project would provide a minimum of seventy-five percent “active commercial uses” on the ground floor.</p> <p>The project is proposing a roof structure that would house mechanical equipment that would measure approximately 43 feet in height. In addition, elevator and stairwell enclosures measure approximately 44 feet in height. Also, parapet walls that would also serve as guard rails extend 42” above the roof deck. Due to the height exceptions, the proposed parapet walls and mechanical, elevator, and stairwell enclosures may extend above the height limit.</p>
<p>All commercial spaces on the ground floor shall have a minimum fifteen-foot vertical floor-to-ceiling dimension; and single-story commercial buildings shall have a minimum building height of twenty feet (Section 19.27.070(B)).</p>	<p>The project is requesting an administrative adjustment of 10% to deviate from the typical 15 foot ground floor vertical floor-to-ceiling dimension (Section 19.84.150). As such, the project is proposing a vertical floor-to-ceiling dimension of 13.5 feet for the ground floor commercial space.</p>
<p>No buildings shall be located less than five feet from any other building on the same lot. (Section 19.27.080)</p>	<p>Only one building is located on the lot.</p>
<p>Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.030(A)).</p>	<p>The 4,765 square foot lot requires a minimum of 714.75 square feet of landscaping (4,765 x .15 = 714.75). Approximately 1311 square feet of landscaping is proposed.</p>

<p>Required parking spaces for multiple-family residential in the C/MU-2 Zone: 1.5 spaces per dwelling unit. A 25% reduction may be allowed for vertical mixed-use (Section 19.48.035).</p> <p>The C/MU-2 Zone requires 1 space per 1,000 gross square feet of commercial space. A 25% reduction may be allowed for vertical mixed-use. In addition, commercial uses measuring less than 1,000 square feet are eligible for a parking waiver (Section 19.48.035).</p> <p>In the C/MU-1, C/MU-2, and C/MU-3 zones, shared parking or off-site parking within one thousand feet of the project site may be used to satisfy the parking requirements with the approval of a conditional use permit. Projects in these zones shall be reviewed to determine the suitability and feasibility of implementing one or more transportation demand management strategies that may be approved through a development agreement (Section 19.48.050).</p>	<p>Three residential units are proposed for the project in total, which would require 4.5 parking spaces. A 25% reduction would allow for a minimum of three parking spaces ($4.5 \times .25 = 1.125$; $4.5 - 1.125 = 3.375$ required spaces). However, five parking spaces are proposed for the residential units.</p> <p>The project proposes 2,118 square feet of commercial space, which would typically require two parking spaces. A 25% reduction would still require two commercial parking spaces ($2 \times .25 = .50$; $2 - .50 = 1.5$ required spaces; the Municipal code requires parking fractions of .5 or greater to be rounded up to one space). However, one commercial unit would be proposed to measure approximately 908 square feet, which would be eligible for a waiver in parking. The second unit would measure approximately 1,210 square feet, which would require one parking space. As such, one parking space is proposed.</p> <p>If a commercial tenant utilizes the entire 2,118 square feet of commercial space, two parking lots are located within one thousand feet of the project site and the transportation demand management strategy proposed by the applicant includes bicycle parking. In addition, the commercial tenants would be required to encourage employees to use bicycling, walking, and other forms of active transportation. These transportation demand management strategies would be a condition of approval for the project.</p>
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Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 (Seacoast Comm. & Mixed-Use)	Mixed-Use
South	C/MU-2 (Seacoast Comm. & Mixed-Use)	Residential
East	C/MU-2 (Seacoast Comm. & Mixed-Use)	Residential
West	PF (Public Facility)	Pier Plaza

ENVIRONMENTAL IMPACT:

The project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$11,000.00 to fund processing of the application.

DEPARTMENT RECOMMENDATION:

1. Receive report;
2. Consider public comment and the design of the project; and
3. Provide recommendations to the City Council.

Attachments:

1. Photosimulations (Current Design)
 2. Photosimulations (Previous Design)
 3. Plans
 4. Public Comment
- c: file MF 1149



Lighthouse Point



Lighthouse Park

A4V-RSA







Lighthouse Point

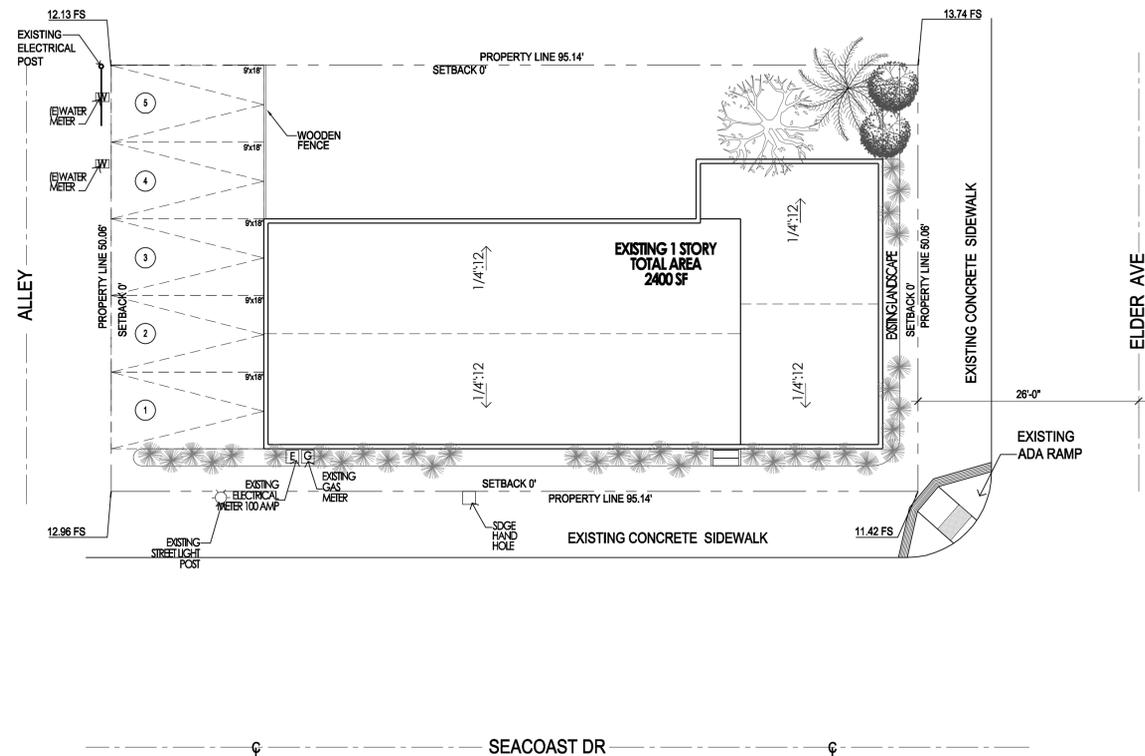


Lighthouse

Audi A4V-RSA

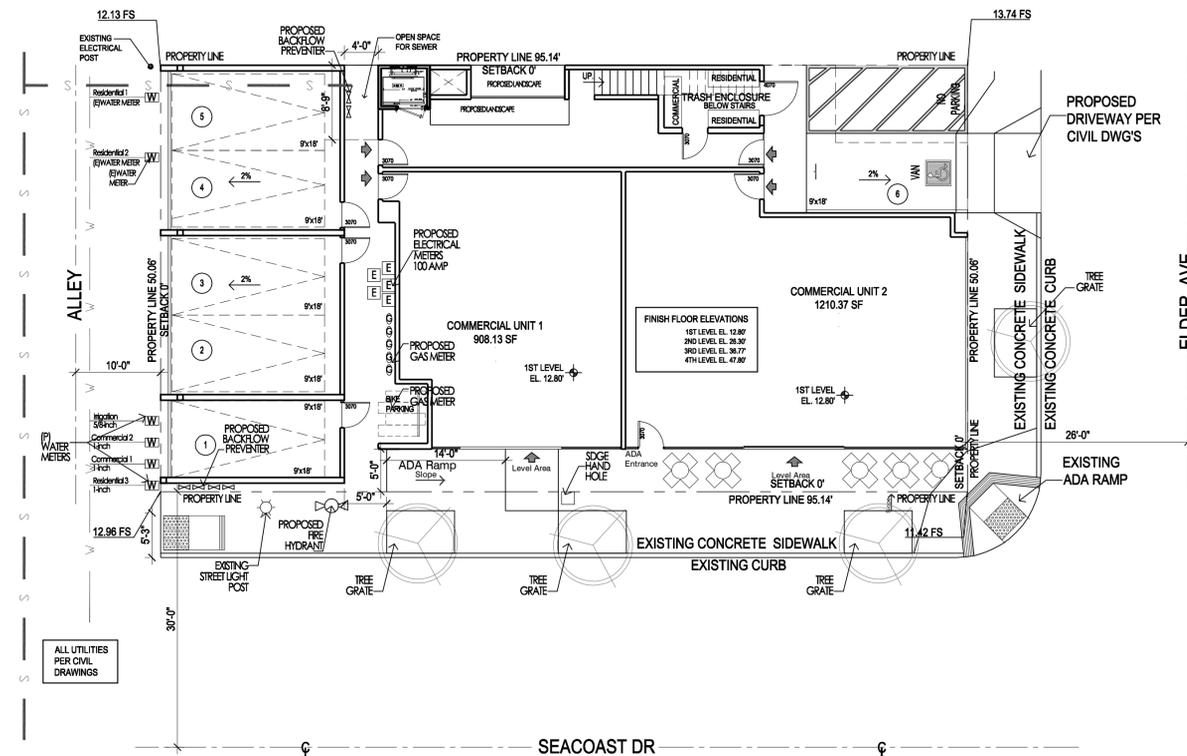






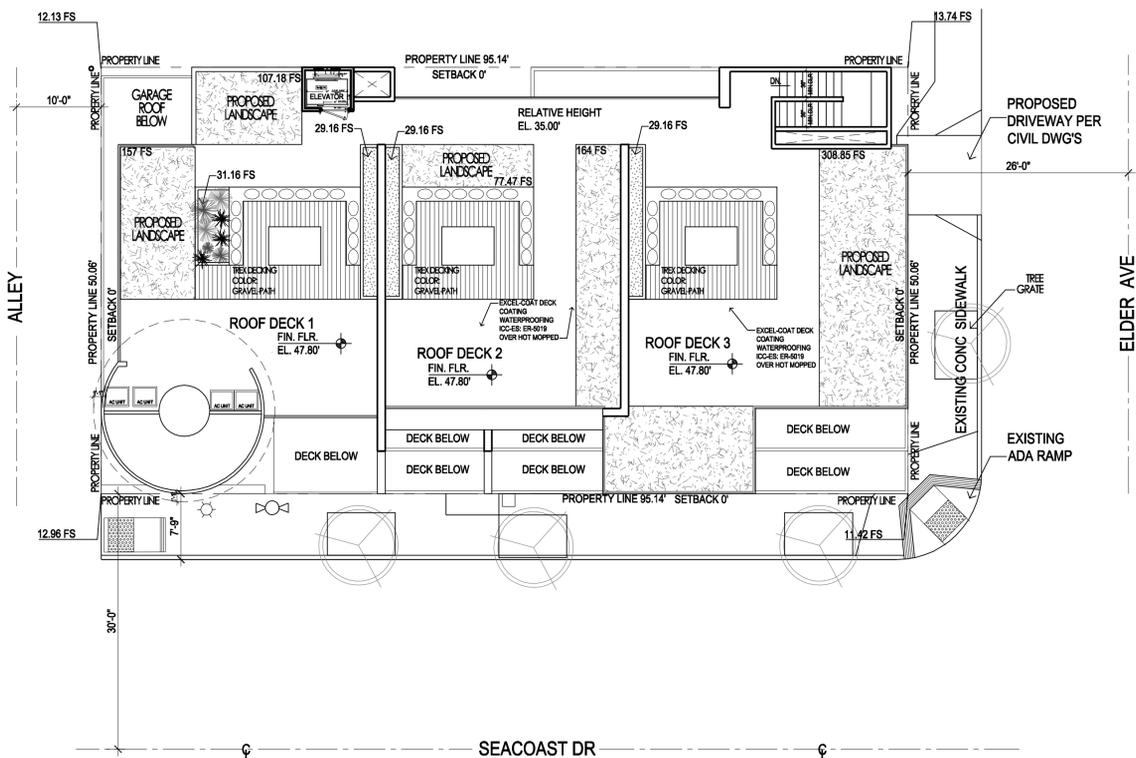
(E) SITE/ROOF PLAN

SCALE: 1" = 10'



(E) SITE/GROUND FLOOR PLAN

SCALE: 1" = 10'



(P) SITE/ROOF PLAN

SCALE: 1" = 10'



LIGHTHOUSE POINT
 951 SeaCoast Drive,
 Imperial Beach Ca 91932

Existing Building to be Demolish
 New Mixed-Use Building

ArkitDesigns
 Cell (619) 666-0872 Fax (619) 923-3205
 402 W Broadway 4th Fl San Diego, CA 92101

Project Data
 Apr: 625-352-2300
Legal description:
 Map: 1139 Bik: 20 Lot: 1
Address: 951 SeaCoast Drive,
 Imperial Beach Ca 91932

Zone: C/MU-2
Lot area: 4,763 SF / .011 Acres
Construction type: V-B
Occupancy: R-2

Owner: R.S. INVESTMENTS
phone: (619) 408-9090
address: 951 SeaCoast Drive,
 Imperial Beach 91932

Building Area Tabulation

COMMERCIAL	908 SF
2	1210 SF
UNIT 1	Living Space 2,365 SF
	Decks 178 SF
UNIT 2	Living Space 2,331 SF
	Decks 218 SF
UNIT 3	Living Space 2,112 SF
	Decks 214 SF
COMMON SPACE	1st Fl: 631 SF
	2nd Fl: 621 SF
	3rd Fl: 477 SF
PARKING	416 SF
ADA	1063.18 SF
ROOF DECK	3,861 SF
TRASH ENCLOSURE	100 SF
TOTAL LIVING SPACE:	6,808 SF
REQUIRED LANDSCAPE	15% = 714.45 SF
Landscap	1,311.59 SF > 714.45 SF

Lot Coverage: 92%
 F.A.R.: N/A



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Plans prepared: 02.2015

Revisions:	

sheet 1 of 16

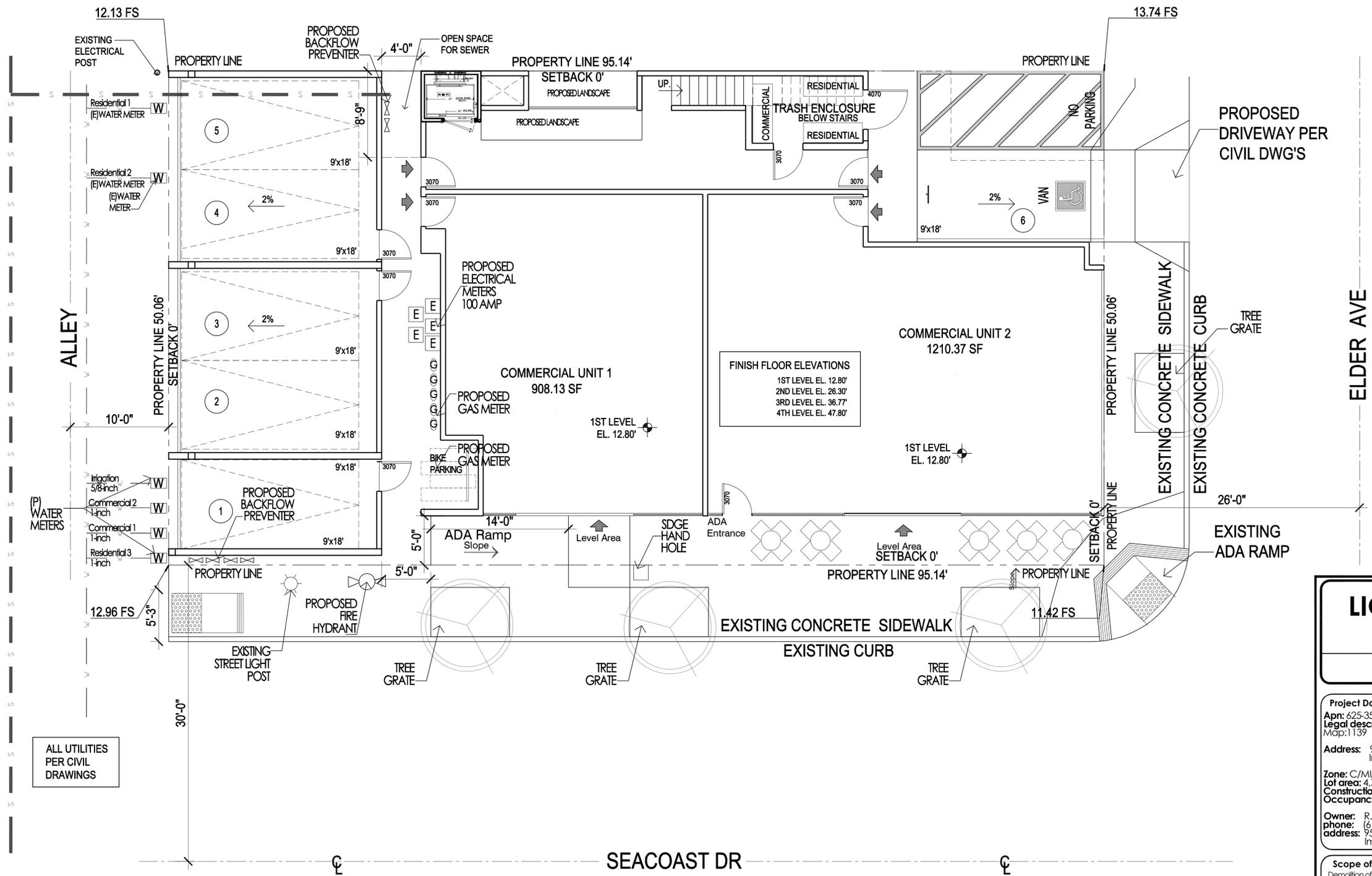
Drawn: **JOSE PEREZ**
 Responsible: **JOSE PEREZ**
 402 W Broadway
 4th floor
 San Diego, CA 92101
 Ph (619) 666-0872
 Fax (619) 923-3205

Check: **Jose Perez**
 Date: **04/2015**
 Scale: **AS NOTED**

signature

sheet content:
EXISTING AND PROPOSED SITE PLAN

sheet type: **a** sheet no. **1**



(P) SITE / ROOF PLAN

SCALE: 1" = 10'



LIGHTHOUSE POINT
 951 SeaCoast Drive,
 Imperial Beach Ca 91932

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 New Mixed-Use Building

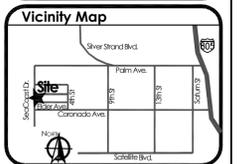
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Plans prepared: 02.2015

Revisions:	

sheet 2 of 16

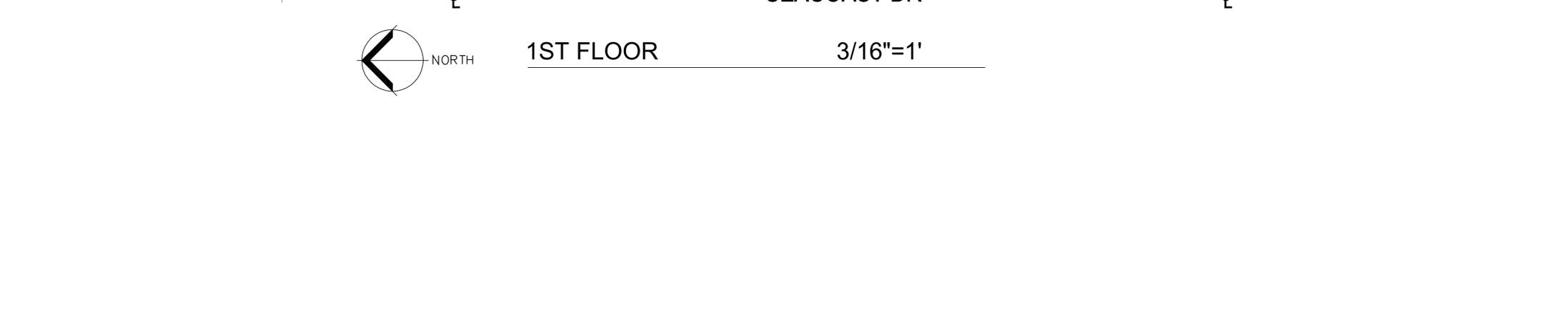
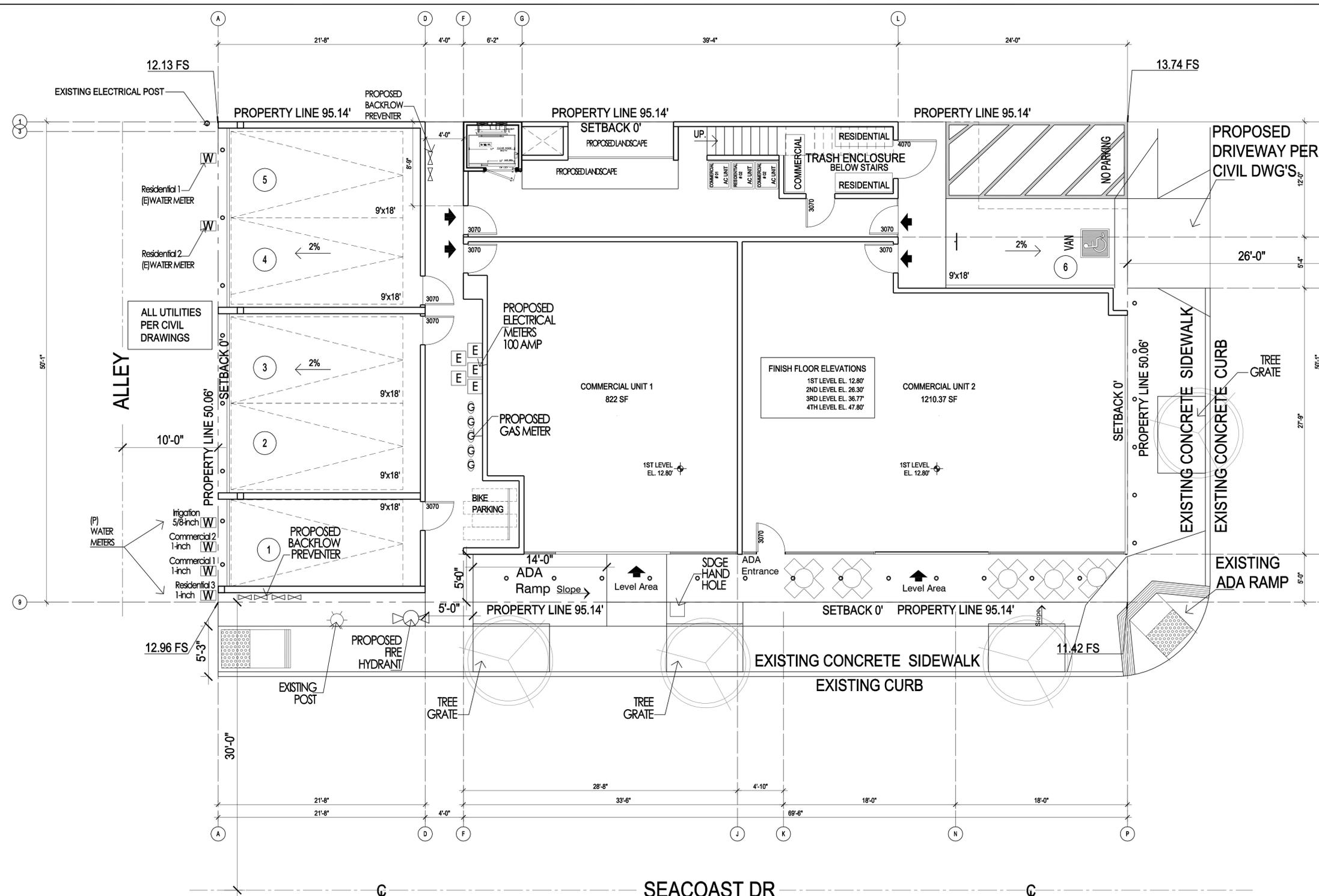
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Check: Jose Perez
 Date: 04/2015
 Scale: AS NOTED

signature

sheet content:
PROPOSED LANDSCAPE

sheet type: sheet no.
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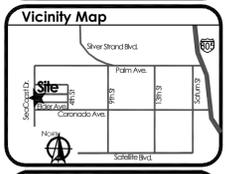
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 FLOOR PLAN

sheet type: sheet no.
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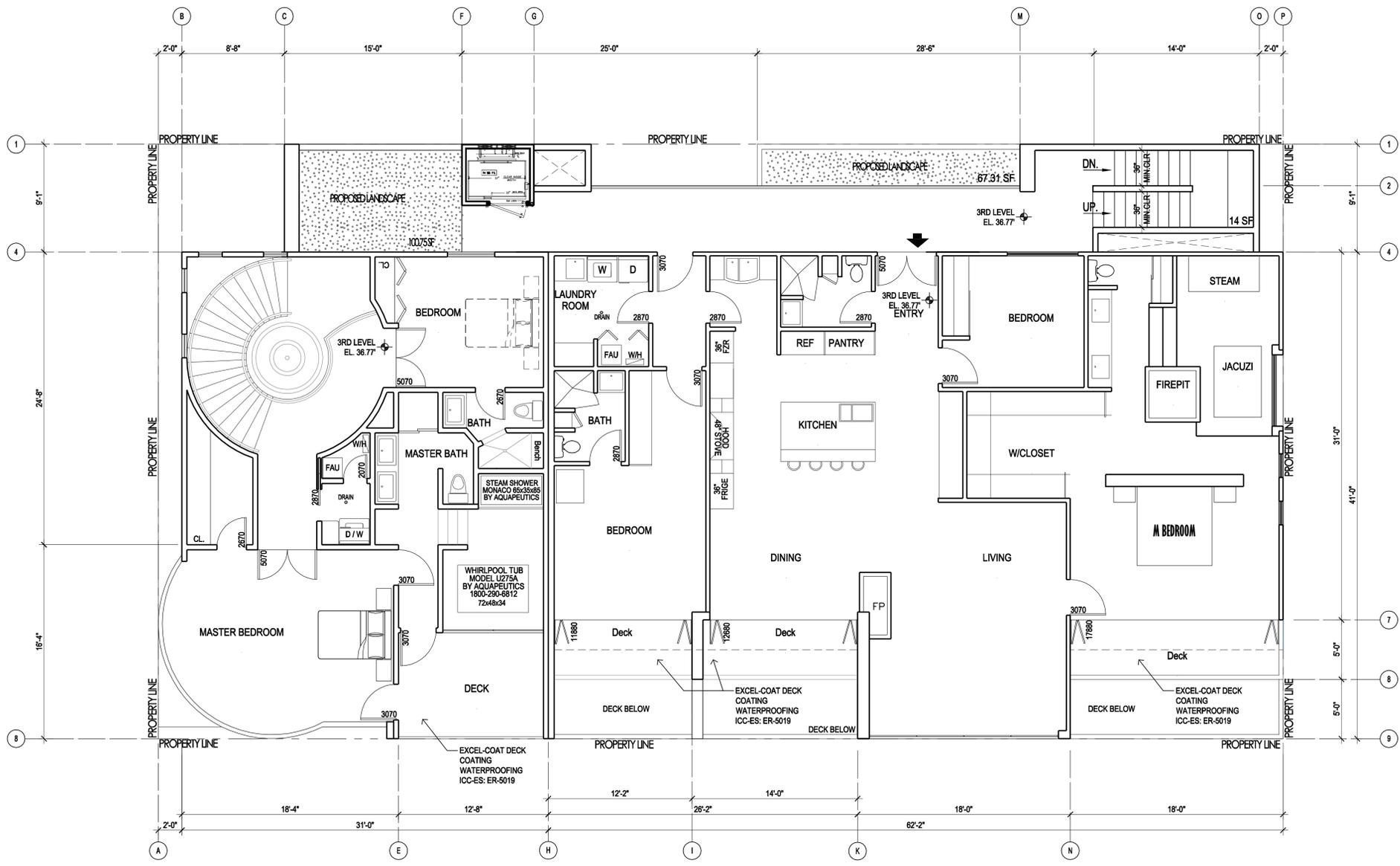
Plans prepared: 02.2015
Revisions:

sheet 3 of 16

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 402 W Broadway 4th Fl San Diego, CA 92101



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3RD FLOOR PLAN 3/16"=1'

LIGHTHOUSE POINT

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Vicinity Map

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Plans prepared: 02.2015

Revisions:

Drawn: **JOSE PEREZ**

Check: Jose Perez

Date: 04/2015

Scale: AS NOTED

Responsible: **JOSE PEREZ**

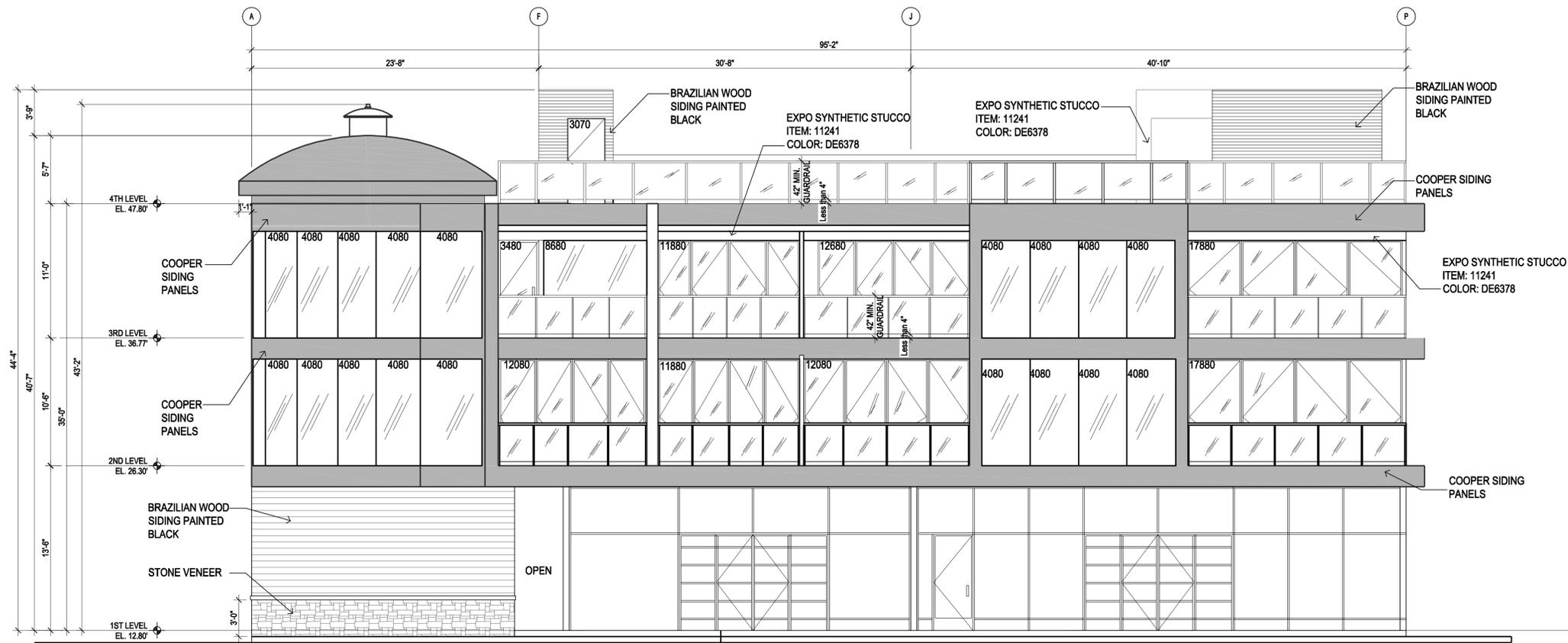
402 W Broadway
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signature

sheet 5 of 16

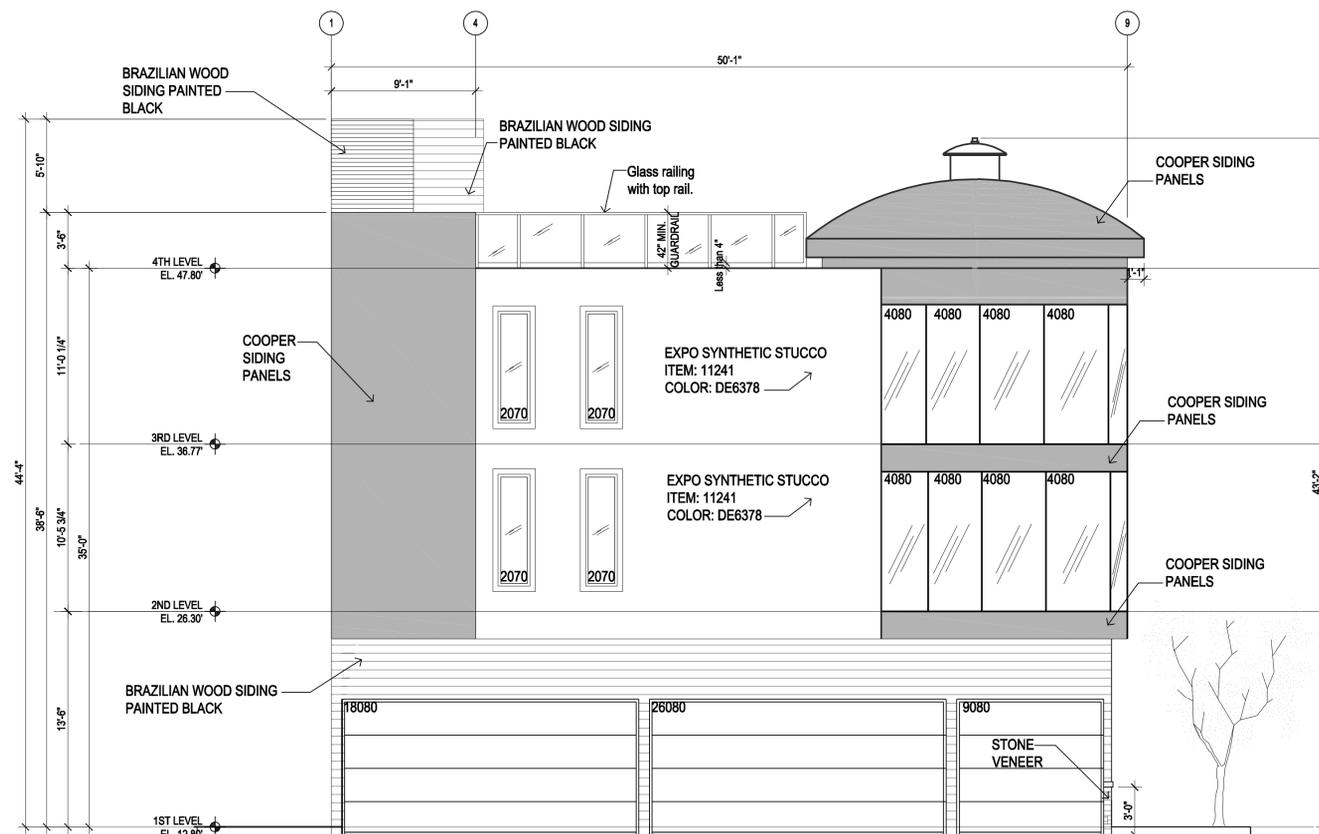
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sheet type: **a** sheet no. **4**



FRONT ELEVATION

SCALE: 3/16" - 1'-0"



LEFT ELEVATION

SCALE: 3/16" - 1'-0"

LIGHTHOUSE POINT

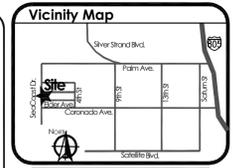
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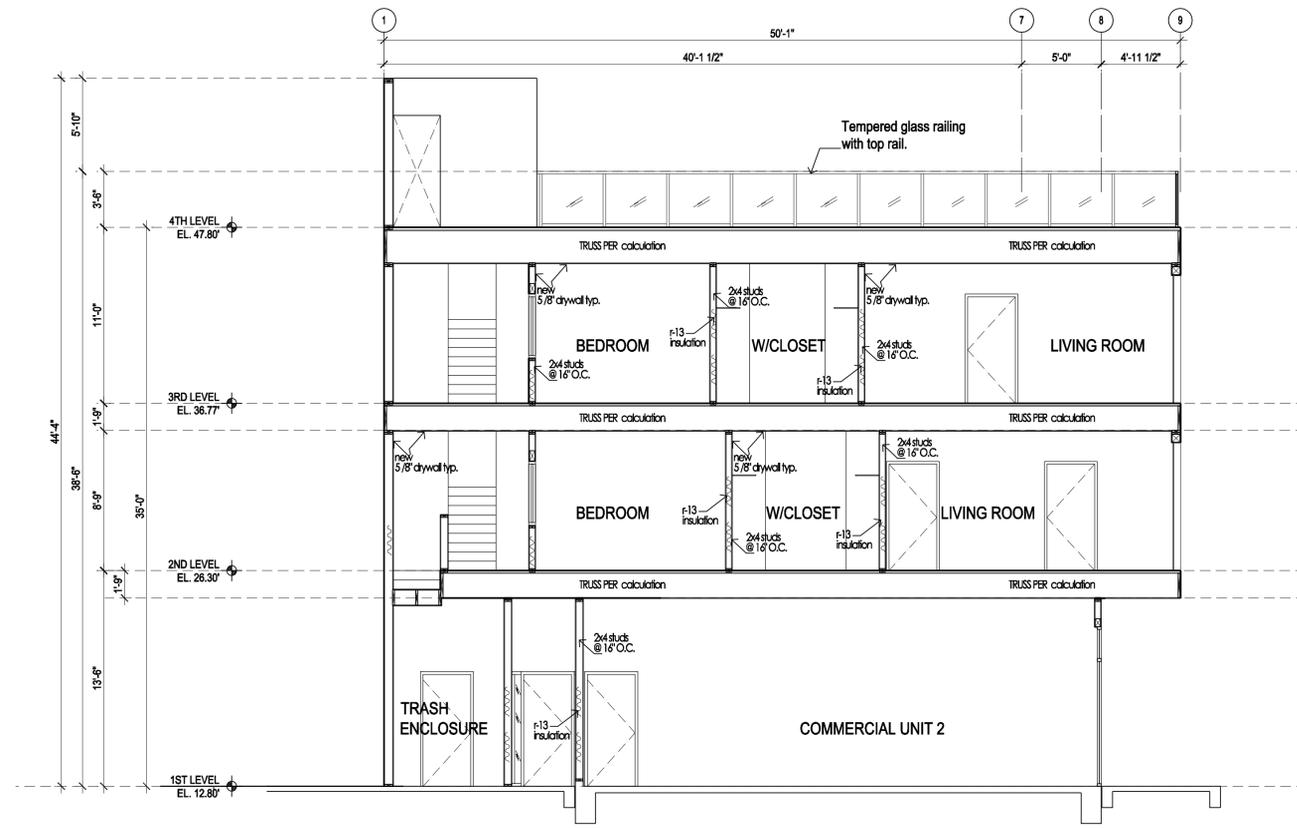


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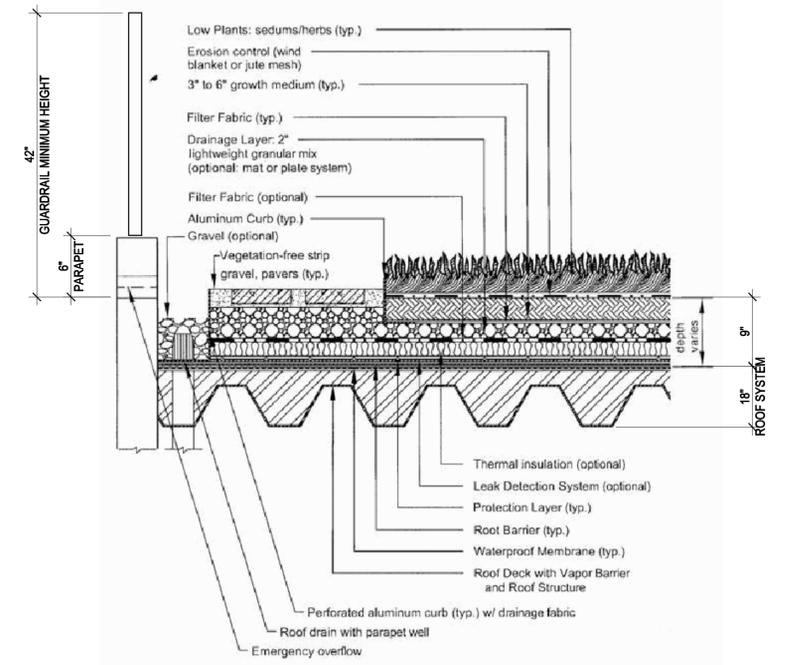
Plans prepared: 02.2015
 Revisions:
 sheet 7 of 16

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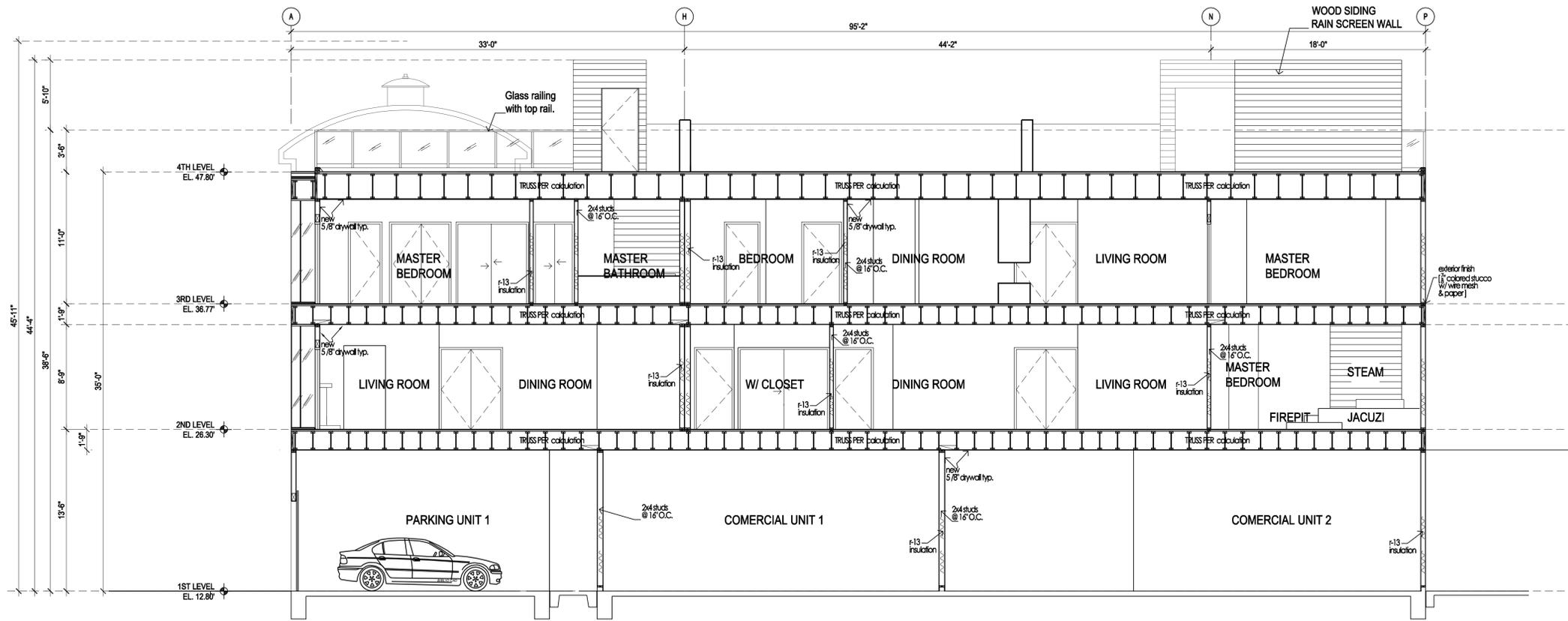
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SECTION TRANSVERSE
SCALE: 3/16" - 1'-0"



CROSS SECTION VIEW (NTS)
ROOF GARDEN DETAIL



SECTION LONGITUDINAL
SCALE: 3/16" - 1'-0"

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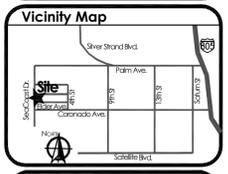
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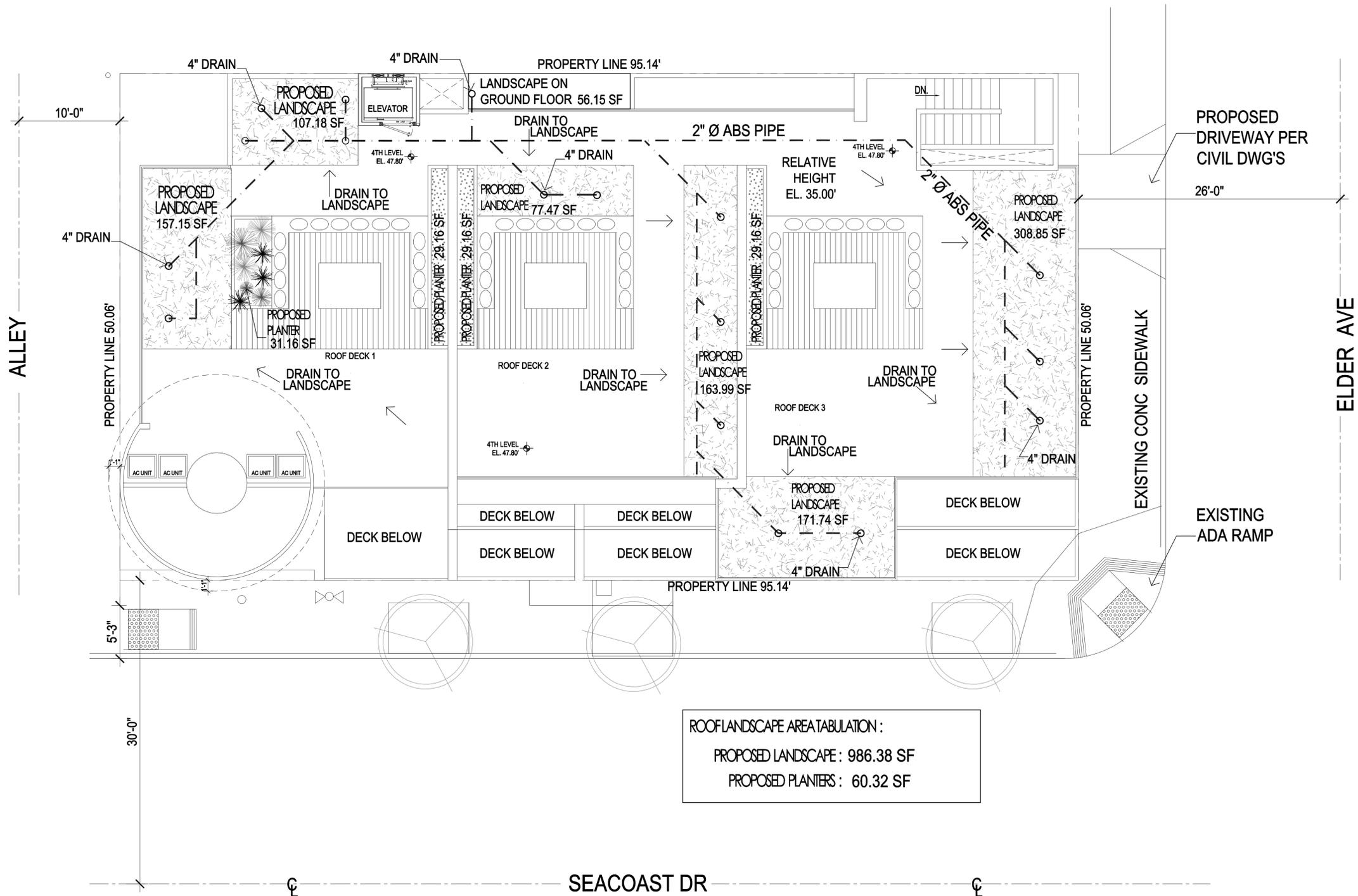
Sheet content:
 PROPOSED BUILDING SECTIONS

sheet type: **a** sheet no. **8**

sheet 9 of 16



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ROOF LANDSCAPE AREA TABULATION:

PROPOSED LANDSCAPE	986.38 SF
PROPOSED PLANTERS	60.32 SF

(P) DRAINAGE PLAN

SCALE: 3/16" = 1'-0"



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 - 16. A-15 PROPOSED NIGHT VIEWS

Scope of Work
 Demolition of an existing residence and construction of a 3-story mixed-use commercial/residential building with commercial space and 6 parking spaces on the ground floor and three residential units above the first floor. The project requests an administrative adjustment of 10% to provide a floor-to-ceiling dimension for the commercial space. A conditional use permit is proposed for a 35' building height; at least two incentives are proposed (100% of residential units are 3-bedroom & project provides minimum 75% active commercial use on the ground floor).

Plans prepared: 02.2015

Revisions:	

Drawn: **JOSE PEREZ**
 Responsible: **JOSE PEREZ**
 402 W Broadway
 4th floor
 San Diego, CA 92101
 Ph (619) 666-0872
 Fax (619) 923-3205

Check: **Jose Perez**
 Date: **04/2015**
 Scale: **AS NOTED**

signature

sheet content:

DRAINAGE PLAN

sheet type: **a** sheet no. **10**

Tyler Foltz

From: Jack Van Zandt < >
Sent: Friday, May 08, 2015 2:41 PM
To: Tyler Foltz
Cc: Serge Dedina; Brian Bilbray; Edward Spriggs; Lorie Bragg; Robert Patton;
tfontana ; navzandt
Subject: In Favor of Permits for MF 1149 Kegel

Tyler- Unable to make the Public Hearing on 20 May. I am writing in favor of the subject permitting regarding the proposed development at 951 Seacoast Dr.

I reside a half block away, at Elder Ave. This project carries my full recommendation for approval.

Kind regards, Jack

Jack and Nadja Van Zandt
Elder Ave
Imperial Beach, CA 91932

Tyler Foltz

From: Brian McCray
Sent: Monday, May 25, 2015 11:42 AM
To: Tyler Foltz
Subject: MF 1149 KEGEL

Follow Up Flag: Follow up
Flag Status: Flagged

Mr. Foltz,

My name is Brian McCray and I am writing in support of the project at 951 Seacoast Dr. I believe this project will be good for our community and enhance the property values in the surrounding area. I think it will compliment what has already been done on Seacoast as well as encourage others to speed up the gentrification process.

As a native San Diegan, I have seen many changes in Imperial Beach. When I was growing up in Point Loma, my parents would not allow me to come down to IB because it was a dangerous neighborhood. And just in the last 10 years I have seen some amazing changes for the good. I commonly bring my family out and enjoy the IB community. It is now a safe and clean(for the most part), and I am proud to be a business owner here.

I hope that the Kegel's can proceed with this project and we need more people like them to continue to beautify IB.

Thank You,

Brian McCray

Tyler Foltz

From: Tyler Foltz
Sent: Thursday, June 04, 2015 6:16 PM
To: 'Richard Emilson'
Subject: RE: No notice on MF 1149

Importance: High

Hello Richard,

Based on your below correspondence we looked into the public hearing notice package that was mailed for the project at 951 Seacoast Drive and discovered that some suite numbers of multi-unit buildings were omitted by the title professional who prepared the mailing labels. It was not the intent of the applicant or City to omit any member of the public from the public hearing process and we sincerely apologize for any inconvenience, concern or confusion this unfortunate oversight has created. Therefore, a new public hearing will take place for the project and I will ensure that you are notified of the date of the public hearing via mail and e-mail. Please let me know if you have any questions. Thank you.

Tyler Foltz, Senior Planner
Community Development Department
City of Imperial Beach
825 Imperial Beach Blvd.
Imperial Beach, CA 91932
Phone: (619) 628-2381 | Fax: (619) 424-4093 tfoltz@imperialbeachca.gov | www.ImperialBeachCA.gov

-----Original Message-----

From: Richard Emilson [<mailto:>]]
Sent: Thursday, June 04, 2015 2:12 PM
To: Tyler Foltz
Subject: RE: No notice on MF 1149

Mr. Foltz,

It has come to my attention that at last night's city council meeting, MF 1149 (project at 951 Seacoast) was approved by the council. As a resident in this neighborhood, I'm wondering why no one was noticed on this proposal and schedule for hearing at the city council. I've asked several neighbors now, and no one has ever received any notice on this item.

There are owners who intended to oppose the loss of value imposed by this project. Aren't you required by law to notice owners/residents of these matters, so they can show up at the appropriate venue to voice their opinions? Or is it now the practice of this city government to simply impose it's will on citizens by fiat?

Sincerely,

Richard Emilson

Tyler Foltz

From: Leslie McCollum < >
Sent: Thursday, June 04, 2015 7:09 PM
To: Tyler Foltz
Subject: Re: Mf1149

Thank you. Keep in mind that these are not just suites. These are people's homes, unit through .

Sent from my iPhone

> On Jun 4, 2015, at 6:14 PM, Tyler Foltz <tfoltz@imperialbeachca.gov> wrote:

>

> Hello Leslie,

>

> Based on your below correspondence we looked into the public hearing notice package that was mailed for the project at 951 Seacoast Drive and discovered that some suite numbers of multi-unit buildings were omitted by the title professional who prepared the mailing labels. It was not the intent of the applicant or City to omit any member of the public from the public hearing process and we sincerely apologize for any inconvenience, concern or confusion this unfortunate oversight has created. Therefore, a new public hearing will take place for the project and I will ensure that you are notified of the date of the public hearing via mail and e-mail. Please let me know if you have any questions. Thank you.

>

> Tyler Foltz, Senior Planner

> Community Development Department

> City of Imperial Beach

> 825 Imperial Beach Blvd.

> Imperial Beach, CA 91932

> Phone: (619) 628-2381 | Fax: (619) 424-4093

> tfoltz@imperialbeachca.gov | www.ImperialBeachCA.gov

>

>

> -----Original Message-----

> From: Leslie McCollum [<mailto:>]

> Sent: Thursday, June 04, 2015 2:22 PM

> To: Tyler Foltz

> Subject: Mf1149

>

> Tyler: I am extremely upset as a resident at seacoast, who lives directly next to this proposed nightmare project. I learned quite by accident that this project has been approved yet no one received any notice. Numerous owners and residents up and down the alley and in the nearby area, will lose their property values, their views, not to mention their parking places. Do the people who actually live in this town matter at all?

> Why is so Imperial Beach so anxious to become another Pacific beach Residents already have to park two blocks away from the beach.

> There is much opposition to this project to get our voices did not get

> to be heard. What kind of town are they running here Leslie McCollum

>

Sent from my iPhone

Tyler Foltz

From: Leslie McCollum < >
Sent: Friday, June 05, 2015 1:28 PM
To: Tyler Foltz; Serge Dedina
Cc: Rick Emilson; Jen Gerner; Michele And Lynn Patterson; Linde Matthews
Subject: Emailing MF1149 I.B. 6-5-15.pdf. Project MF 1149
Attachments: MF1149 I.B. 6-5-15.pdf; ATT00001.txt

Please a knowledge your receipt of the attached letter in opposition to the project. Thank you. Leslie McCollum.

To: Mayor Serge Dedina

June 5, 2015

Tyler Foltz, Sr. City Planner, City of I. B.

Sent via Electronic mail: serge.dedina@imperialbeachca.gov

tfoltz@imperialbeachca.gov

Formal opposition to Proposed Project at 951 Seacoast, MF1149

Please put this letter in the City's file.

Serge & Tyler:

I have serious concerns about the flawed notice process that has occurred. The process should re-commence at the Design committee level, not the final vote. I understand that the design committee meeting was held in March, but of course, who knew? Not us.

I appreciate that we will be noticed for another hearing but noticing us now is like closing the barn door after the horse is out. Everyone's mind is made up and we have been stuck as voiceless residents to a process we should have participated in right from the beginning. We knew about this proposed project over a year ago and we waited to organize our opposition, only to be ignored.

We received 3 notices about the Evergreen/Seacoast project but absolutely nothing about this one. As for this project, I found out by accident about the approval of the project from a friend who happened to be attending the Council meeting about another issue.

A woman, purportedly one of the owners of 951 Seacoast, marched into our complex yesterday wanting to know who didn't receive notice, and confronted one of my neighbors. I'm told she mentioned spending thousands of dollars on a company to give notice. That begs the question: Why didn't the city do its job or conduct some oversight of the private company to make sure the notice requirements were met? So now the City doesn't even do their own notices? Privatization lends itself to mistakes and corruption. The Applicant was left to mind the store – "fox guarding henhouse" comes to mind. Whether the lack of notice was deliberate or not is not the point. This defective process right from the start, perpetuates the perception of Imperial Beach as a corrupt city and smacks of impropriety.

I'm informed that the owner of the property "reached out" to the members of City Council (checkbook in hand?) but didn't feel that it was necessary to talk to the dozens of neighbors who will be adversely affected and extremely upset if his project, as proposed now, is built. We were afforded no advance opportunity to speak to council members or invite them to visit the site and hear our concerns.

My concerns about the project:

1. **Safety hazard.** No setback from alley. This is already a dangerous and unsafe alley. It is constantly busy with cars, pedestrians, etc., in and out. When some child on a bike or skateboard or a pedestrian is injured or worse, do not say the city was not warned. It is a blind, dangerous and extremely busy alley that will now be even more narrow, with no visibility. It is only a matter of time before someone will be hurt. The setback issue should be addressed. The City is negligent if they don't re-visit the safety issue.

2. Loss of property values and views for dozens of people. How is it fair for one affluent man to get to fulfill his lighthouse fantasy project and everyone else suffers loss of property values and views. People who improved their property for the view are simply out of luck. Tough luck.

Did anyone from the city even come out and look at the homes and condos up and down the alley that runs between Evergreen and Elder, the owners of which invested heavily for their view? Rooftop deck improvements, etc. Did anyone even envision the horrible impacts of this project with yet another massive project occurring only one block away?

Now residents and owners will view the back of an unsightly, overly ambitious project that for some reason has been permitted to exceed heights limits. Yes, money talks. Long time residents and nearby homeowners don't matter I guess.

1 single family home is being replaced by the project (hereafter, the nightmare). Calling it over ambitious is an understatement. I understand that the Applicant seeks to remove the lightpost on Seacoast for aesthetic reason. All I can say to that audacity

A 2 story project, of sufficient size with actual parking, could have been a win win and could still occur if the city rethinks this and puts some thought into the future impacts once the damage is done.

3. Parking is not provided except for a few residents. There is already no parking for people who live here. It has been a problem for years and gets worse as each new development is forced upon us. My husband parks 2 blocks away from our home. It is a huge problem already and will be compounded by the Evergreen/Seacoast project and now this!

The nightmare project provides for no parking for the business employees or Customers! Ridiculous and shortsighted. How on earth does this make any sense? This is such bad planning as to be embarrassing.

I B is fast becoming PB. Only the high rises on seacoast will see hear and enjoy the beach. It is hard to watch and rather disgusting. Small town feels is disappearing fast. Gridlock, circling around looking for spaces to park. It is already noisier than ever. What isn't being destroyed here in town by shortsightedness will be destroyed by the Navy, which continues to encroach upon us. It is so disheartening to see the total lack of planning for common sense things like parking and the overall good of the community. This project is a nightmare and will only benefit the few people who eventually live there. Quality of life issues are real.

Tyler, if this will not be circulated to council members, please advise and I will submit it to them. Thanks for your consideration.

Leslie McCollum Seacoast
; email:

Tyler Foltz

From: Leslie McCollum < >
Sent: Sunday, June 07, 2015 1:09 PM
To: Edward Spriggs; Lorie Bragg; Robert Patton; Brian Bilbray
Cc: Serge Dedina; Tyler Foltz
Subject: Opposition to Project MF1159 at 951 Seacoast Dr.
Attachments: MF1149 I.B. 6-5-15.pdf

Dear Honorable Councilmembers and Mayor Pro Tem. I am attaching a letter I submitted to Mayor Dedina and City Planner Tyler Foltz on June 5, 2015. I ask that it be part of the record in this matter, along with this email.

I would like to point out that many of us in the community who will be most adversely impacted by this shortsighted monstrous project, did not have an opportunity to present our views and concerns because the Applicant privately hired a company to handle the public notices and we were conveniently not notified of any of the proceedings that have occurred! This is improper. I learned of the council approval quite by accident. This project is tainted and was approved based on defective notice that was obviously permitted to occur without the city's oversight. You can now fix this non-compliance, consider this project again, and listen with open minds to the valid complaints and concerns that everyone who lives anywhere near this proposed project has.

Giving us notice now of only the final hearing being re-noticed, is like allowing the opposing football team to play in the game, but not until the 4th quarter. The Applicant should be forced to comply with the notice provisions and go back to square one in the notice process and get it right this time, and start with re-noticing hearings at the **design committee level**.

Safety: Has anyone at the city even asked the fire department if they can access the alley if the project is built out to the very edge of the property line, with no setback from the alley????? How about trash collectors? Street sweepers?

Does the city realize how busy and dangerous this blind alley already is? This is not just any alley on any street. It is without a doubt the busiest alley in town across the street from the busiest, most crowded place in town - Pier Plaza. The flow of pedestrians, skateboarders, bicycles, and constant vehicles in and out, is the norm here, day in day out. People often leave cars in the alley, while they pop into the store. This project will close up the alley like a vise and make it even more blind and dangerous than it is. It is already only a matter of time before someone is injured or worse and if the new project goes in as planned well, let's just say you've been warned. The safety issue is real.

I urge the council to re-visit the safety issue (if it was ever even looked at in the first place), the loss of property values and views to dozens of residents, and the fact that no parking provision is included in the project for the proposed business employees and or their customers (pure nonsense, embarrassingly bad planning!), gridlock at the beach and no parking (this has already occurred) - all so that one owner can overbuild on a site that was once home to a single family dwelling. It boggles the mind. Also, it should be kept in mind that you have already approved another massive project a half a block away from this one - at Evergreen & Seacoast. Growth for the sake of growth is the ideology of the cancer cell - not rational people! Let's put on the brakes and give it some thoughtful consideration and look at the long term impacts for all of us, not the immediate benefit to a single property owner.

I urge all of you to please come down here to the site and see it as it is now. Look at how many homes have been purchased or improved for the sole purpose of enhancing property values for the view!

Should the applicant get to build on his property? Of course! Yes. He owns it.

Should the applicant get to build an unsafe, poorly planned, unsuitable, overambitious project, from which only he benefits, and which harms the rest of the community and their property values and quality of life? No

A 2 story building with safe setbacks from the alley would be the suitable and sane thing to do. A win for the owner and for the entire community as well - preserving safety, views and property values for everyone. Please come down here and see for yourself. I would love the opportunity to talk to any or all of you. Thanks for your consideration.

Leslie McCollum, Seacoast, Imp. Bch., CA 91932

cc: Henderson, Caverly, Pum & Charney, LLP

To: Mayor Serge Dedina

June 5, 2015

Tyler Foltz, Sr. City Planner, City of I. B.

Sent via Electronic mail: serge.dedina@imperialbeachca.gov

tfoltz@imperialbeachca.gov

Formal opposition to Proposed Project at 951 Seacoast, MF1149

Please put this letter in the City's file.

Serge & Tyler:

I have serious concerns about the flawed notice process that has occurred. The process should re-commence at the Design committee level, not the final vote. I understand that the design committee meeting was held in March, but of course, who knew? Not us.

I appreciate that we will be noticed for another hearing but noticing us now is like closing the barn door after the horse is out. Everyone's mind is made up and we have been stuck as voiceless residents to a process we should have participated in right from the beginning. We knew about this proposed project over a year ago and we waited to organize our opposition, only to be ignored.

We received 3 notices about the Evergreen/Seacoast project but absolutely nothing about this one. As for this project, I found out by accident about the approval of the project from a friend who happened to be attending the Council meeting about another issue.

A woman, purportedly one of the owners of 951 Seacoast, marched into our complex yesterday wanting to know who didn't receive notice, and confronted one of my neighbors. I'm told she mentioned spending thousands of dollars on a company to give notice. That begs the question: Why didn't the city do its job or conduct some oversight of the private company to make sure the notice requirements were met? So now the City doesn't even do their own notices? Privatization lends itself to mistakes and corruption. The Applicant was left to mind the store – "fox guarding henhouse" comes to mind. Whether the lack of notice was deliberate or not is not the point. This defective process right from the start, perpetuates the perception of Imperial Beach as a corrupt city and smacks of impropriety.

I'm informed that the owner of the property "reached out" to the members of City Council (checkbook in hand?) but didn't feel that it was necessary to talk to the dozens of neighbors who will be adversely affected and extremely upset if his project, as proposed now, is built. We were afforded no advance opportunity to speak to council members or invite them to visit the site and hear our concerns.

My concerns about the project:

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The nightmare project provides for no parking for the business employees or Customers! Ridiculous and shortsighted. How on earth does this make any sense? This is such bad planning as to be embarrassing.

I B is fast becoming PB. Only the high rises on seacoast will see hear and enjoy the beach. It is hard to watch and rather disgusting. Small town feels is disappearing fast. Gridlock, circling around looking for spaces to park. It is already noisier than ever. What isn't being destroyed here in town by shortsightedness will be destroyed by the Navy, which continues to encroach upon us. It is so disheartening to see the total lack of planning for common sense things like parking and the overall good of the community. This project is a nightmare and will only benefit the few people who eventually live there. Quality of life issues are real.

Tyler, if this will not be circulated to council members, please advise and I will submit it to them. Thanks for your consideration.

Leslie McCollum Seacoast
 ; email:

Tyler Foltz

From: Jacque Hald
Sent: Wednesday, June 17, 2015 9:13 AM
To: Tyler Foltz
Subject: FW: Opposition to Development at 951 Seacoast

Here is one of two messages.

Jacqueline M. Hald, MMC, City Clerk
Office of the City Clerk
City of Imperial Beach
825 Imperial Beach Blvd.
Imperial Beach, CA 91932

(619) 423-8616 direct | (619) 628-1395 fax
jhald@imperialbeachca.gov | www.ImperialBeachCA.gov

From: Serge Dedina
Sent: Tuesday, June 16, 2015 6:20 PM
To: Andy Hall; Jacque Hald
Subject: Fwd: Opposition to Development at 951 Seacoast

Serge Dedina
Mayor of Imperial Beach
619.623.5975
sdedina@imperialbeachca.gov
[@serge4ibmayor](https://www.facebook.com/serge4IBMayor)
www.facebook.com/serge4IBMayor
www.sergeforibmayor.com

Begin forwarded message:

From: Michele Patterson <>
Date: June 16, 2015 at 12:52:42 PM PDT
To: "serge.dedina@imperialbeachca.gov" <serge.dedina@imperialbeachca.gov>, "brian.bilbray@imperialbeachca.gov" <brian.bilbray@imperialbeachca.gov>, "edward.spriggs@imperialbeachca.gov" <edward.spriggs@imperialbeachca.gov>, "lorie.bragg@imperialbeachca.gov" <lorie.bragg@imperialbeachca.gov>, "robert.patton@imperialbeachca.gov" <robert.patton@imperialbeachca.gov>
Subject: **Opposition to Development at 951 Seacoast**

Dear Honorable Mayor, Mayor Pro-Tem, and City Council Members,

My name is Michele Patterson and I reside at Elder Avenue, Unit . I am writing to express my disappointment over your approval of the development of a 3-story structure at 951 Seacoast and my concern over several issues pertaining to it.

My husband Lynn and I purchased our condo in 2011 after a 2-year quest to find a nice little place to spend our retirement years. We had begun our search in the Belmont Shore section of Long Beach, where we have owned residential property for nearly 40 years. However, today's Belmont Shore bears little resemblance to the Belmont Shore we knew from the 1950s when Lynn grew up there. Gone is the quiet beachfront community. The mom and pop stores that once lined 2nd Street have been replaced by national-brand stores, cell phone shops, bars, restaurants, and more bars. Perhaps this is good for the tax base, but it is not the sort of place we would choose to live.

And so we worked our way down the coast until we found Imperial Beach. We were immediately impressed by its slogan matching its reality: *Classic Southern California*. We were wowed! We worked with a real estate agent and finally found the perfect place for us.

Although our address is on Elder Avenue, our unit overlooks the alley. In fact, of the four entrances to Elder, three are on the alley and all of the residents drive through the alley to our parking garage and assigned spaces. Lynn and I have a pleasant view of the pier from our balcony, and the view of the pier and beach from the communal sundeck is awesome.

Enter the development of 951 Seacoast. When we first saw the proposed design at Spirit Reality in April 2014 we were saddened to think we would lose much of our view. But the design as approved by the City Council is so much worse than what we had expected! The bulge from the 3-story "Lighthouse" seems to encroach on the alley and will not only kill our view but also present a hazard for emergency equipment and other wide and tall vehicles turning into the alley from Seacoast. The lack of set-back will also block the view of oncoming vehicles on Seacoast so that drivers turning into or out from the alley will have to move onto the sidewalk to see oncoming traffic. Pity the poor pedestrians who won't be able to see the vehicles approaching down the alley until they are on top of them.

I am also concerned with the lack of parking for visitors to the condos and to the street-level businesses. Besides the nine parking spaces in our enclosed garage, my building has six assigned spaces in the alley. Is it beyond reason to expect that people wishing to give custom to the businesses and finding no street parking will turn up our alley and take the first vacant parking place they encounter? People who just want to "dash in for a moment" will be drawn to our spaces when they are unoccupied and the residents will be faced with calling for tow vehicles to enforce the private parking sanctions. This can only cause disharmony in our neighborhood.

I had to laugh when I read the part of the proposal presented to the City Council in which one of the purported benefits of this project is to ease the housing shortage in our city. I can only imagine that the real estate broker's

phones are ringing off the hook with people wanting to spend \$1.75million for a luxury condo in an otherwise middle class neighborhood. But if I am wrong and this is just the beginning of a new trend in the development of Seacoast, you'll have to come up with a slogan to replace the old one. *Classic Southern California*, indeed.

I have heard that because of deficiencies in notifying all residents within 300 feet of the property the City must schedule another public meeting. I hope that the City Council will take this opportunity to reconsider their approval for this project.

Thank you for your consideration of this matter.

Sincerely,
Michele Patterson

Tyler Foltz

From: gbrowr
Sent: Friday, June 19, 2015 1:42 PM
To: Tyler Foltz
Cc: Jacque Hald
Subject: Lighthouse Point

Mr. Foltz,

I was very impressed with the presentation given on June 18th to the Seacoasters Group about the many on-going development projects in Imperial Beach.

It's exciting to see all the potential improvements. My hats off to you and City Council for making so many good things happen.

Lighthouse Point was one of the projects mentioned, and it was pointed out that there is an up-coming public hearing before Council to discuss the project.

I'm not sure if I can attend the hearing. Therefore this email expresses my support for the project. It appears to be an excellent addition to Seacoast Drive and is consistent with the City's hopes of getting mixed-use development on Seacoast Drive.

I hope City Council will approve the project as soon as possible so the developer can move ahead.

Thank you for your dedicated work to encourage and create high quality development in IB.

Gary Brown

Tyler Foltz

From: Leslie McCollum < >
Sent: Friday, June 19, 2015 8:51 PM
To: Tyler Foltz
Subject: Re: Design Review Board Notice - 951 Seacoast Drive

Thank you. Will we get notice by mail also? Our neighbors in the building too? Who will generate the notices? The city or the applicant? We are already seriously disadvantaged here and are not happy about it.
Leslie

Sent from my iPad

On Jun 19, 2015, at 4:50 PM, Tyler Foltz <tfoltz@imperialbeachca.gov> wrote:

Hello Leslie,

Due to your interest in the proposed project at 951 Seacoast Drive, I am attaching a copy of the notice for the Design Review Board meeting that will take place on June 30, 2015 at 2PM in the Council Chambers at City Hall. One of the projects scheduled for that meeting will be the proposed mixed-use project located at 951 Seacoast Drive. Please let me know if you have any questions. Thank you.

<image001.jpg>

Tyler Foltz, Senior Planner
Community Development Dept.
City of Imperial Beach
825 Imperial Beach Blvd.
Imperial Beach, CA 91932
Phone: (619) 628-2381 | Fax: (619) 424-4093
tfoltz@imperialbeachca.gov | www.ImperialBeachCA.gov
<image002.gif> <image003.gif>

<MF 1149 Kegel Notice 061915.pdf>

Tyler Foltz

From: Jacque Hald
Sent: Tuesday, June 23, 2015 10:51 AM
To: Tyler Foltz
Cc: Andy Hall; Steven Dush; Jennifer M. Lyon (,)
Subject: FW: MF1149. 951 Seacoast

Tyler,

Shirley N. forwarded this message to me.

Jacqueline M. Hald, MMC, City Clerk
Office of the City Clerk
City of Imperial Beach
825 Imperial Beach Blvd.
Imperial Beach, CA 91932

(619) 423-8616 direct | (619) 628-1395 fax
jhald@imperialbeachca.gov | www.ImperialBeachCA.gov

From: Shirley Nakawatase [mailto:]
Sent: Tuesday, June 23, 2015 10:48 AM
To: Leslie McCollum
Cc: Jacque Hald
Subject: Re: MF1149. 951 Seacoast

Leslie,

Please send your letters via the city. I am genuinely looking for all input.

Shirley

Sent from my iPad

On Jun 23, 2015, at 9:35 AM, Leslie McCollum < > wrote:

Shirley: I am sorry to write to you at your office but I wanted to know if you are still the head of the design committee. I would like to hand deliver some letters to the chair of the committee with appropriate copies for all members before this specially set meeting on June 30 occurs . We have been blindsided once again.

I cannot attend the meeting , nor can anyone else who works, and 10 days notice is certainly insufficient. We learned that this project started back in early 2014 but we did not receive notice of anything at all!

It is disgusting that the applicant was entrusted with the noticing.

Anyway thanks for your help.

Leslie. Text & phone:

Sent from my iPhone

Begin forwarded message:

From: Leslie McCollum < >
Date: June 21, 2015 at 7:10:35 PM PDT

To: tfoltz@imperialbeachca.gov
Cc: Serge Dedina <serge.dedina@imperialbeachca.gov>
Subject: MF1149. 951 Seacoast

Hi Tyler. I received your email notification of a meeting in front of the design committee. Why was the design committee meeting specially set? They typically meet on the third Thursday at 4 PM and this is what we relied upon in planning ahead. 10 days email notice it's not very much notice and we have yet to receive any notices in the mail. Did our neighbors get properly noticed? Why should I even have to ask you these questions?

How can the public participate in meetings that they do not know about, especially at 2 PM on a weekday? Please provide me with information about the design committee and how I can get my opposition letters and papers to them. Or better yet, allow the meeting to take place at the time it should normally take place so that we actually have time to do our own planning and preparation . Haven't we been disadvantaged enough?

This entire project stinks and this entire process has been unfair to the members of the community who are the most impacted by it.

Shame on the city for entrusting the applicant with the noticing process in the first place. All of us in the community waited for over a year, knowing that notices would come. But they didn't.

Now that it is a fait accompli, a few people receive emails now and that is supposed to fix everything?

I would really like to know if anyone at the fire department has been contacted about the horrendous plan to have no setback from the end of the alley, the busiest alley in town. Besides being dangerous, & an accident waiting to happen, I don't think that emergency vehicles could get in here and I really don't want my home to burn to the ground so the applicant can have a bigger condo, with businesses on the ground floor that will be useless because there is no parking for employees or customers.

The design is so far from the city's mission to be "classic California" as to be laughable. Pier plaza, the pier itself, & the lifeguard tower will be over shadowed completely by this over ambitious ugly project.

We had hoped to have time to get an appraiser in place who has offered his time to address the city as to the loss of property values that this project will have on many members of this community, Members of this community that the applicant did not bother to reach out to. Thank you.

Leslie McCollum

I can be reached at

Sent from my iPhone

Tyler Foltz

From: Patricia DeHart ·
Sent: Tuesday, June 23, 2015 1:40 PM
To: Tyler Foltz
Subject: Property at 951 Seacoast

Follow Up Flag: Follow up
Flag Status: Flagged

Mr. Foltz

As long time residents of Imperial Beach and business owners, we are totally in favor of the condo/commercial property located on the corner of Elder and Seacoast. Not only is the lighthouse style very attractive but it will go in line with the other improvements happening around town, especially on Seacoast. It will be an asset to the area and will continue to contribute to the beauty of our small beach town. We live a few blocks from the beach and this project will only help to enhance our property value.

Thank you for your consideration,
Bruce and Patty DeHart

Sent from my iPad

Tyler Foltz

From: Cy&Anji ·
Sent: Tuesday, June 23, 2015 1:53 PM
To: Tyler Foltz
Subject: Fwd: Support for 951 Seacoast Project light house point

Follow Up Flag: Follow up
Flag Status: Flagged

Subject: Support for 951 Seacoast Project light house point

Hello

My name is Anji Marcus and I live

At 13th street Imperial Beach Ca

I am in support of the Lighthouse

Point due to the value it will bring to our community. As a Published local artist

I feel this project will not only add monetary value to all areas of Imperial Beach homes and businesses. When we as home owners and residents support project like this we are investing in the future of our communities creating a progressive and inviting place for our community's .

I am distressed at the current condition of the building now existing on the lot in question and will be very happy to see it changed for the better according to the designs we have seen in public sites.

I have seen the design plans of proposed project and anxious to see it come to completion.

Thank you

Anji Marcus

Sent from my iPhone

Tyler Foltz

From: Leslie McCollum < >
Sent: Tuesday, June 23, 2015 5:16 PM
To: Tyler Foltz
Subject: Re: MF1149. 951 Seacoast

Thanks Tyler

Sent from my iPhone

On Jun 23, 2015, at 2:46 PM, Tyler Foltz <tfoltz@imperialbeachca.gov> wrote:

Leslie,

The Design Review Board meets when members and projects are available, which does not always occur on the regular third Thursday of every month. All owners within 300 feet and all occupants within 100 feet were notified. If you cannot attend the meeting, you can provide an e-mail or written letter that will be attached to the staff report. As a reminder, it is anticipated that the City Council public hearing for the project will take place on July 15, 2015 at 6PM, at which time you can provide comment to the City Council. A separate notice will be sent for the public hearing.

Tyler Foltz, Senior Planner
Community Development Department
City of Imperial Beach
825 Imperial Beach Blvd.
Imperial Beach, CA 91932
Phone: (619) 628-2381 | Fax: (619) 424-4093
tfoltz@imperialbeachca.gov | www.ImperialBeachCA.gov

-----Original Message-----

From: Leslie McCollum [<mailto:>]
Sent: Sunday, June 21, 2015 7:11 PM
To: Tyler Foltz
Cc: Serge Dedina
Subject: MF1149. 951 Seacoast

Hi Tyler. I received your email notification of a meeting in front of the design committee. Why was the design committee meeting specially set? They typically meet on the third Thursday at 4 PM and this is what we relied upon in planning ahead. 10 days email notice it's not very much notice and we have yet to receive any notices in the mail. Did our neighbors get properly noticed? Why should I even have to ask you these questions?

How can the public participate in meetings that they do not know about, especially at 2 PM on a weekday? Please provide me with information about the design committee and how I can get my opposition letters and papers to them. Or better yet, allow the meeting to take place at the time it should normally take place so that we actually have time to do our own planning and preparation. Haven't we been disadvantaged enough?

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Leslie McCollum

I can be reached at

Sent from my iPhone

Tyler Foltz

From: Cy Nuzum
Sent: Wednesday, June 24, 2015 12:23 PM
To: Tyler Foltz
Subject: 951 Seacoast project

Dear mr Foltz,

It has come to my attention that the above referenced project is experiencing some resistance from certain sectors of the community. I am a member of the Board of Directors of Riviera Beach and Bay Villas HOA, an Imperial Beach community. We recently succeeded in a beautiful renovation of our property but not without some resistance from local people who evidently had no concern for the appearance or property values of their neighbors. Since our successful renovation, two major communities on our block have followed suit...

Members of the community of Imperial Beach care about the upkeep and appropriate progress of our city. The project proposed at 951 Seacoast (and the ridding of the current structure there) is certainly another step in the right direction. People all over the county are talking about "the new Imperial Beach" I hope they won't be disappointed...

Cy Nuzum, Secretary RBBV

13th st

Imperial Beach

Sent from my iPhone

Tyler Foltz

From: Leslie McCollum < >
Sent: Thursday, June 25, 2015 9:18 PM
To: Tyler Foltz
Cc: Rick Emilson; Jen Gerner; Michele And Lynn Patterson; Linde Matthews; Serge Dedina
Subject: Design Review Bd. IB 06-25-15.pdf - June 30th Design Review Board Mtg.
Attachments: Design Review Bd. IB 06-25-15.pdf; ATT00001.txt

Tyler. Per your last email to me, I am attaching my two page letter for submission to the Design Review Board meeting on June 30, which I cannot attend. Again, scheduling a meeting on a weekday early afternoon, is certainly not an invitation to public participation, is it? I guess that is the whole idea.

I am truly disgusted by this entire process, and it really "stinks" more so now that I have learned that this process began in April 2014 and we did not receive one single notice! This matter was heard twice by the design review board and another two times by City Council. Still we received nothing.

The horse is already out of the barn as they say, and we will have no choice but to watch this applicant destroy our neighborhood and ruin the character of the heart of Imperial Beach. "Classic southern California"? Really? No parking for the businesses, a quasi lighthouse protruding into the alley above standard height limits, and dangerous lack of setback from the alley. Could this project be more out of place or poorly planned? Seriously?

Shame on the city for the total lack of oversight in applicant notification of residents and owners and the lack of compliance with its own codes. The duty was yours and you failed. Is this a regular practice of the city, to outsource legal notifications to the applicants? This is stunning.

You can never make this right but rest assured that the city's bad "rep" remains intact. There is plenty of bad faith to go around, on the part of the applicant and the city. How is it that the applicant's wife marched over to our building, confronted, and accosted my husband just minutes after I informed the city that we had received no notice? Gee, what a lovely neighbor she will be. I would like to point out that neither my husband nor I have ever met the applicant or his wife. Either she was well aware that the people in my building had not been noticed or she was told who to target. Yet one more disturbing aspect of this fiasco.

Residents of IB need to know how little say they really have in their local government, and that even when they are afforded a say, there is an excellent chance that the City Council or City Manager, or whoever they write too, will ignore them. And when they actually are given an opportunity to speak, they better hurry up and do it in three minutes or less or the condescension and the "cut off" will start.

When notices are required regarding pending projects, they may or may not come because the city is not minding the store. And when the notices don't come, the city merely says "oops" and makes sure the opposition goes away. 14 months since the original request for permits was made, but we only received 10 days notice last week, sink or swim. We deserve more time, plain and simple.

Please acknowledge your receipt of this letter. Thank you.

Leslie McCollum

Leslie McCollum
Seacoast Dr.
San Diego, CA 91932

June 25, 2015

City of Imperial Beach
Design Review Board

Re: 951 Seacoast – Kegel Project MF1149
Meeting June 30, 2015 @ 2 p.m.

To the Design Review Board Members:

I am submitting this letter to you in opposition to the current project as designed. I am one of many members of the community who did not receive the required notice as to this project, going back to the initial permit requests from April of last year! We have been left out of the process completely. The Applicant did not once reach out to any of his "neighbors" about his project that will negatively impact so many of us. While allowing the Applicant to handle the noticing of his own project is a huge concern, I realize that the design committee needs to address only the design issues.

I am working on June 30th, as are other concerned residents who would have liked to attend this meeting. It would have been fair to schedule the hearing on your regular schedule in July rather than schedule it on June 30th, with only 10 days' notice, leaving us no time to prepare or arrange to appear.

I ask that you please try to review these concerns with an open mind, as we have been disadvantaged greatly already.

The motto of Imperial Beach is: *"To maintain and enhance Imperial Beach as "Classic Southern California"; a beach-oriented community with a safe, small town, family atmosphere, rich in natural and cultural resources."* The city logo includes the pier, a woody with a surfboard and a palm tree as you all know. If the rampant growth continues as it has been, the only residents of Imperial Beach who will even know they live in a beach town, will be the ones in the ever growing number of high rises along Seacoast – they will be the only ones who can see, hear and smell the ocean, let alone visit or park there!

1. **The design is massive and over ambitious.** It does not fit in with the city's mission statement or the surrounding area. It is better suited to New England. A lighthouse theme? How does that fit in with Southern California or I.B.? This project will totally overwhelm and overshadow the true heart of imperial Beach: Surfhenge, the pier, Pier Plaza and the lifeguard tower. Once it is built, we will all be stuck with it and the problems it will cause.
2. **Safety issues and alley set back.** This is not just any alley. It is the busiest alley in town, on the edge of the busiest place in town. There is no setback from the alley for the project. This is incredibly shortsighted and dangerous. I have seen countless "close calls" at the alley, which is already a blind alley. There is a constant flow of cars, skateboards, bicyclists, and pedestrians. It is an accident waiting to happen. Without setbacks from the alley, it will be even more dangerous than it already is. The City should put on the brakes long enough to look at this issue.

Design Review Board

Page 2

June 26, 2015

Also, another valid concern is lack of access for emergency vehicles into the alley. Has anyone even asked the fire department if they can access the alley if there is no set back? I really don't want my home to burn to the ground because the Applicant wants a bigger condo, including a protrusion into the alley.

3. Waiver of rules re high limits and protrusion of the "lighthouse" structure into the alley. What valid reason is there for breaking the rules for this Applicant? Why can he exceed height limits and encroach further on the alley and his "neighbors"?
4. The building should only be 2 stories because the ground floor businesses have not been properly planned at all. How is it good planning to put in ground floor businesses with not one single parking space allotted for the business employees or customers? That is ridiculous and poor planning. How was this ever approved? There is already no parking at the beach for those of us who live there and other members of the community who come to the beach, who complain about having to park many blocks away. The parking problem will not solve itself. Each year it gets worse. Why should this project add to an existing problem?

If Imperial Beach wants gridlock, no parking, a "high rise" community with no character –great care needs to be taken to prevent what is already happening. Seacoast is being chipped away. Let's keep in mind that growth for the sake of growth is the ideology of the cancer cell – not rational people. It is disheartening and disturbing. I had hoped that I.B. was different and have made it my home for 12 years. Maybe I'm wrong. Do we want to be P.B.?

Another high rise half a block away from the proposed project, at Evergreen and Seacoast, has already been approved. Where will it end? How many high rises with no adequate parking will go in before it is realized that huge mistakes were made and our small town is gone? You are entrusted with planning our futures. Please reconsider this project, suggest that it be scaled down, and ensure that the alley is safe by recommending safe setbacks. Picture how the heart of our town will look with that monstrosity.

The loss of property values and views to numerous homeowners is at stake and is a devastating loss for dozens of homeowners and residents. All so that one Applicant can overshadow the heart of town with a massive out of place project. Please remember that the project location was once a single family dwelling. Of course the Applicant has a right to build on his property, but do others have to lose views and property values as a result of it, and are safety issues of no importance? There are solutions that will not cause the entire community to suffer for the gain of one Applicant with an overly ambitious project.

Thank you for your consideration.

Sincerely,

Leslie McCollum
Seacoast, Imp. Beach, CA 91932

Tyler Foltz

From: Michele Patterson < >
Sent: Sunday, June 28, 2015 4:51 PM
To: Tyler Foltz
Subject: Design Review Board Meeting June 30, 2015
Attachments: Letter to the Design Board.docx

Dear Mr. Foltz,

Thank you for your courtesy notification of the Design Review Board Meeting on June 30, 2015. Unfortunately, I will be unable to attend.

Attached is a letter to the Design Review Board stating my concerns about the project at 951 Seacoast. I would appreciate your assistance in getting the letter to them.

Thank you,
Michele Patterson
Elder Avenue, Unit
Imperial Beach

Michele Patterson
Elder Avenue, Unit
Imperial Beach CA 91932
June 28, 2015

City of Imperial Beach
Design Review Board

Re: 951 Seacoast – Kegel Project MF1149
Meeting June 30, 2015 @ 2 p.m.

Dear Design Review Board Members:

Along with my husband, I own and reside in the condo located at Elder Avenue, Unit . Although our address is on Elder, the alley between Elder and Evergreen is our front yard. As Unit has a long balcony overlooking the alley, we enjoy a view of the alley itself, the neighboring buildings on Elder and Evergreen, as well a distant view of the pier. When we go for our morning exercise, we walk down the alley to get to Seacoast. When we drive somewhere, we drive down the alley. Indeed, all the parking for our building is accessed via the alley.

I have read through Item 4.1 of the City Council Agenda dated June 3, 2015 in which the approval for the above-referenced project is given. While attention has been given to setbacks and stepbacks along Elder Avenue to "protect street-end views towards the ocean", I can see no evidence that any consideration has been given to any setbacks or stepbacks to protect the views on the alley. Indeed, no consideration at all has been given to the building's impact on those of us who *live on the alley*. My concerns are not only with the loss of property value we will doubtless suffer when our view is obscured by the mammoth lighthouse structure jutting into the alley from 951 Seacoast, but also with the potential safety issues arising from the narrow access into the alley from Seacoast, and the probable inconveniences that will arise from insufficient parking provided for the commercial establishments on the ground floor.

Item 9 (Design Review/Site Plan Review IBMC 19.81.060) of the Resolution states:

"The project would not have a detrimental effect on the general health, welfare, safety and convenience of persons residing or working in the neighborhood because it is consistent with the development standards

and zoning designations. The development would not be injurious to the value of the property and improvements in the neighborhood because the project represents an improvement of the existing conditions and the project could improve property values and stimulate growth in the area."

My response to Item 9 is that "improvement of the existing conditions" is in the eye of the beholder. The house as it now exists in an eyesore, true. But replacing one eyesore with another is not the answer. And the notion that the "project could improve property values" is vague and unsubstantiated. I would argue that the only improvement in property values will be to the property located at 951 Seacoast. Furthermore, this project is not actually "consistent" with the standards and designations. Waivers have been made to the standards that seem to me to be at odds with the intent of the standards. That the building will occupy every square inch of the private property – with a little overhang above the alley for "aesthetics" – brings to mind the line from Joni Mitchell's "Big Yellow Taxi": *They paved Paradise and put up a parking lot*. Sticking trees into the sidewalk and landscaping a rooftop forty feet above eyelevel may comply with development standards and zoning designations but the building will still be an enormous metal and glass eyesore.

I am not against construction at 951 Seacoast. My own preference would be for a two-story building more in style with the surrounding homes and apartments, and certainly one that didn't threaten the safety, property values, and peaceable living conditions of those of us who reside on the alley.

I will not be able to attend the meeting on June 30, 2015. Please accept this letter in lieu of my appearance.

Sincerely,

Michele Patterson



**STAFF REPORT
CITY OF IMPERIAL BEACH**

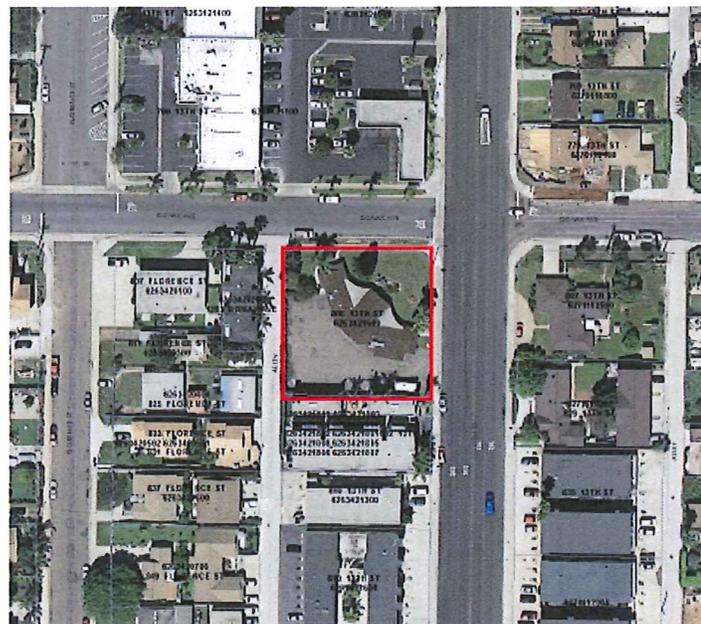
TO: DESIGN REVIEW BOARD
FROM: TYLER FOLTZ, SENIOR PLANNER *TF*
MEETING DATE: JUNE 30, 2015
ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT
SUBJECT: REPORT: ERIC WILSON (APPLICANT); CONSIDERATION OF DESIGN REVIEW CASE (DRC 150008) FOR THE DEMOLITION OF ONE EXISTING BUILDING AND CONSTRUCTION OF EIGHT NEW RESIDENTIAL CONDOMINIUM UNITS AT 808 13TH STREET (APN 626-342-15-00). MF 1178.

EXECUTIVE SUMMARY:

The property owner of a site located at 808 13th Street has initiated the process to demolish an existing building and construct eight new residential condominium units. Staff is recommending that the Design Review Board evaluate the proposed project's design.

BACKGROUND:

The application, originally submitted to the City on February 5, 2015, proposes an Administrative Coastal Permit (ACP 150007), Design Review Case (DRC 150008), Site Plan Review (SPR 150009), and Tentative Map (TPM 150010), and Categorical Exemption pursuant to CEQA Guidelines 15332 (In-fill Development) for the demolition of one existing building and construction of eight new residential condominium units at 808 13th Street (APN 626-342-15-00), which is located in the R-2000 (Medium-Density Residential) Zone. The project is subject to design review by the Design Review Board because it will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC) 19.83.020).





ANALYSIS:

The project site includes one parcel measuring 18,900 square feet fronting 13th Street and Donax Avenue at the southwest corner of 13th Street and Donax Avenue in the R-2000 Zone. The property to the north of the site is commercial and the properties to the east, south, and west are comprised of residential uses. The overall design should contribute positively to the corridor that transitions from commercial uses to the north into residential zones to the south. The applicant's design provides varied rooflines, building projections, and varied building materials such as wood fascia and trim, stucco, and siding. However, staff would recommend the project provide additional visual interest on the street facing facades or entryways and should also set the fence back along Donax Avenue to allow for landscaping between the fence and sidewalk. Lighting should also be used in a creative manner to increase the aesthetics of the landscaping and buildings.

The proposed building orientation provides pedestrian access off of 13th Street and Donax Avenue. Trees, shrubs, and ground covering would be provided on the north and east street-fronting property lines to provide screening and a buffer between the public sidewalk and the buildings. Vehicular ingress and egress occurs through a drive aisle located off of the alley on the west portion of the project site. Each unit would be provided with a two-car garage to meet the parking requirements, and the drive aisle accessing the garages would be comprised of permeable interlocking pavers. In addition, a refuse enclosure would be attached to the northwest building and is would be accessed off the alley.

General Plan Consistency:

R-2000 (Medium-Density Residential) Zone: The purpose of the R-2000 Zone is to provide for the development of detached and attached single family and multi-family dwellings in a moderately intense residential living environment in typically one and two story dwelling units. Typical of this zone are detached and attached single family dwellings, duplexes, apartments, condominiums and townhomes (IBMC Section 19.16.010). The project proposes two duplexes and four detached units for a total of eight residential units. The residential project meets the purpose and intent of the R-2000 land use designation.

R-2000 STANDARDS	PROVIDED/PROPOSED
The maximum allowable density in the R-2000 zone shall be one dwelling unit for each two thousand square feet of lot area, not to exceed a maximum density of twenty-one dwelling units per net acre except as provided for in Section 19.11.095 (Section 19.16.190).	The property measures approximately 18,900 square feet and proposes eight units at a density of one unit for each 2,362 square feet of lot area.
<p>Yard requirements for the R-2000 zone are as follows (Section 19.16.030):</p> <p>A. Front Yard. There shall be a minimum front yard of fifteen feet, provided that the front of a garage shall be setback a minimum of twenty feet.</p> <p>B. Side Yard. There shall be a minimum side yard on each side of five feet.</p> <p>C. Rear Yard. There shall be a minimum rear yard of five feet if on an alley and ten feet if no alley.</p> <p>D. Street Side Yard. There shall be a minimum street side yard of ten feet.</p> <p>E. Additional yard requirements in relation to single family homes. In considering site plan review or design review for projects adjacent to a single family house, consideration shall be given to increased yard set-backs for upper floors in order to preserve the values of the single family home.</p>	<p>A. The front yard for the project is located off of 13th Street and maintains a fifteen foot setback.</p> <p>B. The project maintains a five foot side yard setback.</p> <p>C. The project maintains a five foot rear yard setback off the alley. The refuse enclosure may locate within the rear yard setback as allowed by IBMC 19.54.020.</p> <p>D. The project maintains a minimum street side yard of ten feet from Donax Avenue.</p> <p>E. The majority of surrounding properties are comprised of commercial or multiple-family structures. However, one single-family residence is located to the west, though no impacts are anticipated since the alley provides a 20-foot buffer between the properties and an open parking space for the single-family residence is located off the alley providing an additional buffer between the project and single-family residence.</p>
Minimum lot size of 6,000 square-feet (Section 19.16.040).	The parcel measures 18,900 square feet.
Minimum street frontage of 50 feet (Section 19.16.050).	The 13 th Street frontage is approximately 135 feet and the Donax Avenue frontage is approximately 140 feet.
No principal building or structure shall exceed two stories or twenty-six feet in height, whichever is less. No accessory building or structure shall exceed	The project proposes a maximum building height of 26 feet for each principal building. No accessory

<p>fifteen feet in height (Section 19.16.060).</p>	<p>buildings are proposed and the refuse enclosure would measure approximately six feet in height.</p>
<p>No buildings shall be located less than ten feet from any other building on the same lot (Section 19.16.070).</p>	<p>All buildings provide a minimum 10 foot separation.</p>
<p>At least one distinct ground level, street facing pedestrian entryway shall be provided to a residential dwelling unit for each fifty feet of linear street frontage and a minimum of twenty percent of the first floor of that portion of a residential structure facing a front or side street shall consist of clear glass windows allowing visibility into the dwelling unit (Section 19.16.120).</p>	<p>Pedestrian entryways are provided off of 13th Street and Donax Avenue, but it is staff's opinion that the project should provide additional visual interest on the street facing facades or entryways.</p>
<p>The maximum floor area ratio shall be 75% in the R-2000 Zone (Section 19.16.125).</p>	<p>The four single-family residences provide 1,734 square feet of habitable space per unit and each duplex unit provides 1,690 square feet of habitable space per unit for a total of 13,696 square feet of habitable space. 13,696 square feet of habitable space for the 18,900 square foot property would provide a floor area ratio of 72.5%.</p>
<p>The maximum lot coverage shall be 50% in the R-2000 Zone (Section 19.16.125).</p>	<p>The buildings cover approximately 8,336 square feet of the 18,900 square foot parcel for a lot coverage of approximately 44%.</p>
<p>Residential landscape requirements are as follows (Section 19.50.040):</p> <p>A. Not less than fifty percent of the required front yard and street side yard setbacks shall be landscaped and permanently maintained. The remainder of the required yard may be used for driveways and walkways.</p> <p>B. Landscaping shall be provided within the parking area or immediately abutting it.</p> <p>C. There shall be a minimum four-foot landscaped area between the structure and any parking located in front of the structure.</p> <p>D. There shall be a minimum three-foot-wide landscaped area between the parking area and each side lot line when parking is located between the structure and the street.</p>	<p>A. Approximately 90% of the front yard is landscaped and the remaining areas are used for walkways.</p> <p>B. The parking area is accessed from a common driveway located off the alley. Landscaping and walkways are proposed for areas outside of the drive aisle.</p> <p>C. Parking is located within garages and not in front of the structures.</p> <p>D. Parking areas are not located between the structure and the street.</p>

The R-2000 Zone requires two parking spaces per dwelling unit, fifty percent enclosed (Section 19.48.030).	The project proposes two parking spaces per dwelling unit, one hundred percent enclosed (one two-car garage per unit).
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Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-1 (General Comm. & Mixed-Use)	Commercial
South	R-2000 (Medium-Density Residential)	Residential
East	R-3000 (Two-Family Residential)	Residential
West	R-2000 (Medium Density Residential)	Residential

ENVIRONMENTAL IMPACT:

The project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$11,000.00 to fund processing of the application.

DEPARTMENT RECOMMENDATION:

1. Receive report;
2. Consider public comment and the design of the project; and
3. Recommend design revisions and continue the project to a future Design Review Board meeting; or
4. Recommend approval of the project to the City Council with recommendations provided by the Design Review Board.

Attachments:

1. Renderings
2. Colored Elevations
3. Plans

c: file MF 1178





Donax AVE 1200







Building 1, East



Building 1, North



Building 1, South



Building 1, West



Buildings 2 & 3, East



Buildings 2 & 3, North



Buildings 2 & 3, South



Buildings 2 & 3, West



Building 4, East



Building 4, North



Buildings 4, South



Building 4, West



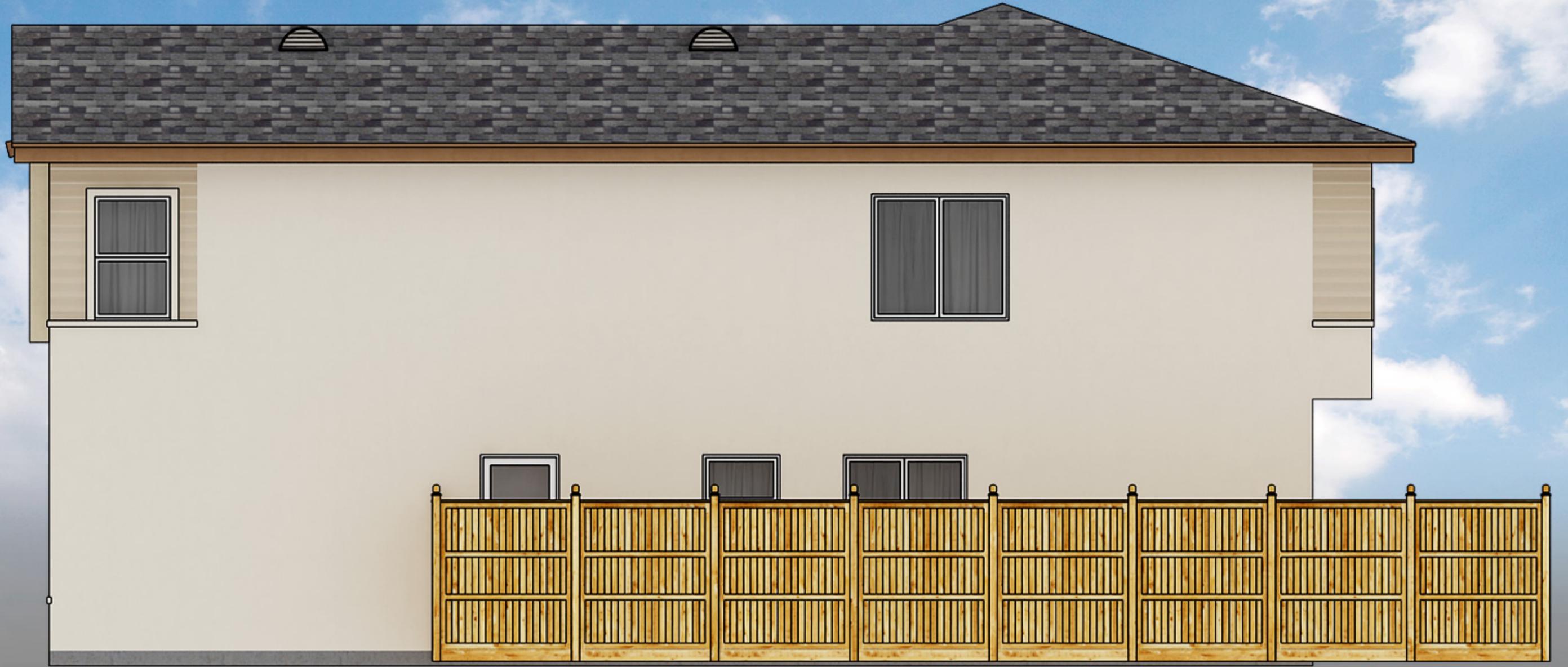
Buildings 5 &6, East



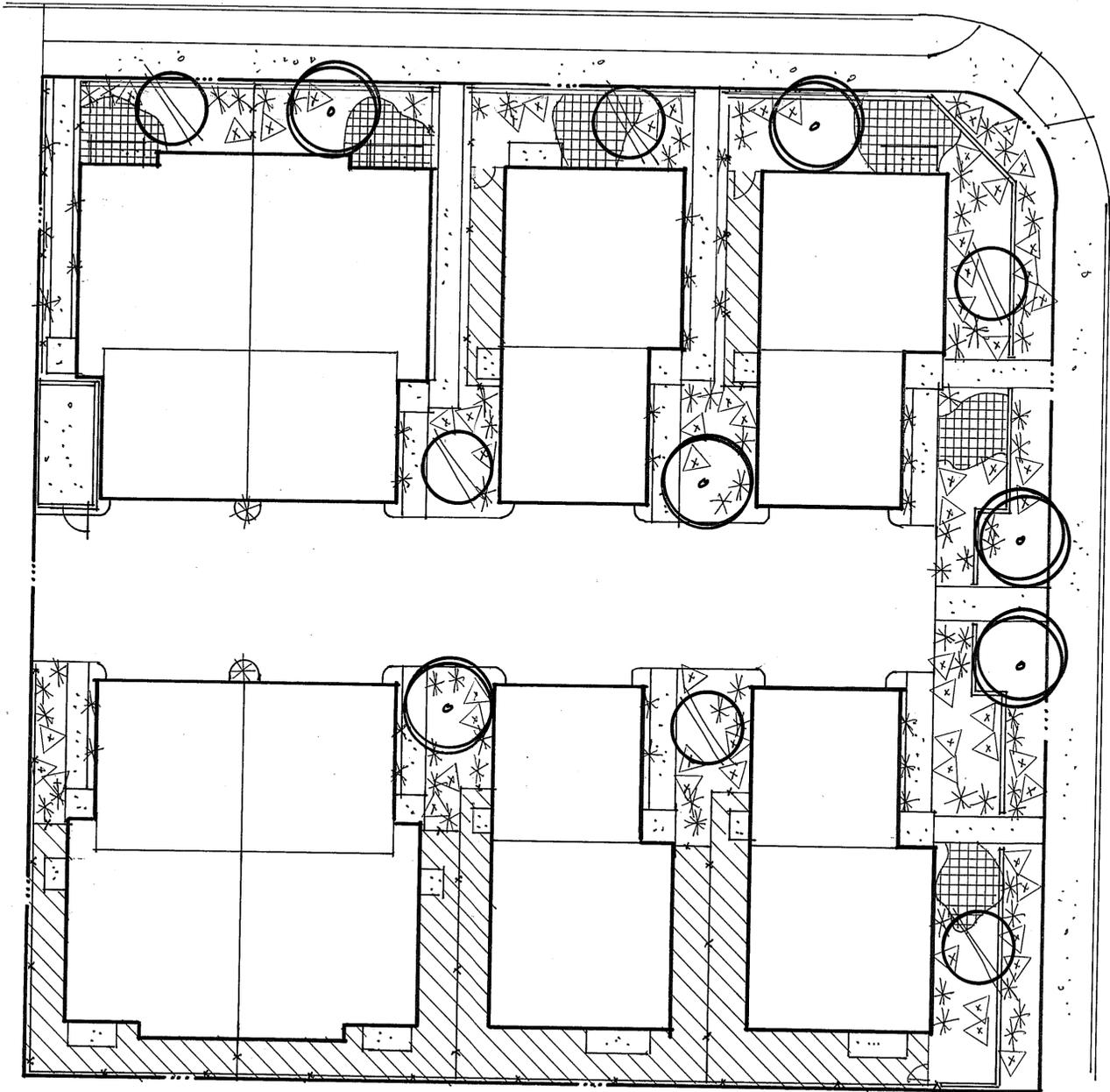
Buildings 5 &6, North



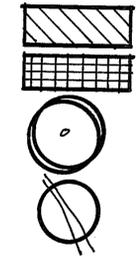
Buildings 5 &6, South



Buildings 5 &6, West elevation



DONAX AVE.



MULCH GROUND COVER
 FLAGSTONE GROUND COVER

PYRUS CALLERYANA (BRADFORD PEAR)
 15 GAL. (6)

PRUNUS CERASIFERA (PURPLE LEAF PLUM)
 15 GAL. (6)

IN MULCH GROUND COVER:
 * PITTOSPORUM TOBIRA (WHEELER'S DWARF)
 1 GAL. (102)
 x HEMEROCALLIS (DAY LILY)
 1 GAL. (60)

13 TH STREET

LANDSCAPE PLAN

ROBIN J. FRANKLIN, BUILDING DESIGNER, HAS NOT BEEN RETAINED FOR ON-SITE SUPERVISION AND THEREFORE HAS NO CONTROL OVER THE WORKMANSHIP AND ACTUAL MATERIALS USED ON THIS PROJECT AND ASSUMES NO RESPONSIBILITY FOR DEFECTIVE WORKMANSHIP OR MATERIALS.

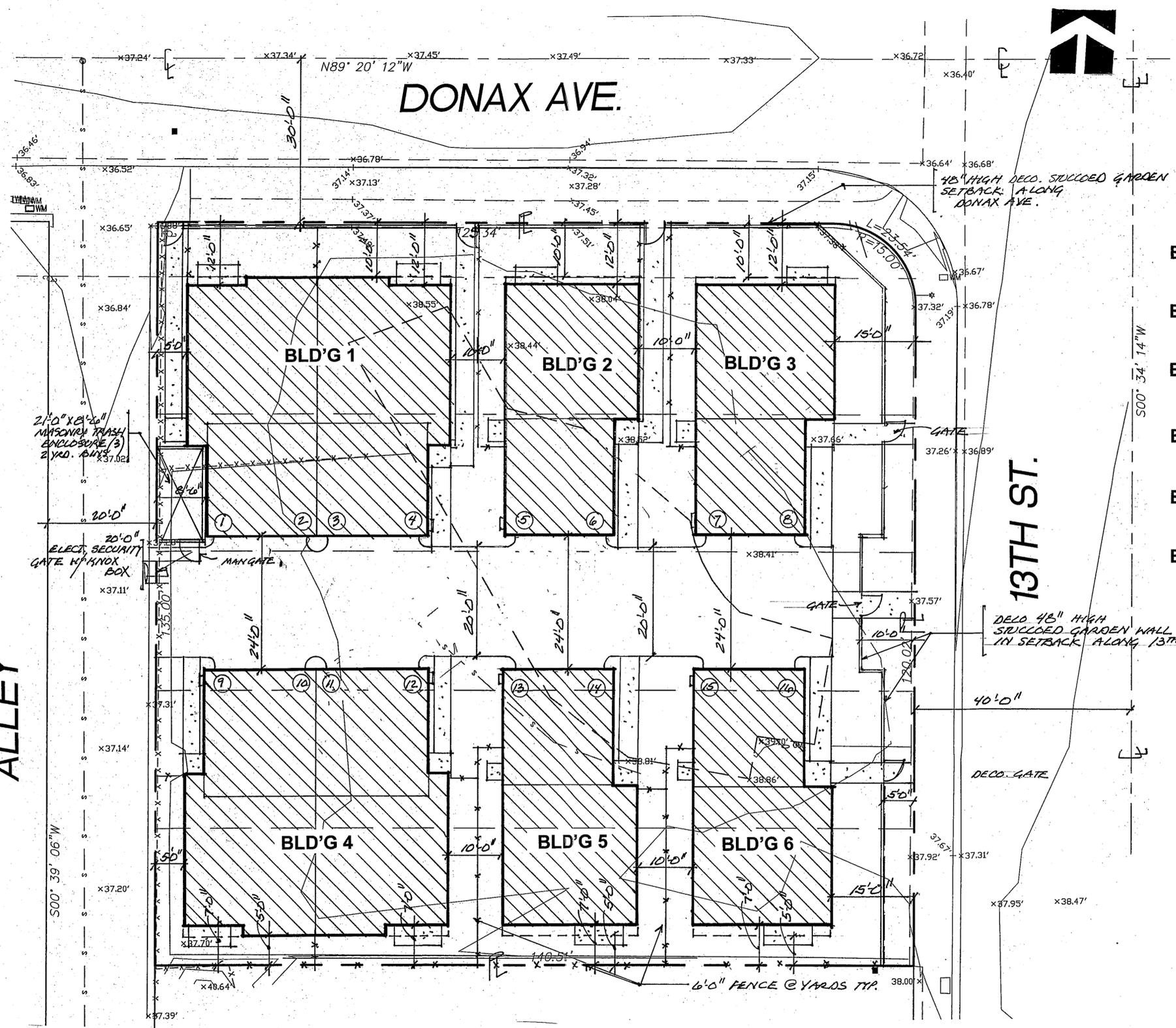
Robin J. Franklin
 Professional Building Designer
 6151 FAIRMOUNT AVE. SUITE 205
 SAN DIEGO, CA. 92120
 (619) 824-0769

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 ENGINEERING • DESIGN • CONSTRUCTION
 NABIL KACHH P.E.
 TEL: (619) 442-5233
 1005 SANGRE DE TORO BLVD. • EL CAJON, CA 92020

DONAX GARDEN CORNER, LLC
 PROJECT SITE:
 808 13TH STREET, IMPERIAL BEACH, CA.

REVISIONS	BY

	DRAWN
	CHECKED
	DATE
	SCALE
	JOB NO.
	SHEET
	OF SHEETS



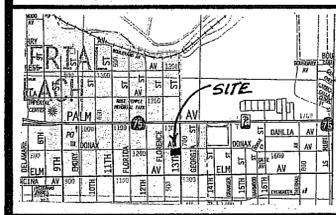
- BUILDING 1:**
- 2 STORY DUPLEX WITH 2 2-CAR GARAGES, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.
- BUILDING 2:**
- 2 STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.
- BUILDING 3:**
- 2 STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.
- BUILDING 4:**
- 2 STORY DUPLEX WITH 2 2-CAR GARAGES, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.
- BUILDING 5:**
- 2 STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.
- BUILDING 6:**
- 2 STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE, TYPE VB CONSTRUCTION, R-3 AND U OCCUPANCIES, FULLY SPRINKLERED.

PLOT PLAN

LEGAL DESCRIPTION

Parcel # (APN): 626-342-15-00
 Parcel Status: ACTIVE

Mailing Address:
 Situs Address: 808 13TH ST IMPERIAL BEACH CA 91932-2330 C014
 Legal Description: 001022 BLK 36*LOTS 36 THRU 40*(EX ST)ST



VICINITY

REVISIONS	BY
1/23/15	R

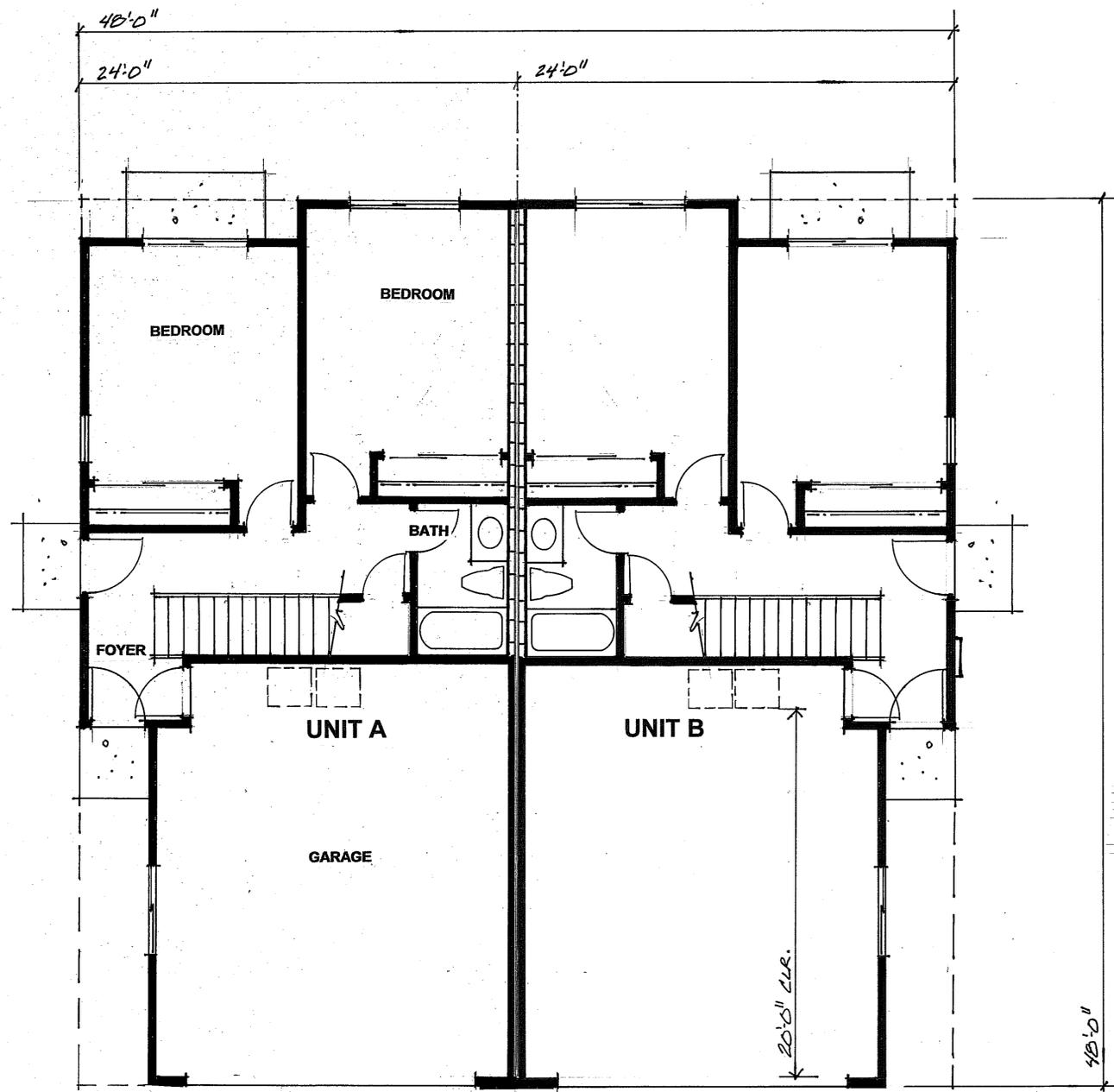
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 800 STANWING ABODE ROAD • FT. CAVAY, CA 92009

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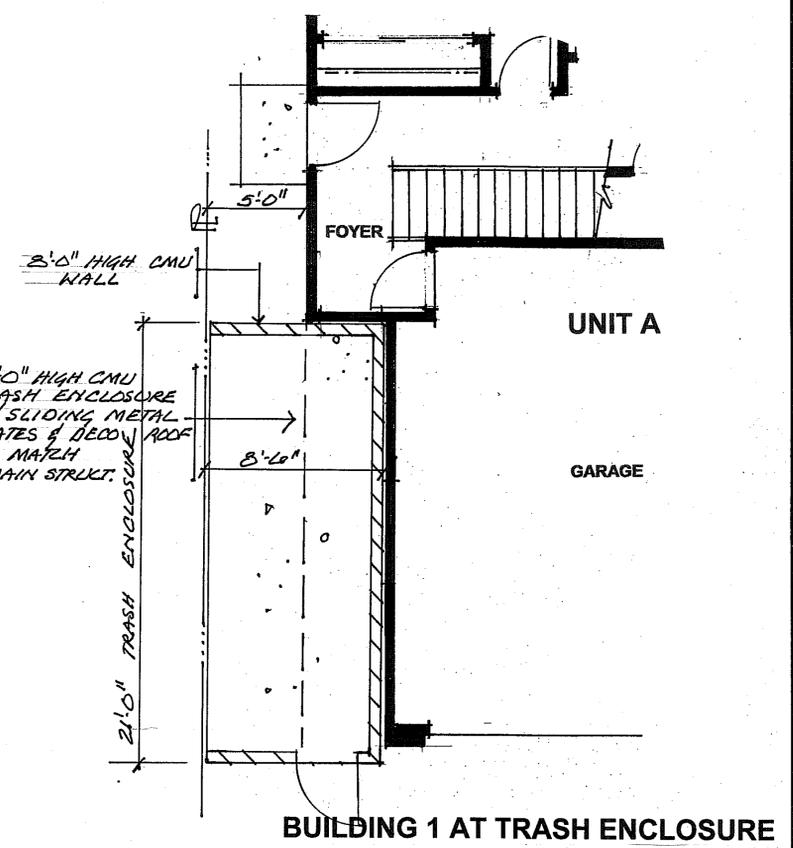
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UNIT B IS EXACT REVERSE OF UNIT A

1ST FLOOR PLAN

1/4" = 1'-0"



BUILDING 1 AT TRASH ENCLOSURE

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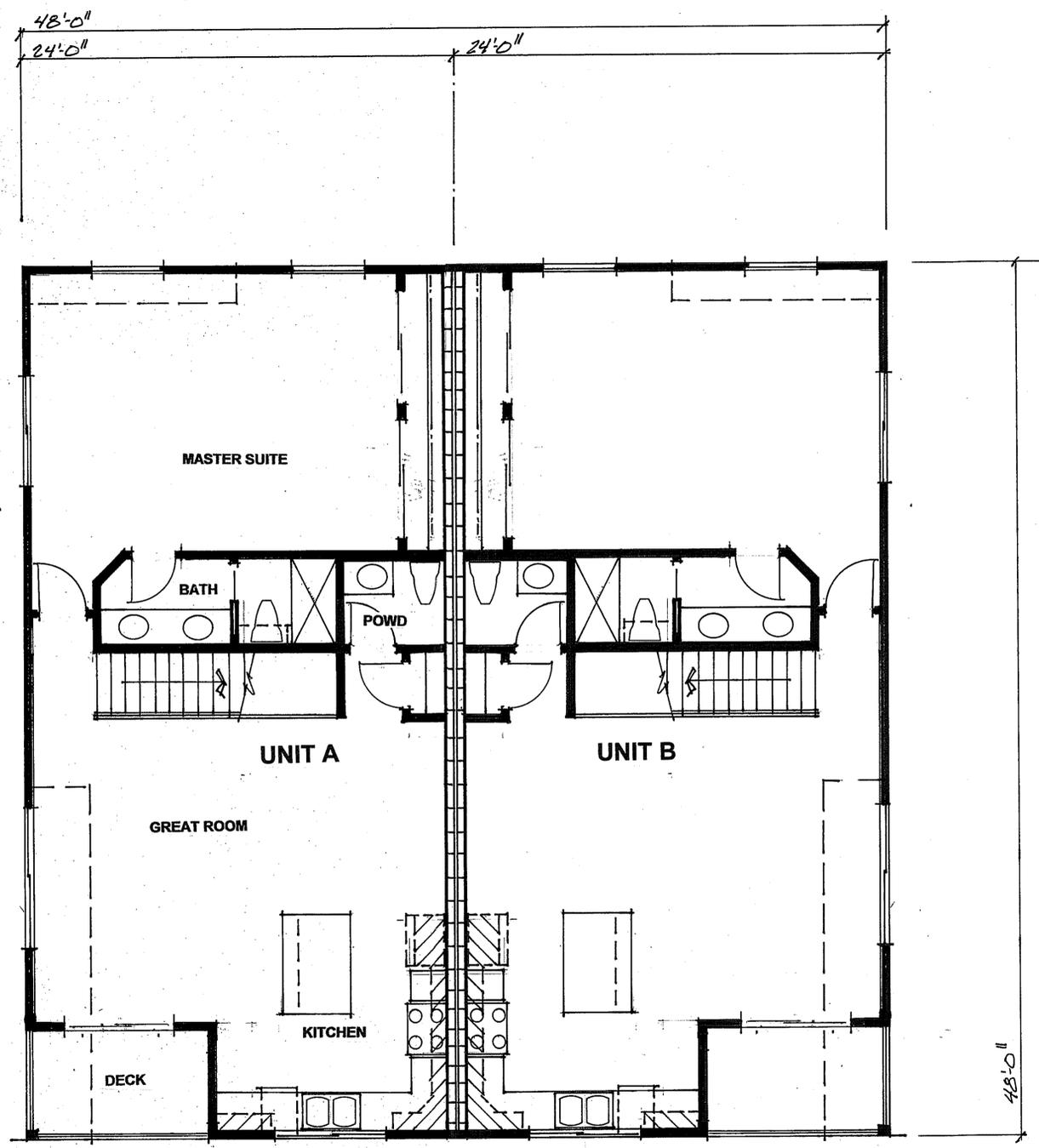
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Engineering & Design • Construction
NABIL KACHH P.E.
Tel/Fax (619) 440-6333
100 SANDRING HURST ROAD • EL CAJON, CA 92029

DONAX GARDEN CORNER, LLC
PROJECT SITE:
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OF
SHEETS

BUILDINGS 1 & 4



UNIT B IS EXACT REVERSE OF UNIT A

2ND FLOOR PLAN

1/4" = 1'-0"

BUILDINGS 1 & 4

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REVISIONS	BY

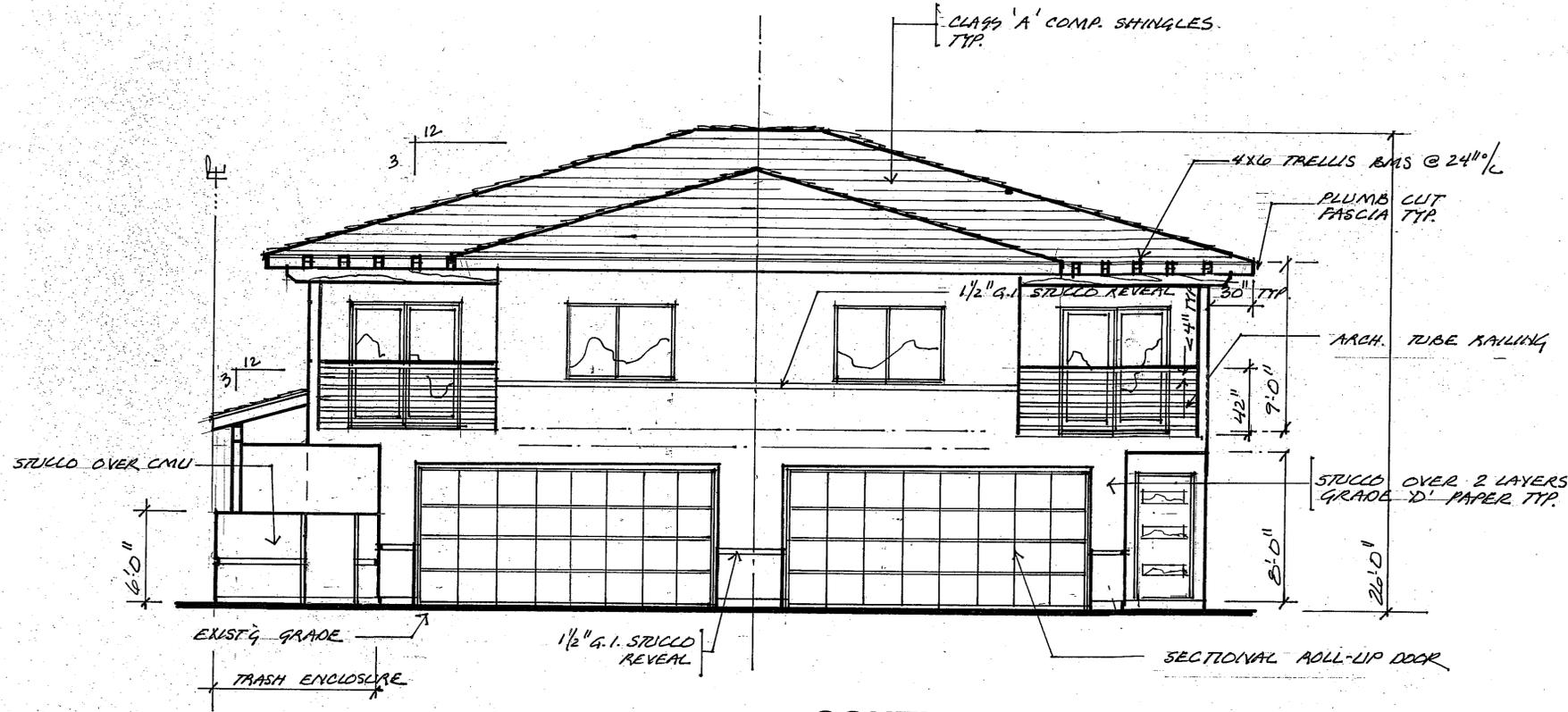
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 6151 FAIRMOUNT AVE. SUITE 205
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 (619) 524-0759

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 2810 SINGING BIRDS ROAD • EL CAJON, CA 92029

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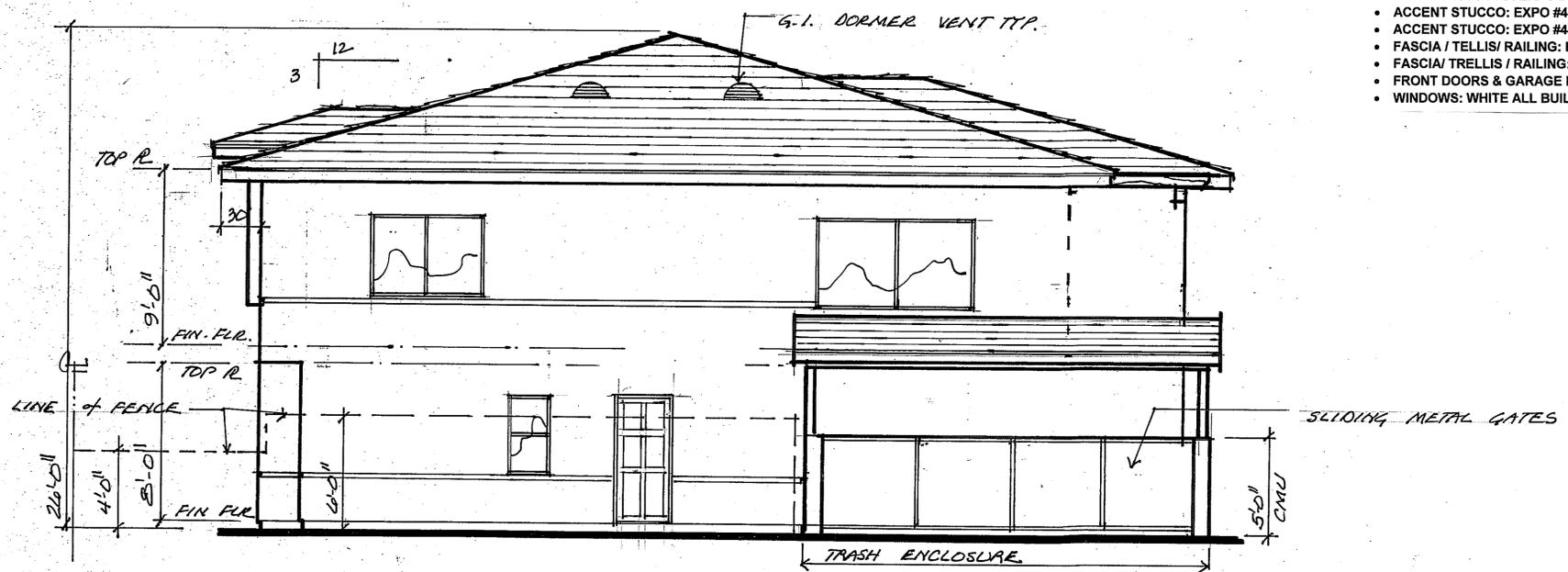
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	SCALE
	JOB NO.
	SHEET

DATEPLOT



SOUTH ELEVATION

1/4"=1'-0"



WEST ELEVATION

1/4"=1'-0"

COLORS:

- ROOFING: OWENS CORNING "QUARRY GREY"
- PRIMARY STUCCO: EXPO #52 "IVORY" ALL BLD'GS
- ACCENT STUCCO: EXPO #479 "BIRCHTONE" BLD'GS 1, 3, & 5
- ACCENT STUCCO: EXPO #442 "SAND DOLLAR" BLD'GS 2, 4, & 6
- FASCIA / TELLIS / RAILING: FRAZEE "BARREN" BLD'GS 1, 3, & 5
- FASCIA / TELLIS / RAILING: FRAZEE "BONAPARTE" BLD'GS 2, 4, & 6
- FRONT DOORS & GARAGE DOOR FRAMES: CHERRY ALL BLD'GS
- WINDOWS: WHITE ALL BUILDINGS

ROBIN J. FRANKLIN, BUILDING DESIGNER, HAS NOT BEEN RETAINED FOR ON-SITE SUPERVISION AND THEREFORE HAS NO RESPONSIBILITY FOR DEFECTIVE WORKMANSHIP OR MATERIALS USED ON THIS PROJECT AND ASSUMES NO RESPONSIBILITY FOR DEFECTIVE WORKMANSHIP OR MATERIALS.

REVISIONS	BY
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 NABIL KACHPPE
 License # 61574
 300 SANDRING DRIVE, SUITE 100 - Escondido, CA 92029

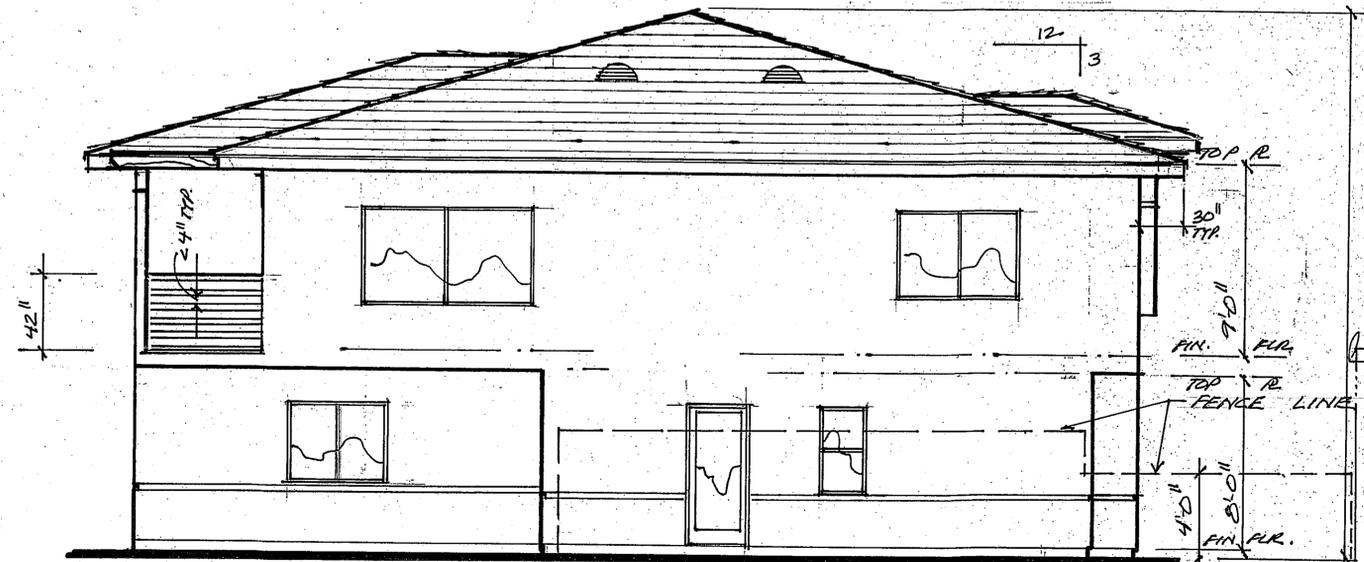
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NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

BUILDING 1

REVISIONS	BY
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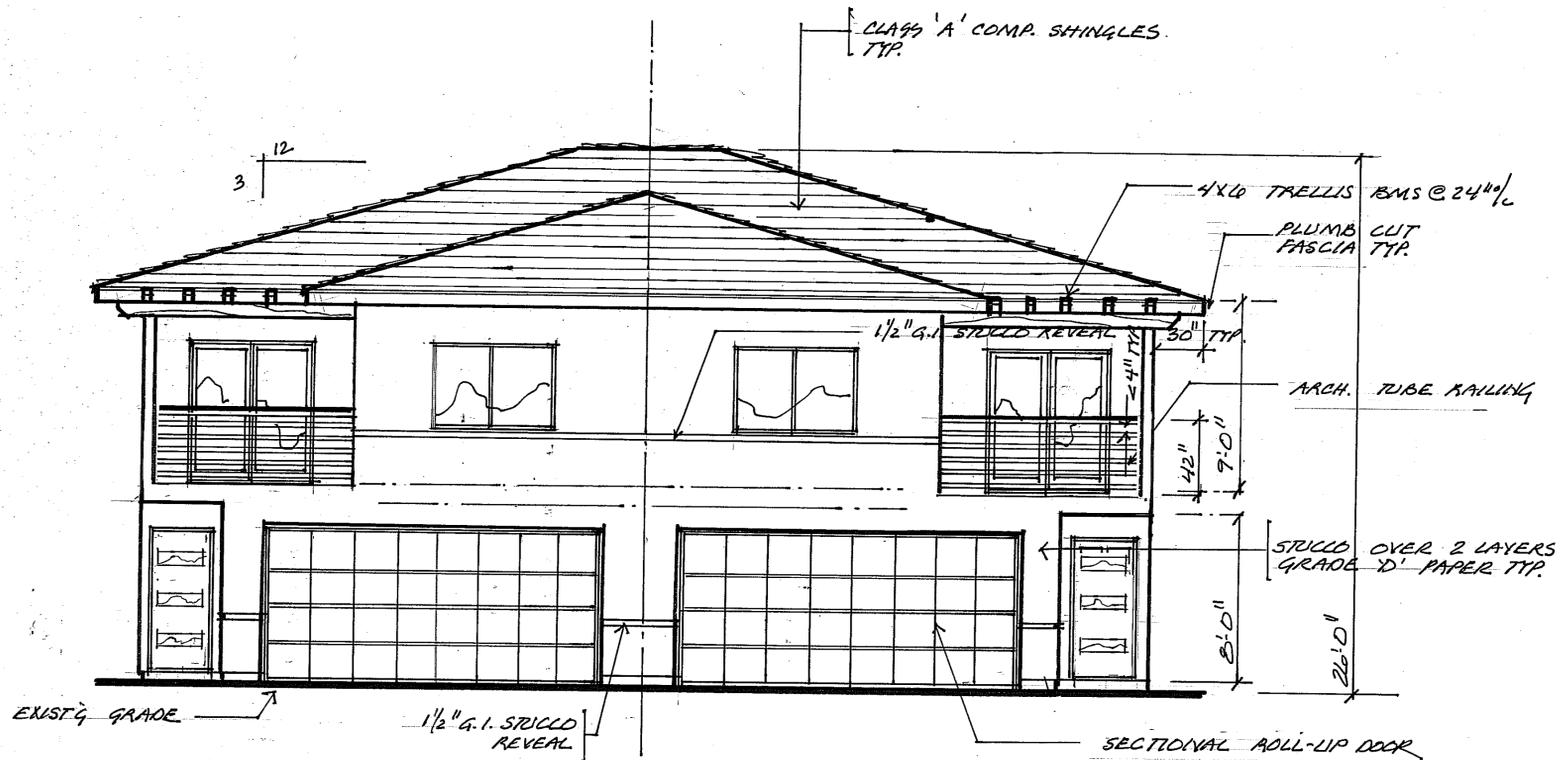
ROBIN J. FRANKLIN, BUILDING DESIGNER, HAS NOT BEEN RETAINED FOR ON-SITE SUPERVISION AND THEREFORE HAS NO CONTROL OVER QUALITY OF WORKMANSHIP OR MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEFECTIVE WORKMANSHIP OR MATERIALS.

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 100 STANING ROAD RD. • EL Cajon, CA 92020

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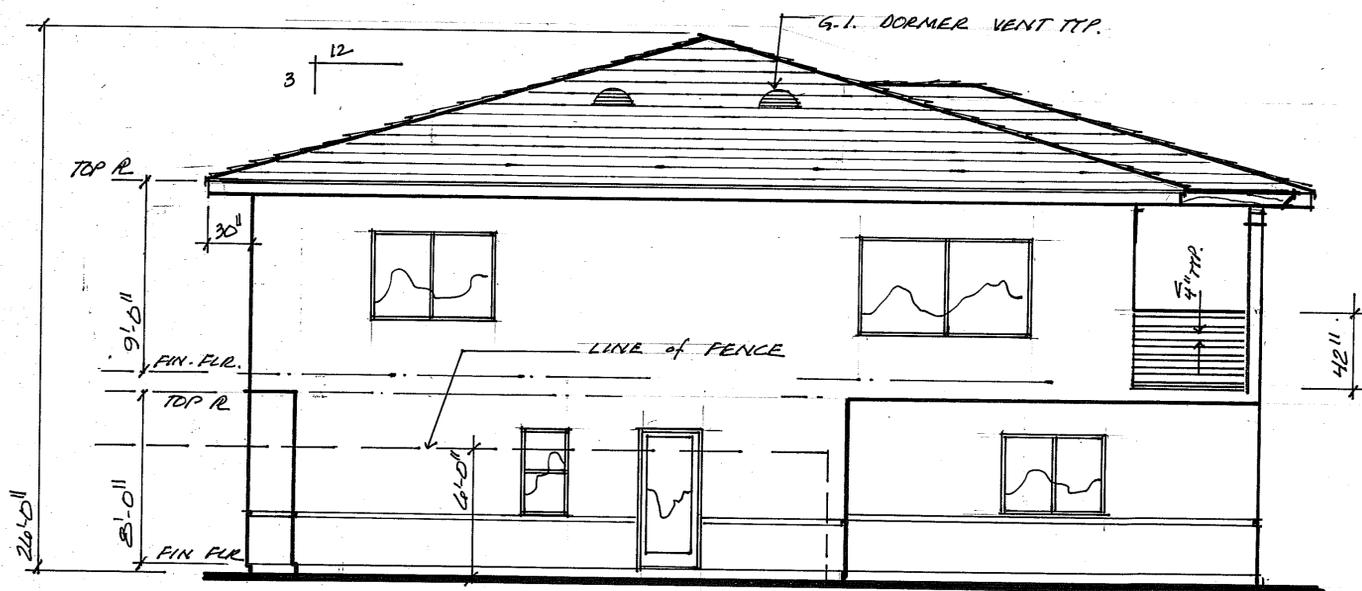
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SHEET

OF SHEETS



NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

COLORS:

- ROOFING: OWENS CORNING "QUARRY GREY"
- PRIMARY STUCCO: EXPO #52 "IVORY" ALL BLD'GS
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- FASCIA / TELLIS / RAILING: FRAZEE "BONAPARTE" BLD'GS 2, 4, & 6
- FRONT DOORS & GARAGE DOOR FRAMES: CHERRY ALL BLD'GS
- WINDOWS: WHITE ALL BUILDINGS

ROBIN J. FRANKLIN, BUILDING DESIGNER, HAS NOT BEEN RETAINED FOR ON-SITE SUPERVISION AND THEREFORE HAS NO LIABILITY OF WORKMANSHIP AND ACTUAL MATERIALS USED ON THIS PROJECT AND ASSUMES NO RESPONSIBILITY FOR DEFECTIVE WORKMANSHIP OR MATERIALS.

REVISIONS	BY
1/23/15	R



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(619) 624-0768

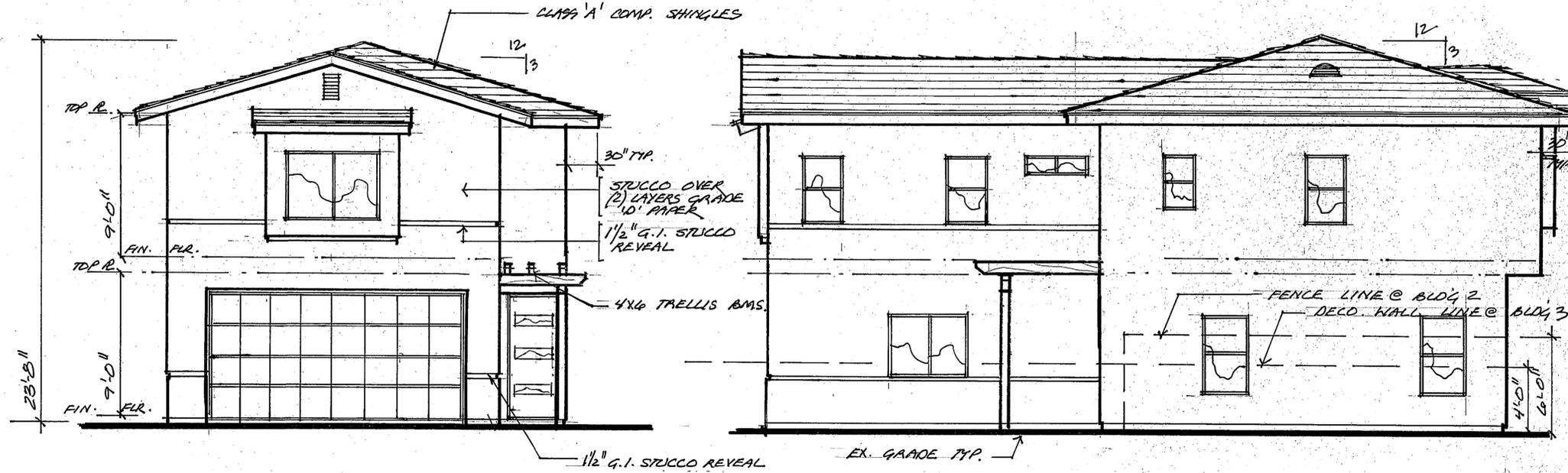
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TEL: (619) 446-6553
AND SINGING HARBOR - EL CAJON, CA 92009

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BUILDING 4



SOUTH ELEVATION

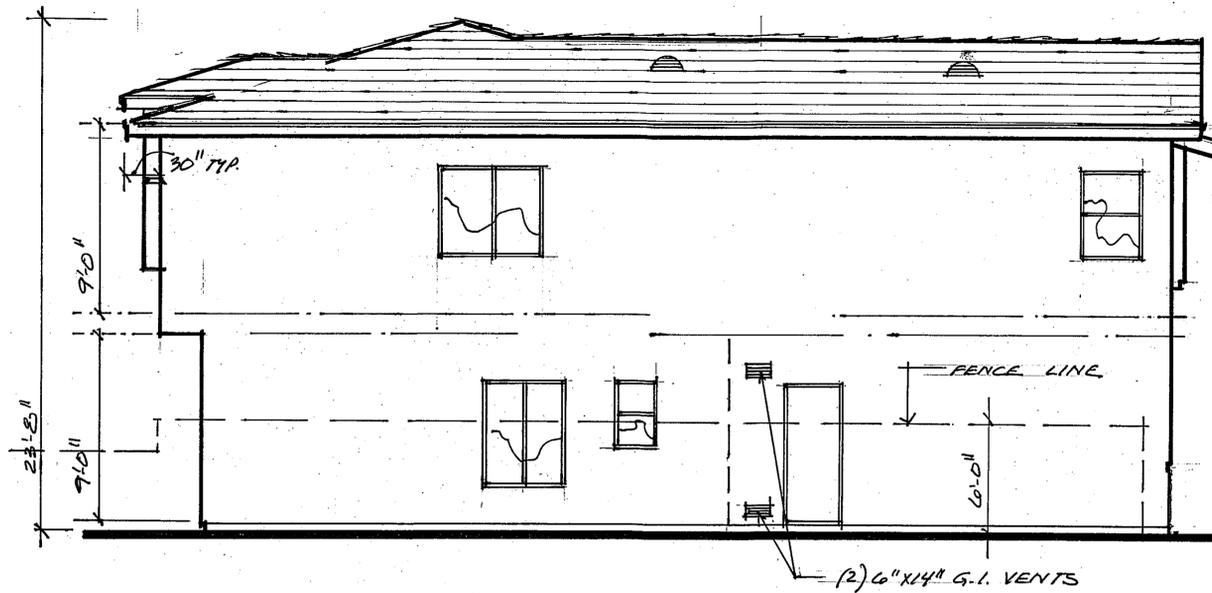
1/4" = 1'-0"

EAST ELEVATION

1/4" = 1'-0"

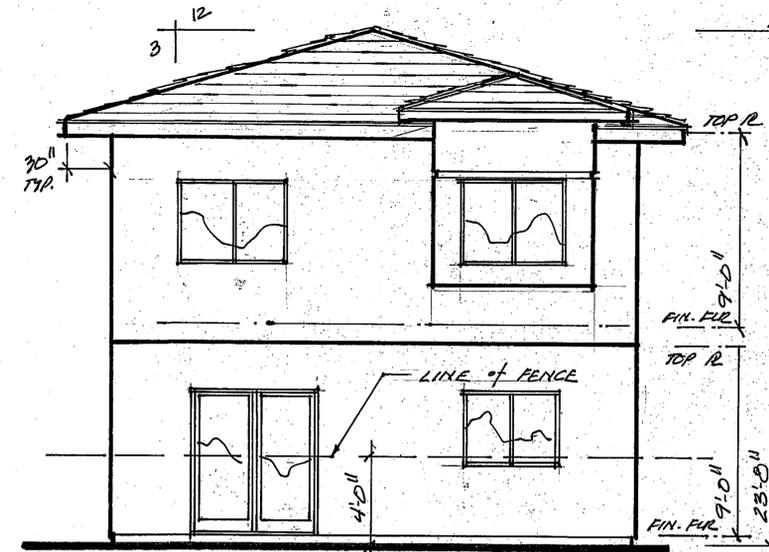
COLORS:

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- FRONT DOORS & GARAGE DOOR FRAMES: CHERRY ALL BLD'GS
- WINDOWS: WHITE ALL BUILDINGS



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

REVISIONS	BY
1/23/15	R

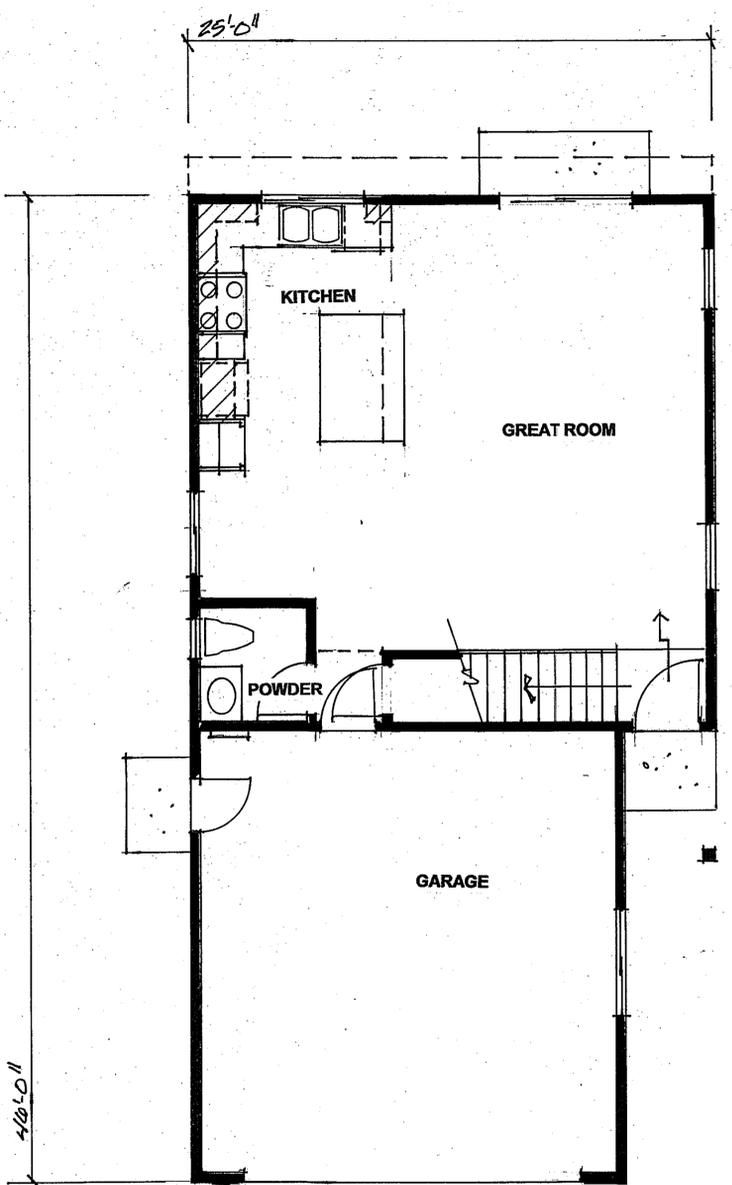
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NARIL KACHTI P.E.
Tel/Fax (619) 446-5333
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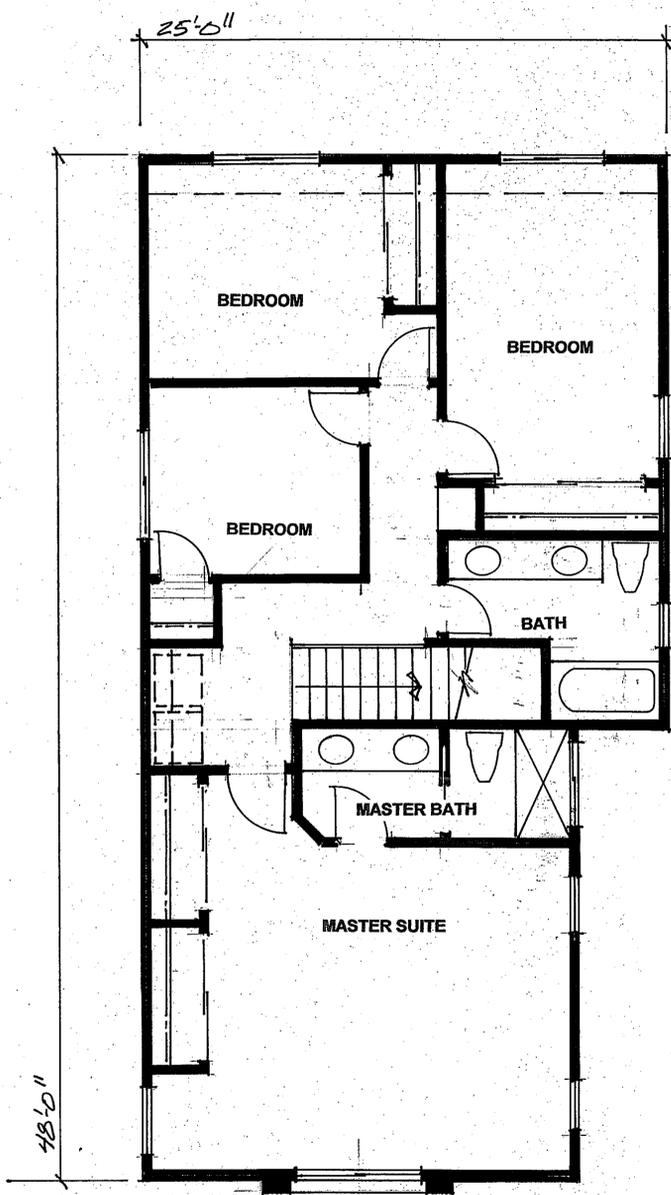
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BUILDINGS 2 & 3



1ST FLOOR PLAN 1/4"=1'-0"



2ND FLOOR PLAN 1/4"=1'-0"

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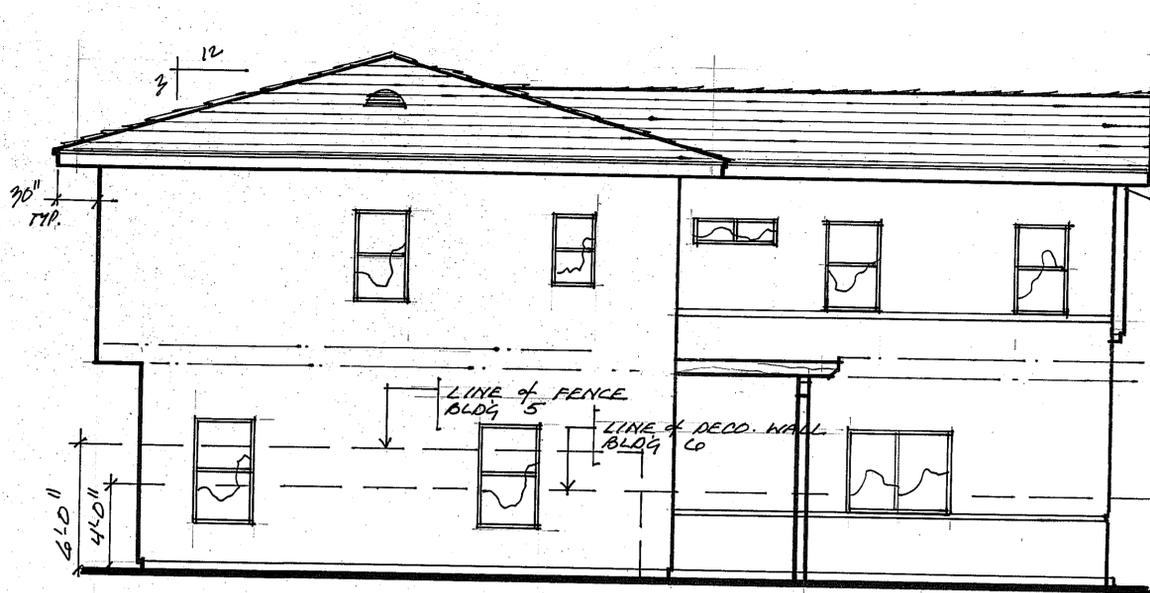
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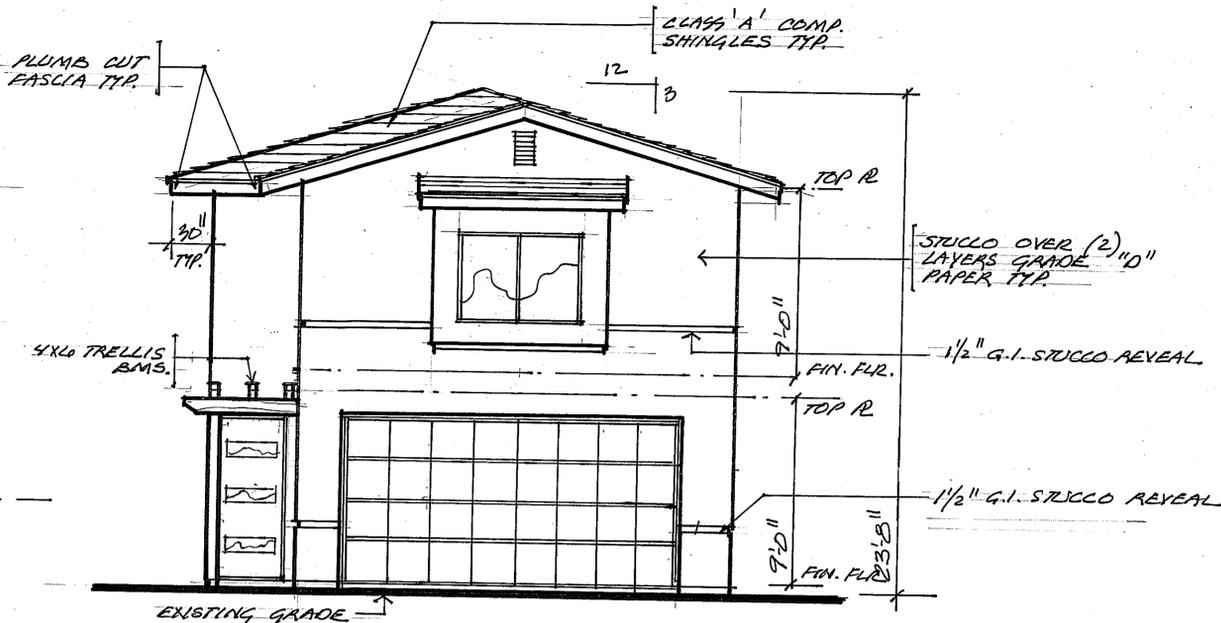
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BUILDINGS 2 & 3



EAST ELEVATION

1/4"=1'-0"

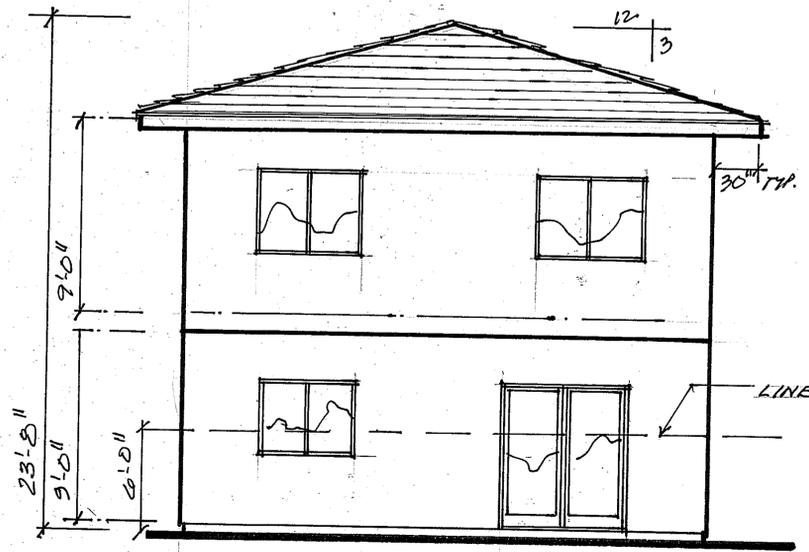


NORTH ELEVATION

1/4"=1'-0"

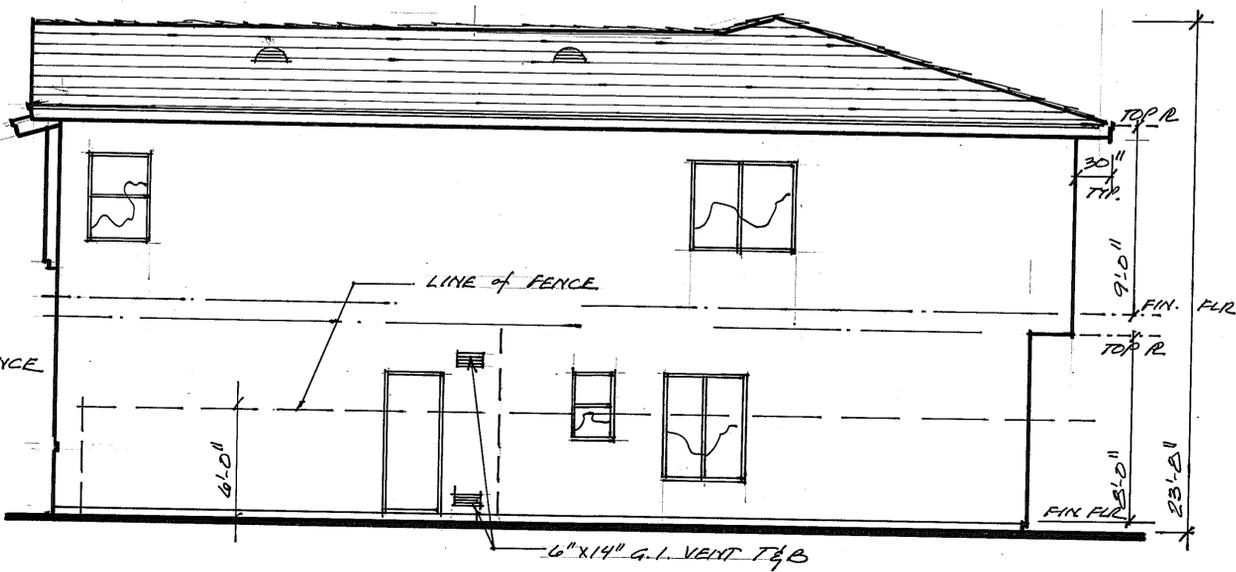
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- FRONT DOORS & GARAGE DOOR FRAMES: CHERRY ALL BLD'GS
- WINDOWS: WHITE ALL BUILDINGS



SOUTH ELEVATION

1/4"=1'-0"



WEST ELEVATION

1/4"=1'-0"

BUILDINGS 5 & 6

REVISIONS	BY
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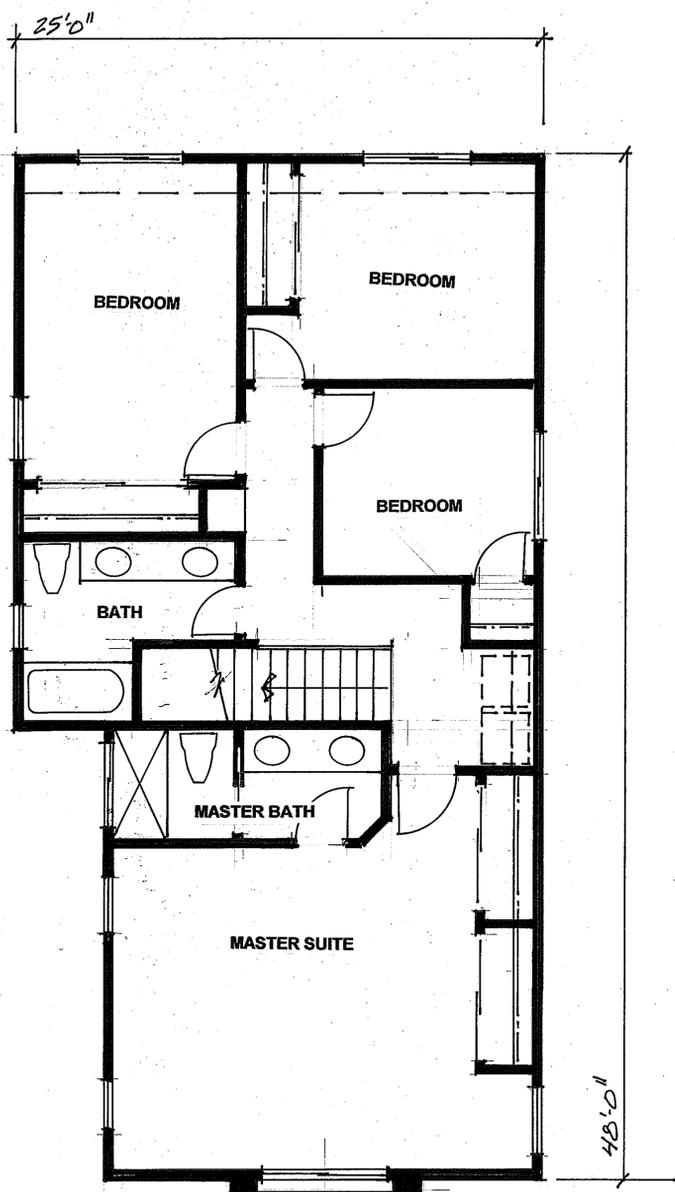
NABIL KACHIT P.E.
Tel/Fax: (919) 446-5533
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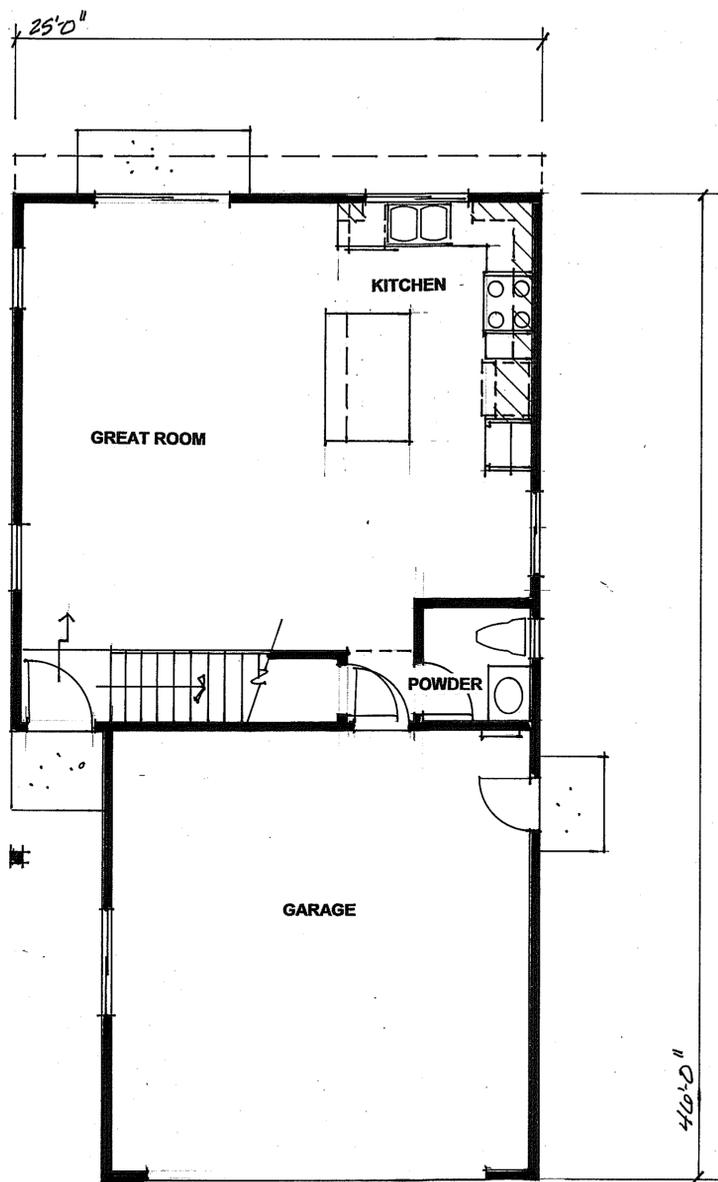
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2ND FLOOR PLAN

1/4"=1'-0"



1ST FLOOR PLAN

1/4"=1'-0"

BLDG'S 5 & 6

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