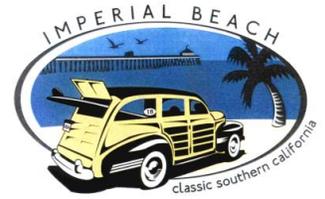




A G E N D A



CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD REGULAR MEETING

THURSDAY, APRIL 16, 2015 – 4:00 P.M.

**Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Larissa Lopez at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll call of members: Nakawatase, Schaaf, Bowman, Lopez

2.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. In accordance with State law, the Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to staff or placed on a future agenda.

3.0 CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately.

3.1 MOTION TO APPROVE THE MINUTES OF THE MARCH 19, 2015 AND MARCH 26, 2015 MEETINGS.

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: T-MOBILE (APPLICANT); CONSIDERATION OF REGULAR COASTAL PERMIT (CP 140046), CONDITIONAL USE PERMIT (CUP 140047), DESIGN REVIEW CASE (DRC 140048), SITE PLAN REVIEW (SPR 140049), AND A CATEGORICAL EXEMPTION PURSUANT TO CEQA GUIDELINES 15301 (EXISTING FACILITIES) FOR THE CONSTRUCTION OF A WIRELESS TELECOMMUNICATIONS FACILITY AT 800 SEACOAST DRIVE (APN 625-262-02-00). MF 1168.

4.2 REPORT: MIKE ALLEN (APPLICANT/OWNER); ADMINISTRATIVE COASTAL PERMIT (ACP 140019), DESIGN REVIEW CASE (DRC 140020), AND SITE PLAN REVIEW (SPR 140021) FOR THE CONSTRUCTION OF FOURTEEN NEW RESIDENTIAL RENTAL UNITS AT 640 FLORIDA STREET (APNs 626-170-09 & 626-170-23-00). MF 1147.

4.3* REQUEST TO CITY COUNCIL TO PREPARE/UPDATE CITYWIDE DESIGN GUIDELINES.
*NO STAFF REPORT.

5.0 INFORMATIONAL ITEMS/REPORTS
NONE.

6.0 ADJOURNMENT

_____/s/
LARISSA LOPEZ,
ADMINISTRATIVE ASSISTANT (TEMP)

DRAFT

MINUTES

**CITY OF IMPERIAL BEACH
DESIGN REVIEW BOARD COMMITTEE**

**REGULAR MEETING OF THE DESIGN REVIEW BOARD OF
THE CITY OF IMPERIAL BEACH**

**City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

THURSDAY, MARCH 19, 2015

4:00 P.M.

In accordance with City policy, all Design Review Board meetings are recorded in their entirety and recordings are available for review. These minutes are a brief summary of action taken.

1.0 CALL TO ORDER

CHAIRPERSON NAKAWATASE called the meeting to order at 4:01 p.m.

ROLL CALL

PRESENT: BOWMAN, LOPEZ, SCHAAF, NAKAWATASE

ABSENT: NONE

STAFF PRESENT: SENIOR PLANNER FOLTZ, RECORDING SECRETARY LOPEZ

2.0 PUBLIC COMMENTS

MIKE ALLEN proposed a project off of Florida Street with 14 units. The units would have granite counters and wood floors. The upstairs would be two bedrooms and the downstairs would be a family room, kitchen and dining area.

3.0 CONSENT CALENDAR

3.1 MOTION TO APPROVE THE MINUTES OF THE FEBRUARY 5, 2015 MEETING.

AYES: LOPEZ, BOWMAN, SCHAAF

NOES: NONE

ABSENT: NONE

ABSTAIN: NAKAWATASE

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: RICHARD KEGEL (APPLICANT); CONSIDERATION OF REGULAR COASTAL PERMIT (CP 140023), CONDITIONAL USE PERMIT (CUP 140024), DESIGN REVIEW CASE (DRC 140025), SITE PLAN REVIEW (SPR 140026), AND TENTATIVE MAP (TM 140027), AND A CATEGORICAL EXEMPTION PURSUANT TO CEQA GUIDELINES 15332 (IN FILL DEVELOPMENT) FOR THE DEMOLITION OF ONE EXISTING RESIDENTIAL UNIT AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH THREE RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 951 SEACOAST DRIVE (APN 625-352-23-00). MF 1149.

SENIOR PLANNER FOLTZ gave a PowerPoint presentation on the item. The project is for the demolition of one existing residential unit and construction of a mixed use development with 2,279 sq. ft. of commercial space with three units above the first floor at 951 Seacoast Drive.

Questions to Staff

BOARD MEMBER BOWMAN inquired about the setback requirements for the lighthouse piece and whether it would have to be moved back.

SENIOR PLANNER FOLTZ stated that the applicant is proposing that the board consider the approval of the setback as it is currently being presented.

VICE CHAIR SCHAAF requested a model or samples of the colors and materials.

SENIOR PLANNER FOLTZ stated that the applicant had only supplied the rendering being shown in the PowerPoint.

APPLICANT RICHARD KEGEL stated that the location calls for something special and unique. He stated he is will to make any adjustments based on what the Design Review Board recommends.

ARCHITECT JOSE PEREZ stated that the building design and colors were done based on the pier and new developments being developed on Seacoast Drive. The Alleyway parking is commercial parking only, no residential with the exception of the ADA parking off of Elder Avenue.

BOARD MEMBER BOWMAN inquired about the total parking spots per unit.

SENIOR PLANNER FOLTZ stated that the three bedroom unit will get two parking spots and the other two units that are two bedrooms, will get one parking spot each.

BOARD MEMBER SCHAAF inquired about the copper that will be used.

APPLICANT RICHARD KEGEL stated that it is sheet metal and they will be anodizing it and powder coating it to match the copper color.

BOARD MEMBER SCHAAF stated that he would need to see a sample of the finished copper.

CHAIR NAKAWATASE expressed concern that the base metal may rot.

APPLICANT RICHARD KEGEL stated that the copper will tarnish but the powder will keep it protected. Mr. Kegel stated that the technology today is much better than it was 20 years ago so the copper will actually last approximately 25-30+ years as the manufacture proclaims.

BOARD MEMBER SCHAAF inquired about what the diameter on the lighthouse tubes are.

ARCHITECT JOSE PEREZ stated that it is roughly about a foot.

CHAIR NAKAWATASE inquired about the elevation and possibly adding some depth to the project facing elder.

APPLICANT RICHARD KEGEL stated that he can continue the copper band around the building.

CHAIR NAKAWATASE stated that she does not have an issue with the second and third levels protruding into the public right of way as it will not affect emergency vehicles or pedestrians.

CHAIR NAKAWATASE CLOSED PUBLIC DISCUSSION.

BOARD MEMBERS discussed the elevations; they are all in agreement that they are in favor of the current design for the Northside and Eastside elevations designs. However, the South Elevation needs to continue the design of the building in order to give it depth and a continuous design. The Board Members are also in support of the lighthouse design impeding on the right of way as to the fact that the location of it does not create a problem for any residents or the public.

MOTION BY NAKAWATASE, SECOND BY SCHAAF, TO BRING BACK THE PROJECT WITH RECOMMENDATION THAT THE APPLICANT RETURN FOR ANOTHER MEETING WITH A RENDERING OF THE REDESIGN WITH THE SOUTH ELEVATION. ALSO, WITH POSSIBLE RECESSED WINDOWS, COPPER CONTINUING ON ALL 3 HORIZONTAL AREAS MIMICKING THE COPPER ELEMENTS ON THE WEST ELEVATIONS, A COMPLETE COLOR BOARD WITH ALTERNATIVE MATERIALS AND COLORS, AND REMOVAL OF THE COPPER ON THE FIRST LEVEL ON THE EAST ELEVATION WITH THE ELEMENT TO BE AT THE ARCHITECTS DISCRETION.

MOTION CARRIED BY THE FOLLOWING VOTE:

**AYES: NAKAWATASE, SCHAAF, BOWMAN, LOPEZ
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE**

CHAIRPERSON NAKAWATASE requested that a future meeting take place in order to discuss Design Review Board Guidelines with the possible replication of Delray Beach's Design Review Board Guidelines.

5.0 INFORMATIONAL ITEMS/REPORTS
NONE.

6.0 ADJOURNMENT
CHAIRPERSON NAKAWATASE adjourned the meeting at 5:37 p.m.

Approved:

Shirley Nakawatase, DRB
Chairperson

Attest:

Larissa Lopez, Recording Secretary

DRAFT

MINUTES

**CITY OF IMPERIAL BEACH
DESIGN REVIEW BOARD COMMITTEE**

**SPECIAL MEETING OF THE DESIGN REVIEW BOARD OF
THE CITY OF IMPERIAL BEACH**

**City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

THURSDAY MARCH 26, 2015

4:00 P.M.

In accordance with City policy, all Design Review Board meetings are recorded in their entirety and recordings are available for review. These minutes are a brief summary of action taken.

1.0 CALL TO ORDER

CHAIRPERSON NAKAWATASE called the meeting to order at 4:01 p.m.

ROLL CALL

PRESENT: BOWMAN, SCHAAF, NAKAWATASE

ABSENT: LOPEZ

STAFF PRESENT: SENIOR PLANNER FOLTZ, RECORDING SECRETARY LOPEZ

2.0 PUBLIC COMMENTS
NONE.

3.0 CONSENT CALENDAR
NONE.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: RICHARD KEGEL (APPLICANT); CONSIDERATION OF REGULAR COASTAL PERMIT (CP 140023), CONDITIONAL USE PERMIT (CUP 140024), DESIGN REVIEW CASE (DRC 140025), SITE PLAN REVIEW (SPR 140026), AND TENTATIVE MAP (TM 140027), AND A CATEGORICAL EXEMPTION PURSUANT TO CEQA GUIDELINES 15332 (IN FILL DEVELOPMENT) FOR THE DEMOLITION OF ONE EXISTING RESIDENTIAL UNIT AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH THREE RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 951 SEACOAST DRIVE (APN 625-352-23-00). MF 1149.

SENIOR PLANNER FOLTZ gave a PowerPoint presentation on item 4.1. He first showed the renderings provided in the previous week's meeting (March 19th). Foltz then showed alternate designs that were provided in lieu of recommendations by the board during the previous week's meeting.

CHAIR NAKAWATASE requested that the applicant present his alternative color choices and materials for the project.

APPLICANT KEGEL approached board members with alternative materials. He brought samples of painted wood, stone and stucco.

BOARD MEMBERS deliberated over the materials with the applicant.

MOTION BY NAKAWATASE, SECOND BY SCHAAF, TO APPROVE THE DESIGN MODIFICATIONS FOR THE PROJECT TO BE SENT TO CITY COUNCIL WITH THE FOLLOWING CONDITIONS PROVIDED BY THE DESIGN REVIEW BOARD:

- **WEST ELEVATION:**
 - **PLANTER BOXES TO BE DETERMINED BY A FUTURE CITY COUNCIL DECISION.**
 - **ON THE STREET LEVEL A BAND OF QUARTZLITE GOLD ON THE BOTTOM UP TO 30"**
- **NORTH ELEVATION:**
 - **BLACK WOOD ON THE FASCIA WITH STUCCO ON TOP.**
- **EAST ELEVATION:**
 - **STUCCO COLORS USE: DARK 11421 ~ MEDIUM GRAY 11239 ~ LIGHT GRAY 11243.**
 - **REQUESTING THAT COPPER BE REMOVED FROM THE EAST ELEVATION AND ONLY USE STUCCO AND WOOD TO.**
- **SOUTH ELEVATION:**
 - **3 NEW COPPER BANDS GOING AROUND BUILDING (WEST ELEVATION TO BLACK WOOD ON EAST ELEVATION.)**

MOTION CARRIED BY THE FOLLOWING VOTE:

AYES:	BOWMAN, SCHAAF, NAKAWATASE
NOES:	NONE
ABSENT:	LOPEZ
ABSTAIN:	NONE

5.0 INFORMATIONAL ITEMS/REPORTS

NONE.

6.0 ADJOURNMENT

CHAIRPERSON NAKAWATASE adjourned the meeting at 4:34 p.m.

Approved:

Shirley Nakawatase, DRB
Chairperson

Attest:

Larissa Lopez, Recording Secretary

DRAFT



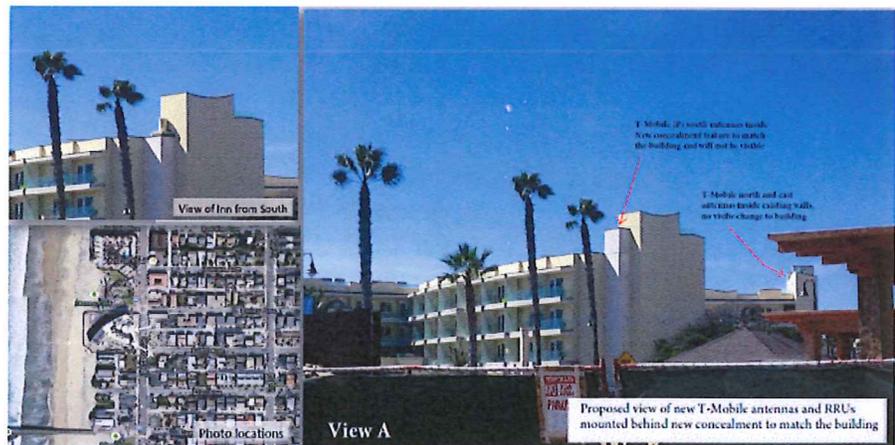
**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD
FROM: TYLER FOLTZ, SENIOR PLANNER *TF*
MEETING DATE: APRIL 16, 2015
ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: REPORT: T-MOBILE (APPLICANT); CONSIDERATION OF REGULAR COASTAL PERMIT (CP 140046), CONDITIONAL USE PERMIT (CUP 140047), DESIGN REVIEW CASE (DRC 140048), SITE PLAN REVIEW (SPR 140049), AND A CATEGORICAL EXEMPTION PURSUANT TO CEQA GUIDELINES 15301 (EXISTING FACILITIES) FOR THE CONSTRUCTION OF A WIRELESS TELECOMMUNICATIONS FACILITY AT 800 SEACOAST DRIVE (APN 625-262-02-00). MF 1168.

BACKGROUND:

An application has been submitted to the City of Imperial Beach for a Regular Coastal Permit (CP 140046), Conditional Use Permit (CUP 140047), Design Review Case (DRC 140048), and Site Plan Review (SPR 140049) for the proposed construction of a new wireless telecommunications facility and equipment at



800 Seacoast Drive (APN 625-262-02-00), which is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The project is subject to design review by the Design Review Board because the project requires site plan review by the Planning Commission (City Council) pursuant to Imperial Beach Municipal Code (IBMC) 19.83.020.

ANALYSIS:

The proposed telecommunications facility would consist of nine panel antennas and 18 remote radio units (RRUs) that would locate on the Pier South hotel. Six of the antennas would locate within existing walls on the northeast corner of the building and three antennas would locate

within new screening that would locate on the southeast corner of the building. The new screen would surround an exposed laundry chute flue and would be constructed to match the existing building beyond the new screen surrounding the laundry chute flue. Existing stucco walls would be removed and replaced with fiberglass reinforced plastic screens with stucco treatments to match the materials, colors, texture, and architecture of the existing building. In addition, rooftop equipment would be installed that would match the height of the existing air-conditioning units (4'-8" in height), and would be screened by the existing parapets so that no visual impacts would occur.

The project does not propose to increase the height or expand any portion of the existing building. The new screening surrounding the laundry chute flue and the concealment panels replacing existing portions of the walls are the only potential visual impacts for the project, though all screening and panels would be treated to blend in with the existing building and provide no detectable visual impacts. The applicant claims that the facility is needed to cover a gap in service coverage, and locating the antennas in the existing walls at the top of the hotel is necessary to clear the surrounding building environment and provide an optimal signal.

The location of the telecommunications facility was examined. The applicant explored the opportunity to locate at 875 Seacoast Drive (Coronado Brewing Company; previously Jersey Boys Diner), but did not pursue the site due to height, design, and lot/space limitations. The applicant also considered locating a freestanding facility in the parking lot at the northeast intersection of Seacoast Drive and Elkwood Avenue, though a facility at this location would only receive half of the coverage than would be provided if locating in the Pier South hotel. In addition, the Imperial Beach Municipal Code discourages freestanding facilities if reasonable alternative locations are possible. The applicant claims that the proposed location in the Pier South hotel at 800 Seacoast Drive is optimal because it would provide the necessary service coverage and conceal all antennas and equipment. Staff believes it is reasonable to locate the proposed wireless facility within the existing building as long as the facility is concealed and visually undetectable, as required by IBMC Section 19.90.070.

A separate wireless facility for AT&T was reviewed by the Design Review Board on June 30, 2014 and approved by the City Council on July 16, 2014. The AT&T facility will consist of 12 antennas and 24 remote radio units concealed within the stairwell parapets of the existing Pier South hotel. Following approval of the telecommunications facility, AT&T placed a hold on new construction for the 2015 calendar year, though work is anticipated to take place in early-to-mid-2016. Both AT&T and T-Mobile would use matching screening materials that would blend in with the building.

General Plan Consistency:

The proposed development is subject to IBMC Chapter 19.90, "Wireless Communications Facilities," Ordinance 2002-983 and Ordinance 2003-997. The purpose of the chapter is to establish standards for the siting, development and maintenance of wireless communications facilities and antenna throughout the city. The chapter is intended to protect and promote the public health, safety and welfare, as well as the aesthetic quality of the city as set forth in the goals, objectives and policies of the General Plan. In addition, the project is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The purpose of the C/MU-2 Zone is to meet the demand for goods and services required primarily by the tourist population, as well as local residents who use the beach area. The proposed development meets the intent of the C/MU-2 Zone and meets the Development and Design Standards for wireless facilities as outlined in IBMC Chapter 19.90.

C/MU-2 STANDARDS	PROVIDED/PROPOSED
The installation of wireless communications facilities may not reduce the number of required parking spaces on a proposed site (Section 19.90.070).	The facility would not remove existing parking spaces.
Wireless communications facilities and accessory equipment must meet the required setbacks of the underlying zone, except that in a residential zone, the minimum setback for an antenna or equipment building from any property line is twenty feet (Section 19.90.070).	The project would not encroach within any setbacks of the C/MU-2 Zone.
Wireless communications facilities must meet the height requirement of the underlying zone, unless a greater height is approved through the conditional use permit (Section 19.90.70).	The facility would provide rooftop equipment that would match the height of existing air-conditioning equipment, screening around an existing laundry chute flue, and would locate antennas within existing walls. The proposed facility would not increase the height of the existing building.
A service provider with a wireless communications facility in the city must obtain a city business license (Section 19.90.070).	Obtaining a business license would be a condition of approval for the project.
The visual impact of wireless communications facilities must be minimized to the maximum extent feasible, taking into consideration technological requirements, through the use of placement, screening, camouflage, and landscaping, so that the facility is compatible with adjacent uses, existing architectural elements, topography, neighborhood landscaping, building materials, and other site characteristics (Section 19.90.070).	The proposed facility would provide three antennas that would be concealed behind a new screening wall that would surround an existing laundry chute flue on the southeast corner of the building, and six antennas that would locate behind screening that would replace existing walls on the northeast corner of the building. The screening walls would be designed to match the materials, colors, texture, and architecture of the existing building.
The colors and materials of wireless communications facilities must blend into their backgrounds (Section 19.90.070).	The proposed facility would be concealed and the screening walls would be designed to match the existing building.
Facade-mounted antennae must be integrated architecturally into the style/character of the structure to which they are attached; they must be painted and textured to match the existing structure; and they may not project more than eighteen inches from the face of the building or other support structure unless approved by a conditional use permit (Section 19.90.070).	The proposed facility would provide three antennas that would be concealed behind a new screening wall that would surround an existing laundry chute flue on the southeast corner of the building, and six antennas that would locate behind screening that would replace existing walls on the northeast corner of the building. The screening walls would

	<p>be designed to match the materials, colors, texture, and architecture of the existing building.</p>
<p>Roof-mounted antennae may not exceed the minimum height necessary to serve the operator's service area, while complying with the building height requirements of this title; they must be designed to minimize their visibility from surrounding areas; and they must be painted and textured to match the existing structure or building (Section 19.90.070).</p>	<p>The proposed facility would provide three antennas that would be concealed behind a new screening wall that would surround an existing laundry chute flue on the southeast corner of the building, and six antennas that would locate behind screening that would replace existing walls on the northeast corner of the building. The screening walls would be designed to match the materials, colors, texture, and architecture of the existing building.</p>
<p>Freestanding facilities, including towers, lattice towers, and monopoles, are discouraged unless no reasonable alternative is possible. If a freestanding facility is necessary, it may not exceed the minimum functional height and width required to support the proposed wireless facility (Section 19.90.070).</p>	<p>No freestanding facilities are proposed.</p>
<p>Proposed freestanding facilities must be stealth facilities; they must be painted and designed to blend in with the surrounding area; and they must be landscaped, if necessary, to minimize visual impacts (Section 19.90.070).</p>	<p>No freestanding facilities are proposed.</p>
<p>Wireless facility support structures, such as equipment buildings, cabinets, cables, air conditioning units, and fencing, must be painted and textured to match the surrounding physical area and screened with landscaping in order to minimize visual impacts (Section 19.90.070).</p>	<p>Rooftop equipment would be installed that would match the height of the existing air-conditioning units (4'-8" in height), and would be screened by the existing parapets so that no visual impacts would occur.</p>
<p>No advertising signs may be placed on any facility or equipment (Section 19.90.070).</p>	<p>No advertising signs are proposed.</p>
<p>Wireless communications facilities located between the first public roadway and the ocean, San Diego Bay, or the Tijuana Estuary must be visually undetectable from Seacoast Drive, Imperial Beach Boulevard, public paths, bikeways, beaches and public recreational facilities, and must not require the construction of shoreline protective devices. If there is no feasible alternative that can comply with this requirement without resulting in a significant gap in communication coverage, then the alternative that would result in the fewest or least significant impacts to public views, public access and recreation, and shoreline processes shall be selected (Section 19.90.070).</p>	<p>The proposed facility would locate between Seacoast Drive and the ocean, though it would be concealed on the existing building. The screening walls would be designed to match the materials, colors, texture, and architecture of the existing building. As such, the facility would be visually undetectable.</p>

Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial
South	C/MU-2 (Seacoast Comm. & Mixed-Use)	Residential
East	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial
West	N/A	Beach

ENVIRONMENTAL IMPACT:

This project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities: Minor alteration of existing private structures/facilities involving negligible or no expansion of use).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$8,500.00 to fund processing of the application.

DEPARTMENT RECOMMENDATION:

1. Receive report;
2. Consider public comment and the design of the project; and
3. Recommend approval of the project to the City Council with recommendations provided by the Design Review Board.

Attachments:

1. Plans
2. Photosimulations
3. Coverage Maps

c: file MF 1168

DEVELOPMENT SUMMARY

PROJECT DESCRIPTION:

ZONING FOR T-MOBILE UNMANNED TELECOMMUNICATION FACILITY:

SCOPE OF WORK:

- INSTALLATION OF:
 1. (2) EQUIPMENT CABINETS ON ROOF TOP LEVEL
 2. (9) PANEL ANTENNAS AND (18) RRU'S BEHIND RF SCREEN
 3. (1) DC6 AND (1) DC2 SURGE SUPPRESSOR PER SECTOR
 4. (2) GPS ANTENNAS

APPLICANT:

T-MOBILE WIRELESS
 10509 VISTA SORRENTO PARKWAY, SUITE 206,
 SAN DIEGO, CA 92121

CM: KIRT BABCOCK PHONE: (858) 334-6139
 PM: JOE GUYER, ESQ. PHONE: (858) 334-6153

(SEE AGENT FOR APPLICANT'S REPRESENTATIVE)

PROPERTY OWNER:

OWNER: SEACOAST INN, LLC
 ADDRESS: 1785 HANCOCK ST. SUITE 100
 SAN DIEGO, CA 92110

CONTACT:
 PHONE: (619) 296-2000

APPLICANT'S AGENT:

SMARTLINK LLC
 18301 VON KARMAN AVE. SUITE 910
 IRVINE, CA 92612

SAC: ROCKI LAM PHONE: (801) 603-2052
 LUP: JOSEPH ROSE PHONE: (269) 720-4055

ARCHITECT:

DCI PACIFIC
 32 EXECUTIVE PARK, SUITE 110
 IRVINE, CA 92614

CONTACT: D.K. DO E-MAIL: DK@DCIPACIFIC.COM
 PHONE: (949) 475-1000 FAX: (949) 475-1001

BUILDING CODE INFORMATION:

EXISTING BUILDING/STRUCTURE:	PROPOSED STRUCTURE:
OCCUPANCY = R-2	OCCUPANCY = S2 (TELECOMMUNICATION)
CONSTRUCTION TYPE = II	CONSTRUCTION TYPE = II
SPRINKLER SYSTEM = YES	SPRINKLER SYSTEM = YES (EXISTING)

ZONING INFORMATION:

JURISDICTION: CITY OF IMPERIAL BEACH
 ZONING DESIGNATION: C/MU-2 (SEACOAST COMMERCIAL & MIXED-USE) ZONE
 LATITUDE: 32° 34' 52.25" N (APPROX.)
 LONGITUDE: 117° 7' 55.21" W (APPROX.)

PROPERTY INFORMATION:

LEGAL DESCRIPTION:
 PENDING TITLE REPORT

ASSESSOR PARCEL NUMBER: 760-242-28-00
 LEASE AREA: . SQ.FT.

UTILITY SURVEYORS:

POWER: TEL: .
 COMPANY: SDG&E FAX: .
 CONTACT: E-MAIL: .
TELCO: TEL: .
 COMPANY: AT&T FAX: .
 CONTACT: E-MAIL: .

APPROVALS:

R.F. ENGINEER: _____
 ZONING: _____
 CONSTRUCTION: _____
 SITE ACQUISITION: _____
 OWNER / LANDLORD: _____
 SIGNATURE DATE

ABBREVIATIONS

A.B. ANCHOR BOLT	GRND. GROUND	DIAG. DIAGONAL	REINF. REINFORCEMENT(ING)
ABV. ABOVE	HDR. HEADER	DIM. DIMENSION	REQ'D. REQUIRED
ADD'L. ADDITIONAL	HGR. HANGER	DWG. DRAWING(S)	RGS. RIGID GALVANIZED STEEL
A.F.F. ABOVE FINISHED FLOOR	HT. HEIGHT	DWL. DOWEL(S)	SCH. SCHEDULE
A.F.G. ABOVE FINISHED GRADE	ICGB. ISOLATED COPPER GROUND BUS	EA. EACH	SHT. SHEET
ALUM. ALUMINUM	IN.(#) INCH(ES)	EL. ELEVATION	SIM. SIMILAR
ALT. ALTERNATE	INT. INTERIOR	ELEC. ELECTRICAL	SPEC. SPECIFICATION(S)
ANT. ANTENNA	LB.(#) POUND(S)	ELEV. ELEVATOR	SQ. SQUARE
APPRX. APPROXIMATE(LY)	L.B. LAG BOLTS	EMT. ELECTRICAL METALLIC TUBING	STD. STANDARD
ARCH. ARCHITECT(URAL)	L.F. LINEAR FEET (FOOT)	E.N. EDGE NAIL	STL. STEEL
AWC. AMERICAN WIRE GAUGE	L. LONG(ITUDINAL)	ENG. ENGINEER	STRUC. STRUCTURAL
BLDG. BUILDING	M.S. MASONRY	EQ. EQUAL	TEMP. TEMPORARY
BLK. BLOCK	MAX. MAXIMUM	EXP. EXPANSION	THK.(NESS) THICK(NESS)
BLKG. BLOCKING	M.B. MACHINE BOLT	EXST.(E) EXISTING	T.N. TOE NAIL
BM. BEAM	MECH. MECHANICAL	EXT. EXTERIOR	T.O.A. TOP OF ANTENNA
B.N. BOUNDARY NAILING	MFR. MANUFACTURER	FAB. FABRICATION(OR)	T.O.C. TOP OF CURB
BTOW. BARE TINNED COPPER WIRE	MIN. MINIMUM	F.F. FINISH FLOOR	T.O.F. TOP OF FOUNDATION
B.O.F. BOTTOM OF FOOTING	MISC. MISCELLANEOUS	F.G. FINISH GRADE	T.O.P. TOP OF PLATE (PARAPET)
B/U. BACK-UP CABINET	MTL. METAL	FIN. FINISH(ED)	T.O.S. TOP OF STEEL
CAB. CABINET	(N) NEW	FLR. FLOOR	T.O.W. TOP OF WALL
CANT. CANTILEVER(ED)	NO.(#) NUMBER	FDN. FOUNDATION	TYP. TYPICAL
C.I.P. CAST IN PLACE	N.T.S. NOT TO SCALE	F.O.C. FACE OF CONCRETE	U.G. UNDER GROUND
CLG. CEILING	O.C. ON CENTER	F.O.M. FACE OF MASONRY	U.L. UNDERWRITERS LABORATORY
CLR. CLEAR	OPNG. OPENING	F.O.S. FACE OF STUD	U.N.O. UNLESS NOTED OTHERWISE
COL. COLUMN	P/C PRECAST CONCRETE	F.O.W. FACE OF WALL	V.I.F. VERIFY IN FIELD
CONC. CONCRETE	PLY. PLYWOOD	F.S. FINISH SURFACE	WIDE(WIDTH)
CONN. CONNECTION(OR)	P.B.W. PACIFIC BELL WIRELESS	FT.(') FOOT(FEET)	W/ WITH
CONST. CONSTRUCTION	MIN. MINIMUM	FTG. FOOTING	WD. WOOD
CONT. CONTINUOUS	P.S.F. POUNDS PER SQUARE FOOT	G. GROWTH (CABINET)	WP. WEATHERPROOF
d PENNY (NAILS)	P.S.I. POUNDS PER SQUARE INCH	GA. GAUGE	WT. WEIGHT
DBL. DOUBLE	P.T. PRESSURE TREATED	GI. GALVANIZED(D)	W/ CENTERLINE
DEPT. DEPARTMENT	PWR. POWER (CABINET)	GLB.(GLU-LAM) GLUE LAMINATED BEAM	W/ PROPERTY LINE
D.F. DOUGLAS FIR	QTY. QUANTITY		
DIA. DIAMETER	RAD.(R) RADIUS		
	REF. REFERENCE		

T-Mobile

stick together

SD07447A - PIER SOUTH

800 SEACOAST DR.
 IMPERIAL BEACH, CA 91932

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED.

VICINITY MAP



THOMAS GUIDE MAP REF:
 (COUNTY: SAN DIEGO)

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2013 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ELECTRICAL CODE (2011 EDITION NATIONAL ELECTRICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) (2012 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
- 2013 CALIFORNIA FIRE CODE (CFC) (2012 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA GREEN CODE
- 2013 CALIFORNIA REFERENCES STANDARDS CODE
- APPLICABLE LOCAL CODES

SYMBOLS

	NEW ANTENNA		SECTION REFERENCE
	EXISTING ANTENNA		CENTERLINE
	GROUND ROD		PROPERTY/LEASE LINE
	GROUND BUS BAR		MATCH LINE
	MECHANICAL GRND. CONN.		WORK POINT
	CADWELD		GROUND CONDUCTOR
	GROUND ACCESS WELL		TELEPHONE CONDUIT
	ELECTRIC BOX		ELECTRICAL CONDUIT
	TELEPHONE BOX		COAXIAL CABLE
	SPOT ELEVATION		ELEC. & TEL. CONDUITS
	REVISION		CHAIN LINK FENCING
	GRID REFERENCE		OVERHEAD SERVICE CONDUCTORS
	DETAIL REFERENCE		KEYNOTE
	ELEVATION REFERENCE		

ACCESSIBILITY NOTE

THIS PROJECT IS AN UNMANNED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

ADA COMPLIANCE:
 N/A (UNMANNED COMMUNICATIONS FACILITY)

SHEET INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET
T2	PUBLIC WORKS NOTES
A1	SITE PLAN
A2	EQUIPMENT & ANTENNA LAYOUT PLANS
A3	ELEVATIONS
A4	ELEVATIONS
LS1	SITE SURVEY GENERAL INFORMATION
LS2	SITE SURVEY GENERAL INFORMATION
8	SHEETS TOTAL

ISSUED FOR: ZONING

NOTE:
 SCALES SHOWN ON SET OF DRAWINGS ARE REPRESENTATIVE OF FULL SIZE 24"x36" DRAWINGS. IF THIS SET OF DRAWINGS IS LESS THAN 24"x36", IT IS A REDUCED SET.

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

DATE: 04/06/15

ARCHITECT: DKD

DRAWN BY: HH

CHECKED BY: BOK

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

APPLICANT

 10509 VISTA SORRENTO PARKWAY,
 SUITE 206,
 SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110
 IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

800 SEACOAST DR.
 IMPERIAL BEACH, CA 91932

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1

PUBLIC WORKS NOTES:

C. PUBLIC WORKS:

12. No building roof or landscape water drains may be piped to the street or onto impervious surfaces that lead to the street. A design that has the water discharge directly into the storm drain conveyance system (onto an impervious surface that flows to the street) is in violation of the Municipal Storm Water Permit - Order R9-2013-0001.
13. For alley, sidewalk or curb & gutter replacement ensure compliance with San Diego Regional Standard Drawing G-11 in that, the "Area to be removed [must be] 5' or from joint to joint in panel, whichever is less." The distance between joints or score marks must be a minimum of 5-feet. Where the distance from "Area to be removed", to existing joint, edge or score mark is less than the minimum shown, "Area to be removed" shall be extended to that joint, edge or score mark.
14. For any work to be performed in the street or alley, submit a traffic control plan for approval by Public Works Director a minimum of 5 working days in advance of street work. Traffic control plan is to be per Regional Standard Drawings or CALTRANS Traffic Control Manual.
15. All street work construction requires a Class A contractor to perform the work. All pavement transitions shall be free of tripping hazards. Street repairs must achieve 95% sub soil compaction. Asphalt repair must be a minimum of four (4) inches thick asphalt placed in the street trench. Asphalt shall be AR4000 ½ mix (hot).
16. For any project that proposes work within the public right-of-way (i.e., driveway removal/construction, sidewalk removal/construction, street or alley demolition/reconstruction, landscaping and irrigation, fences, walls within the public right-of-way, etc.), a Temporary Encroachment Permit (TEP) shall be applied for and approved either prior to or concurrent with issuance of the building permit required for the project. Application for a Temporary Encroachment Permit shall be made on forms available at the Community Development Department Counter.
17. Any disposal/transportation of solid waste / construction waste in roll off containers must be contracted through EDCO Disposal Corporation unless the hauling capability exists integral to the prime contractor performing the work.
18. Existing parcel impervious surfaces should not increase beyond the approved plans as a post-conversion condition in order to maximize the water runoff infiltration area on the parcel in compliance with Municipal Storm Water Permit – Order R9-2013-0001.
19. In accordance with I.B.M.C. 12.32.120, applicant must place and maintain warning lights and barriers at each end of the work, and at no more than 50 feet apart along the side thereof from sunset of each day until sunrise of the following day, until the work is entirely completed. Barriers shall be placed and maintained not less than three feet high.
20. Applicant must institute "Best Management Practices" to prevent contamination of storm drains, ground water and receiving waters during both construction and post construction. The property owner or applicant BMP practices shall include but are not limited to:
 - Contain all construction water used in conjunction with the construction. Contained construction water is to be properly disposed in accordance with Federal, State, and City statutes, regulations and ordinances.
 - All recyclable construction waste must be properly recycled and not disposed in the landfill.
 - Water used on site must be prevented from entering the storm drain conveyance system (i.e. streets, gutters, alley, storm drain ditches, storm drain pipes).
 - All wastewater resulting from cleaning construction tools and equipment must be contained on site and properly disposed in accordance with Federal, State, and City statutes, regulations, and ordinances.
 - Erosion control - All sediment on the construction site must be contained on the construction site and not permitted to enter the storm drain conveyance system. Applicant is to cover disturbed and exposed soil areas of the project with plastic-like material (or equivalent product) to prevent sediment removal into the storm drain system.

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DATE: 04/06/15

ARCHITECT: DKD

DRAWN BY: HH

CHECKED BY: BOK

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

APPLICANT



stick together

10509 VISTA SORRENTO PARKWAY,
SUITE 206,
SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

800 SEACOAST DR.
IMPERIAL BEACH, CA 91932

SHEET TITLE:

PUBLIC WORKS NOTES

SHEET NUMBER:

T2

PROPRIETARY INFORMATION

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DATE: 04/06/15
 ARCHITECT: DKD
 DRAWN BY: HH
 CHECKED BY: BOK

ISSUE STATUS:

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-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

APPLICANT
T-Mobile
 stick together
 10508 VISTA SORRENTO PARKWAY,
 SUITE 206,
 SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC
 A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110
 IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

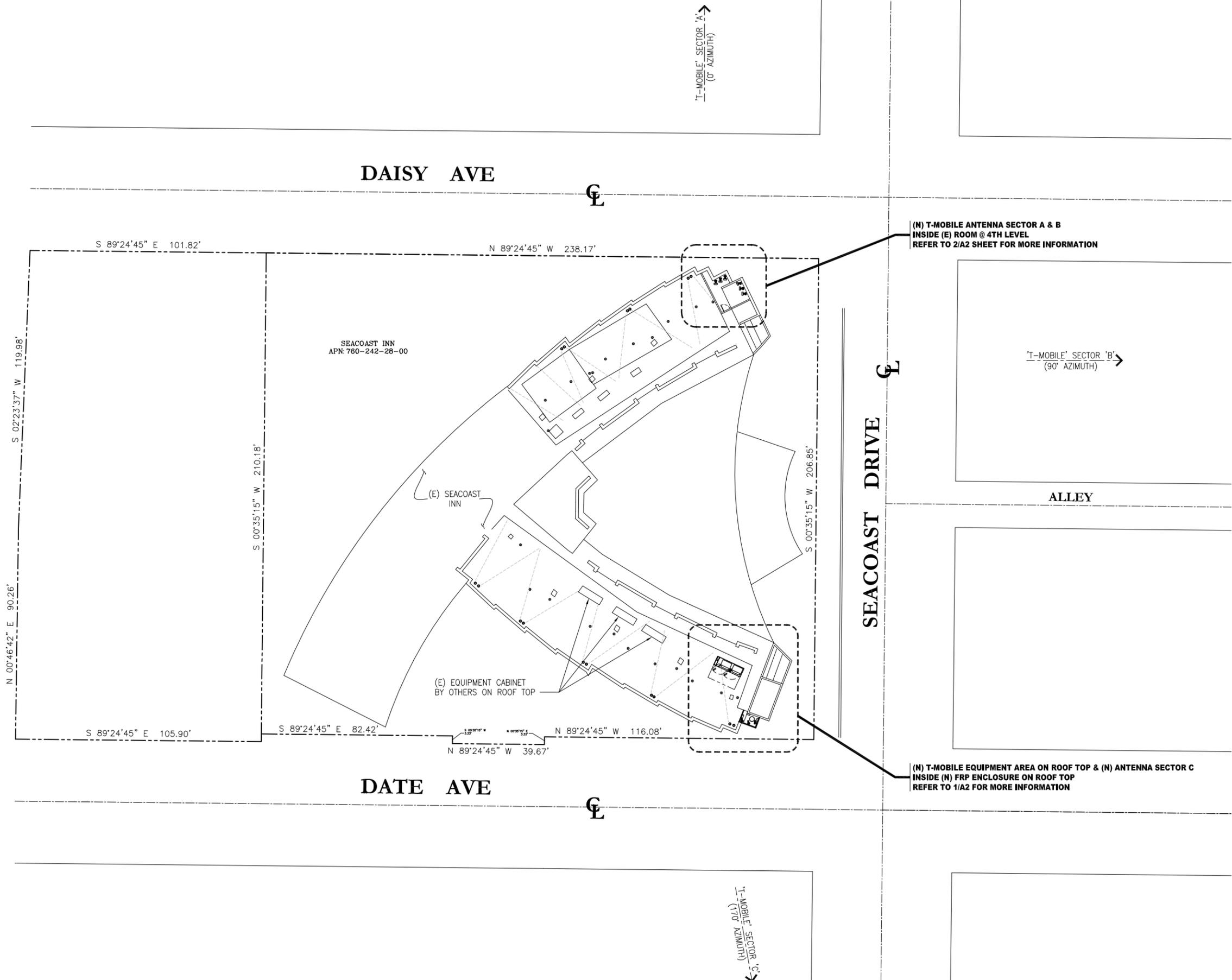
800 SEACOAST DR.
 IMPERIAL BEACH, CA 91932

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A1



PROPRIETARY INFORMATION

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ISSUE STATUS:

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-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

APPLICANT
T-Mobile
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 10508 VISTA SORRENTO PARKWAY,
 SUITE 206,
 SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC
 A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110
 IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

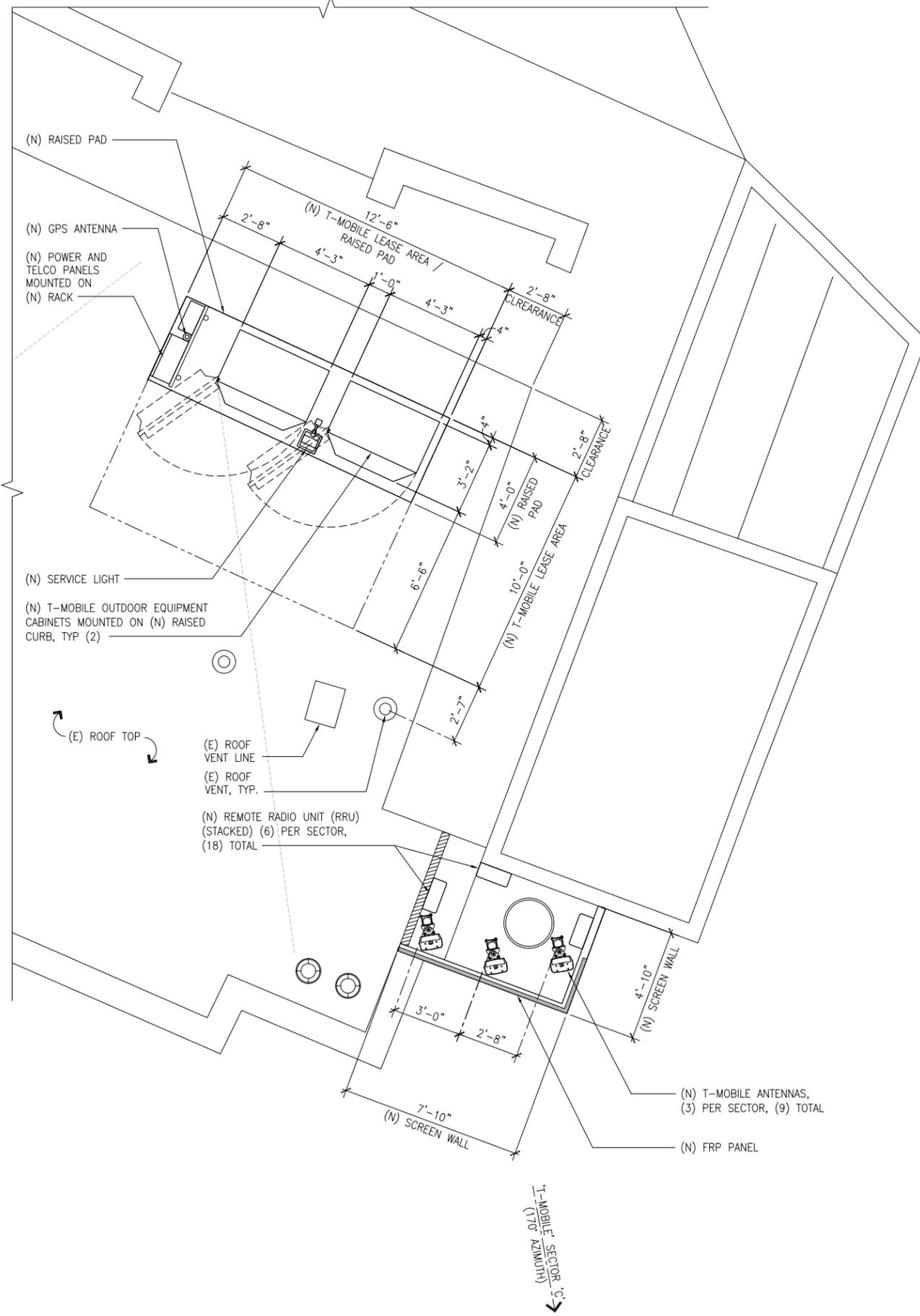
800 SEACOAST DR.
 IMPERIAL BEACH, CA 91932

SHEET TITLE:

EQUIPMENT & ANTENNA
 LAYOUT PLAN

SHEET NUMBER:

A2

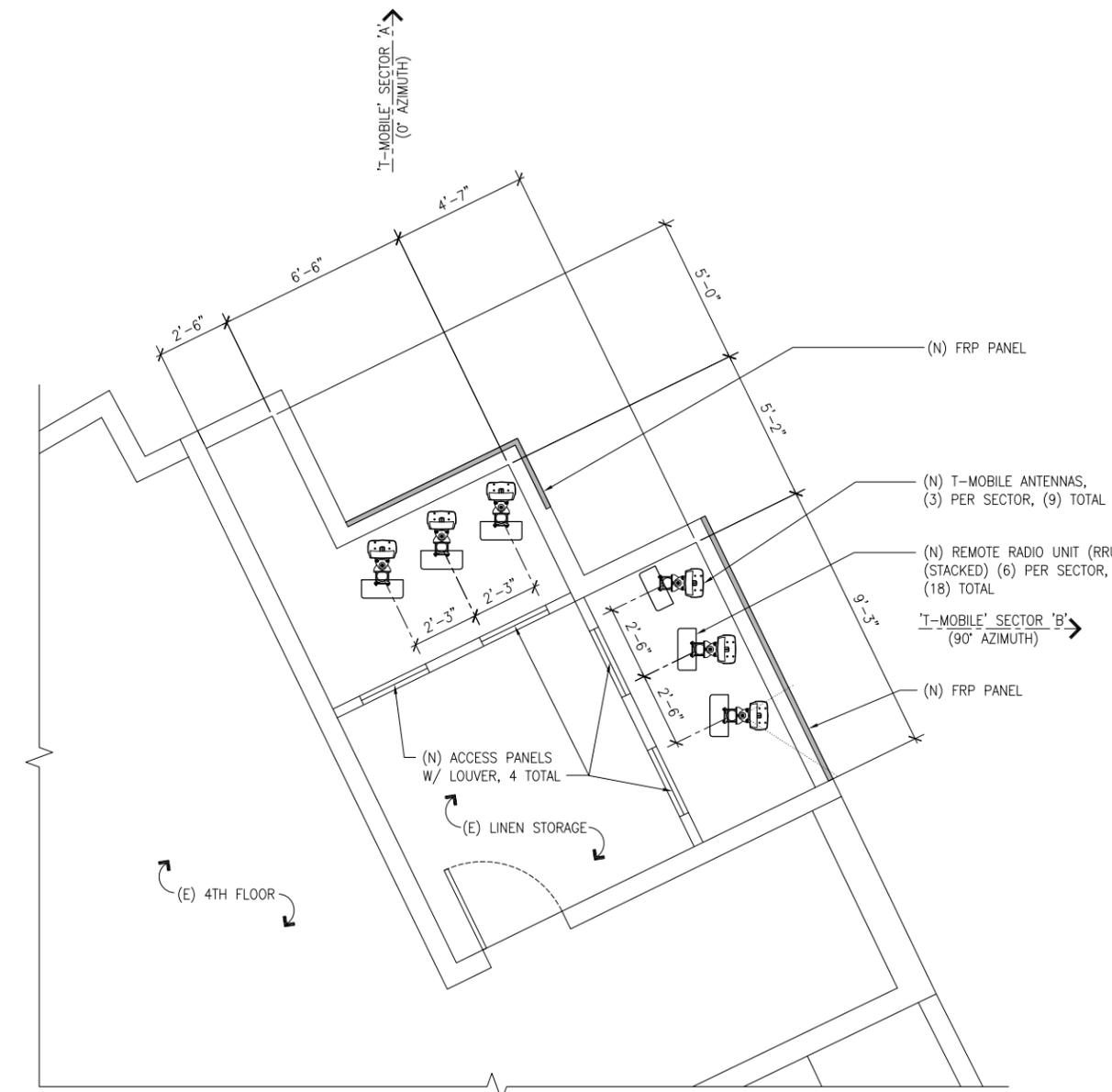


EQUIPMENT & ANTENNA SECTOR C LAYOUT PLAN @ ROOF TOP



1

ANTENNA SECTOR A & B LAYOUT PLAN @ 4TH LEVEL



2

PROPRIETARY INFORMATION

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DATE: 04/06/15

ARCHITECT: DKD

DRAWN BY: HH

CHECKED BY: BOK

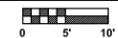
ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

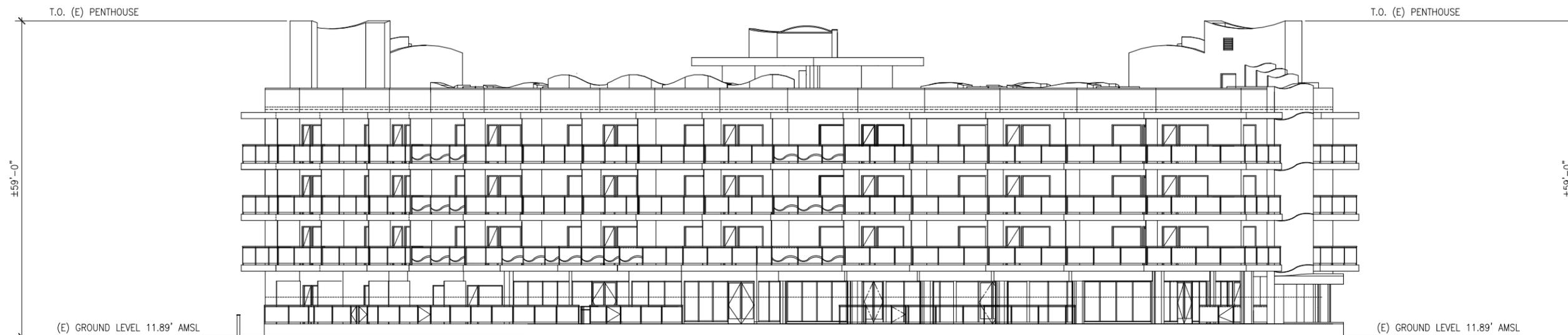


EAST ELEVATION

SCALE
1" = 10'-0"



1



WEST ELEVATION

SCALE
1" = 10'-0"



2

APPLICANT
T-Mobile
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10508 VISTA SORRENTO PARKWAY,
SUITE 206,
SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

800 SEACOAST DR.
IMPERIAL BEACH, CA 91932

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A3

PROPRIETARY INFORMATION

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DATE: 04/06/15
 ARCHITECT: DKD
 DRAWN BY: HH
 CHECKED BY: BOK

ISSUE STATUS:

△	DATE	DESCRIPTION	BY:
-	08/08/14	90% ZD	HH
-	10/16/14	100% ZD	HH
-	04/06/15	PLAN CHECK COMMENTS	HH

APPLICANT
T-Mobile
 stick together
 10508 VISTA SORRENTO PARKWAY,
 SUITE 206,
 SAN DIEGO, CA 92121



PLANS PREPARED BY:
DCI PACIFIC
 A|E|C WORKS
 ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110
 IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PIER SOUTH

PROJECT NUMBER:

SD07447A

PROJECT ADDRESS:

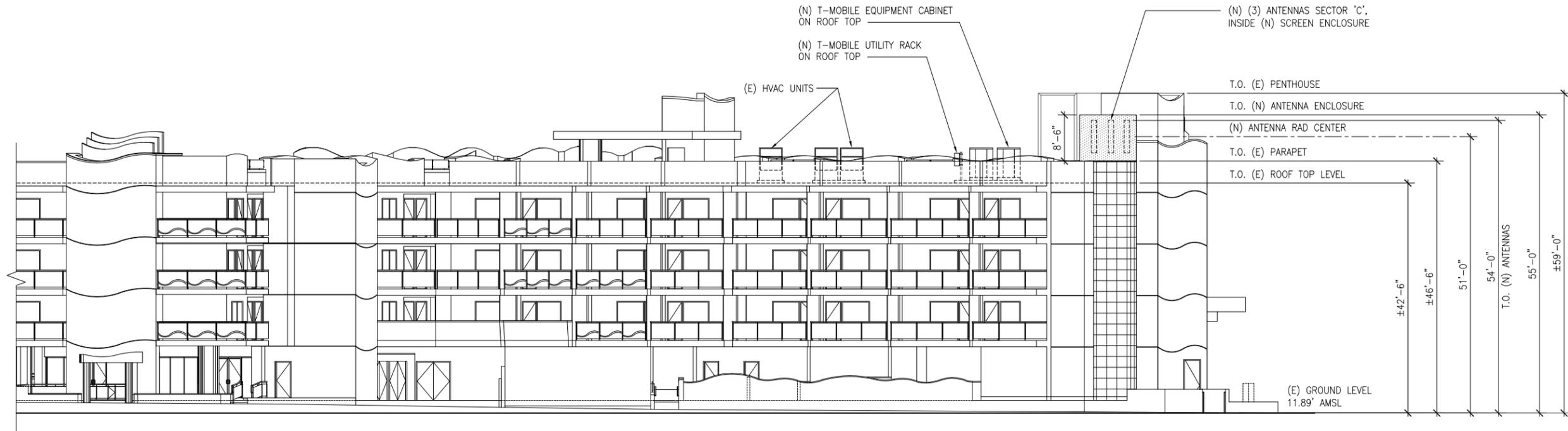
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 IMPERIAL BEACH, CA 91932

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

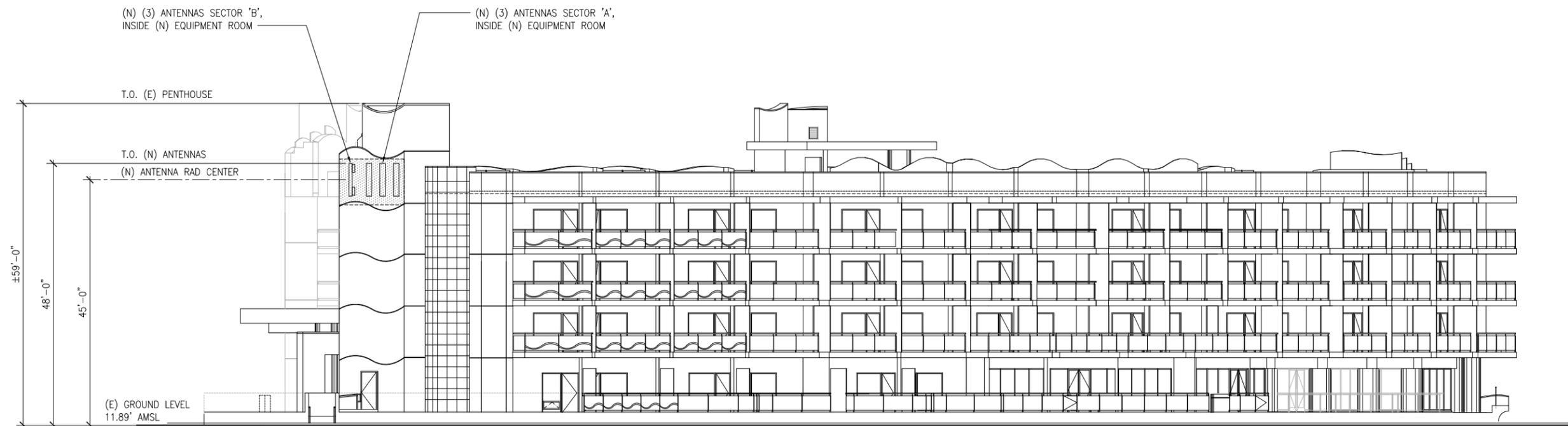
A4



SOUTH ELEVATION

SCALE
 1" = 10'-0"
 0 5' 10'

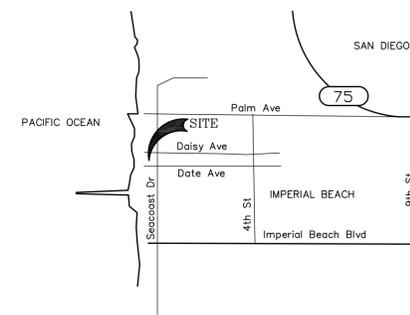
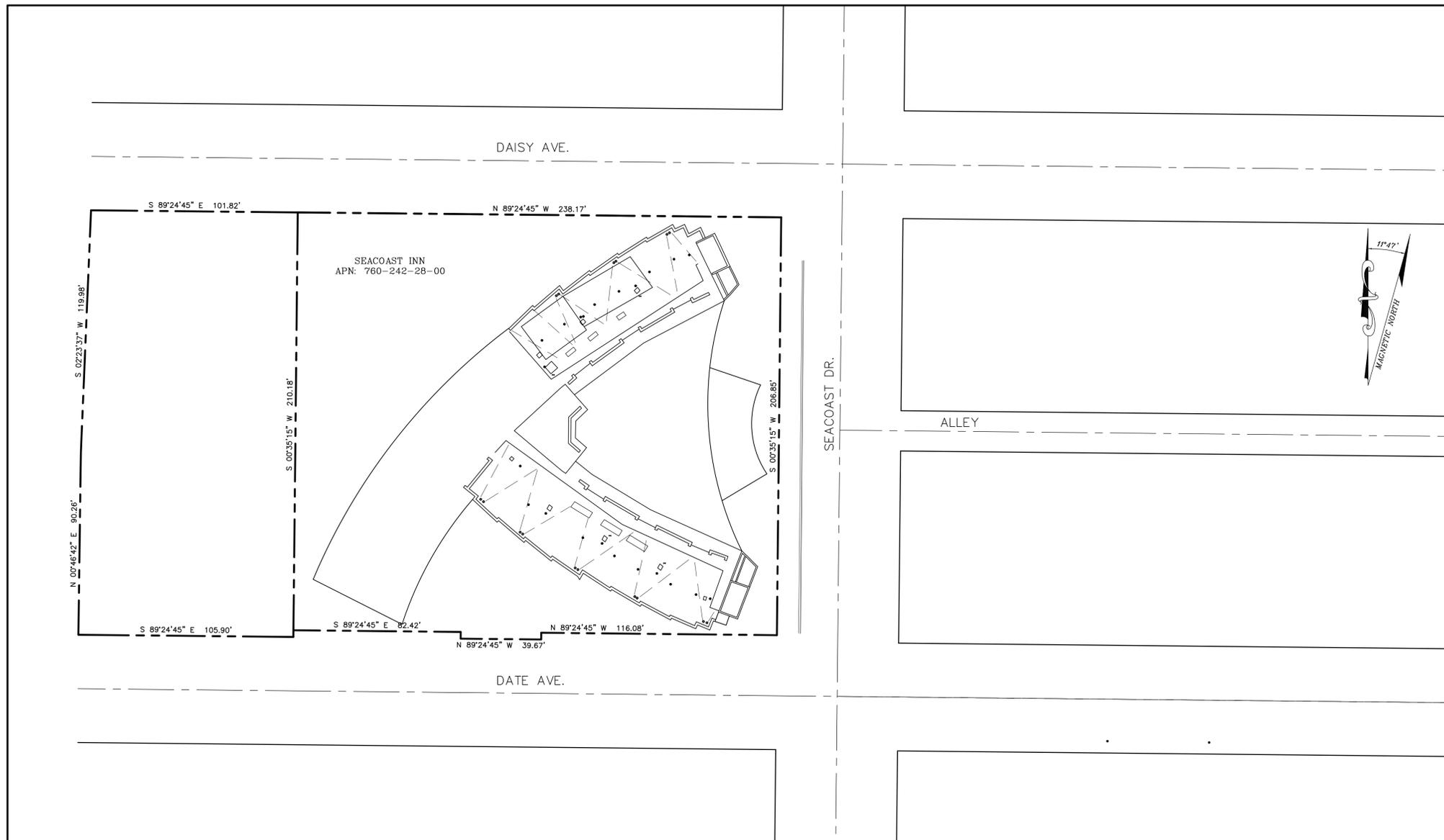
1



NORTH ELEVATION

SCALE
 1" = 10'-0"
 0 5' 10'

2



VICINITY MAP

SCALE: N.T.S.

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THIS MOBILE IS STRICTLY PROHIBITED.

DATE:	08/07/2014	
SURVEYOR:	DAF	
DRAWN BY:	AGP	
CHECKED BY:	DAF	
ISSUE STATUS:		
△ DATE:	DESCRIPTION:	BY:
- 08/07/14	90% ZD	DAF
-		
-		

APPLICANT

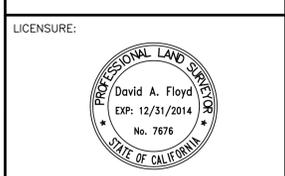
T-Mobile
stick together

10509 VISTA SORRENTO PARKWAY,
SUITE 206,
SAN DIEGO, CA 92121



PLANS PREPARED BY:

FLOYD SURVEYING
 28936 OLD TOWN FRONT ST
 SUITE 203
 TEMECULA, CA 92590
 OFFICE: (951) 694-8647
 EMAIL: fsi@floydsurveying.com



PROJECT NAME:
PIER SOUTH
PROJECT NUMBER:
SD07447
PROJECT ADDRESS:
800 SEA COAST DR IMPERIAL BEACH, CA 91932
SHEET TITLE:
SITE SURVEY GENERAL INFORMATION
SHEET NUMBER:

OVERALL SITE PLAN

SCALE: 1"=30'

LEGEND

- These standard symbols will be found in the drawing.
- FOUND MONUMENT
 - ⊙ STORM DRAIN ROOF
 - ⊙ ROOF OUTLET
 - ⊙ ROOF VENT
 - RFPA ROOF PARAPET
 - RTOP ROOF TOP
 - RFSC ROOF SCREEN
 - RFVL ROOF VENT LINE
 - RDRN ROOF DRAIN
 - HVAC HEAT/ AIR CONDITIONER
 - BC BOTTOM OF CURB
 - TC TOP OF CURB

- BOUNDARY LINE
- - - CENTERLINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- X FENCE LINE

LEGEND

- This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- Field survey completed on AUGUST 05, 2014.

OWNER'S NAME: SEACOAST INN

ASSESSOR'S PARCEL NUMBER(S) 760-242-28-00

BASIS OF BEARINGS:
 THE BEARINGS SHOWN HEREON ARE BASED CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 6. AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.

BASIS OF ELEVATIONS: NAVD 1988
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM TWO NATIONAL GEODETIC SURVEY C.O.R.S. REFERENCE STATIONS: 1) PIN1, ELEVATION = 4233.46' AND 2) PLO3, ELEVATION = 44.68' WITH GEOID 2009 CORRECTIONS APPLIED.

SITE DATA

FEMA FLOOD ZONE DESIGNATION: National Flood Insurance Program:
 County: San Diego Effective Date: 5/16/2012
 Map/Panel: 06073C2134G
 The Flood Zone Designation for this site is: ZONE: X

(Waiting for Title Report)

(Waiting for Title Report)

(Waiting for Title Report)

(Waiting for Title Report)

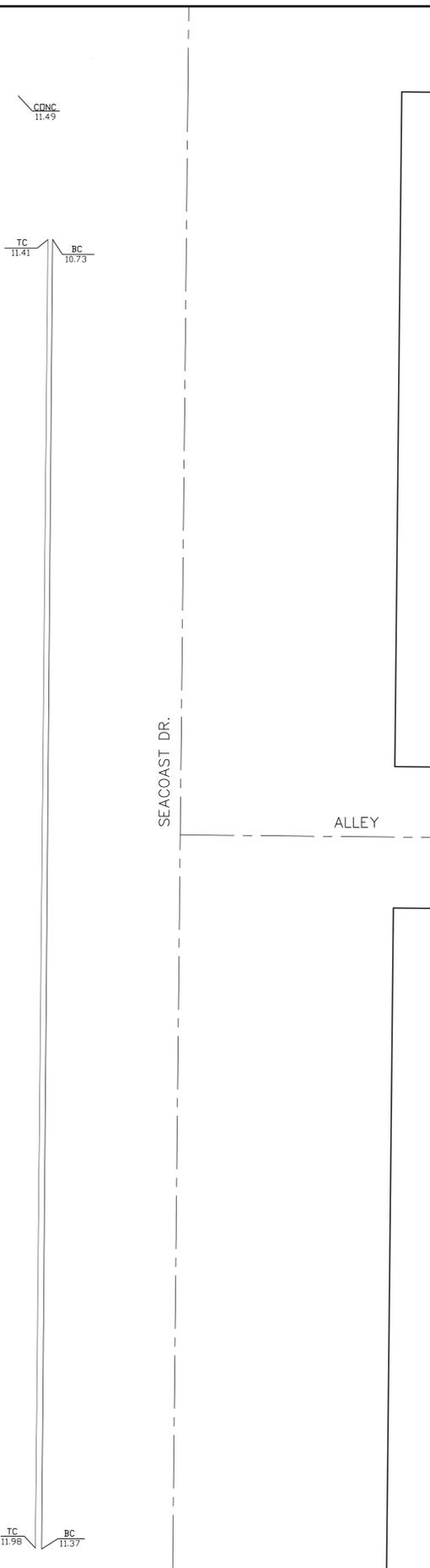
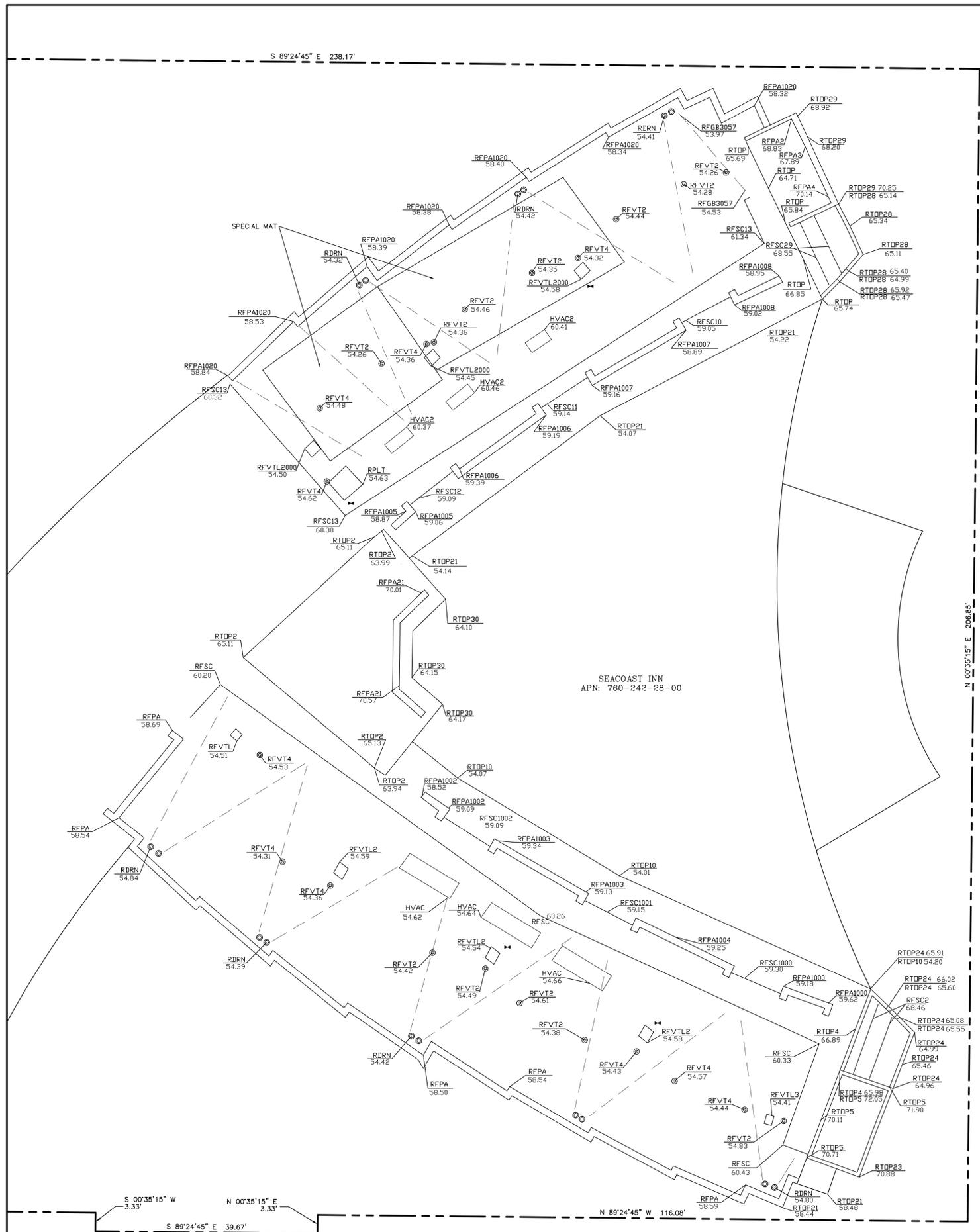
PROPERTY LEGAL DESCRIPTION

PRELIMINARY TITLE NOTES:

FEMA FLOOD ZONE INFORMATION

GENERAL NOTES

LS1



LEGEND

These standard symbols will be found in the drawing.

- FOUND MONUMENT
- ⊙ STORM DRAIN ROOF
- ⊕ ROOF OUTLET
- ⊙ ROOF VENT
- RFPA ROOF PARAPET
- RTOP ROOF TOP
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- · - FENCE LINE

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DATE: 08/07/2014
 SURVEYOR: DAF
 DRAWN BY: AGP
 CHECKED BY: DAF

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
-	08/07/14	90% ZD	DAF
-			
-			

APPLICANT: **T-Mobile** stick together
 10509 VISTA SORRENTO PARKWAY, SUITE 206, SAN DIEGO, CA 92121

Deprattinc.

PLANS PREPARED BY:
FLOYD SURVEYING
 28936 OLD TOWN FRONT ST SUITE 203
 TEMECULA, CA 92590
 OFFICE: (951) 694-8647
 EMAIL: fsi@floydsurveying.com

LICENSURE:

PROJECT NAME: **PIER SOUTH**

PROJECT NUMBER: **SD07447**

PROJECT ADDRESS: **800 SEA COAST DR
 IMPERIAL BEACH, CA 91932**

SHEET TITLE: **SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER:

LS2

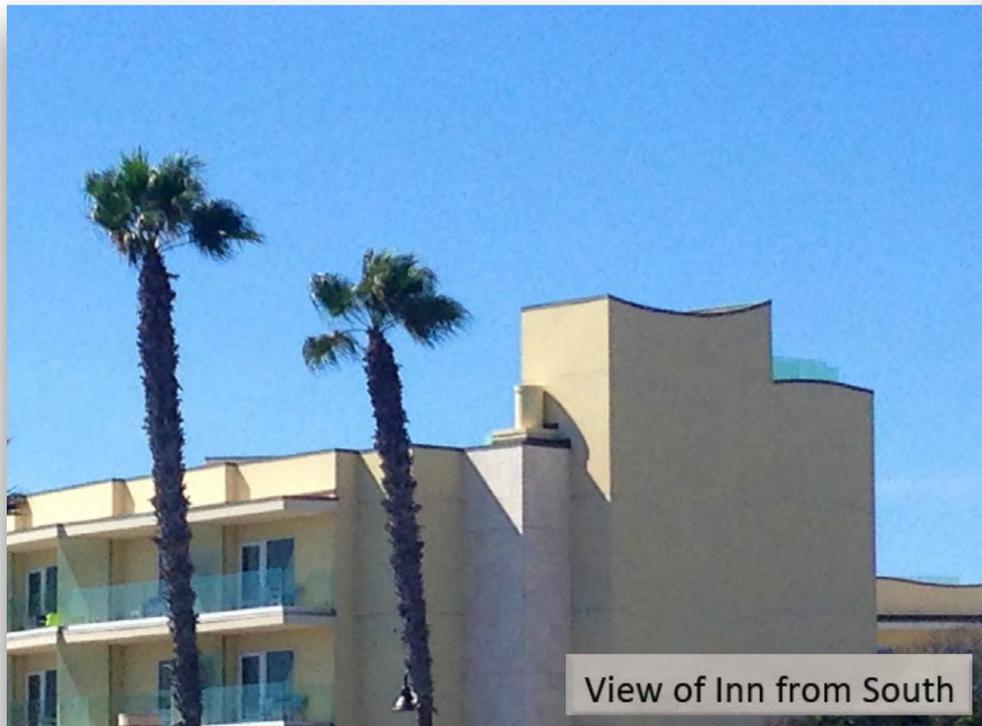
DETAIL SITE PLAN

GENERAL NOTES

T Mobile SD07447 Pier South

Photo Simulation

800 Seacoast Drive, Imperial Beach, CA 91932



View of Inn from South

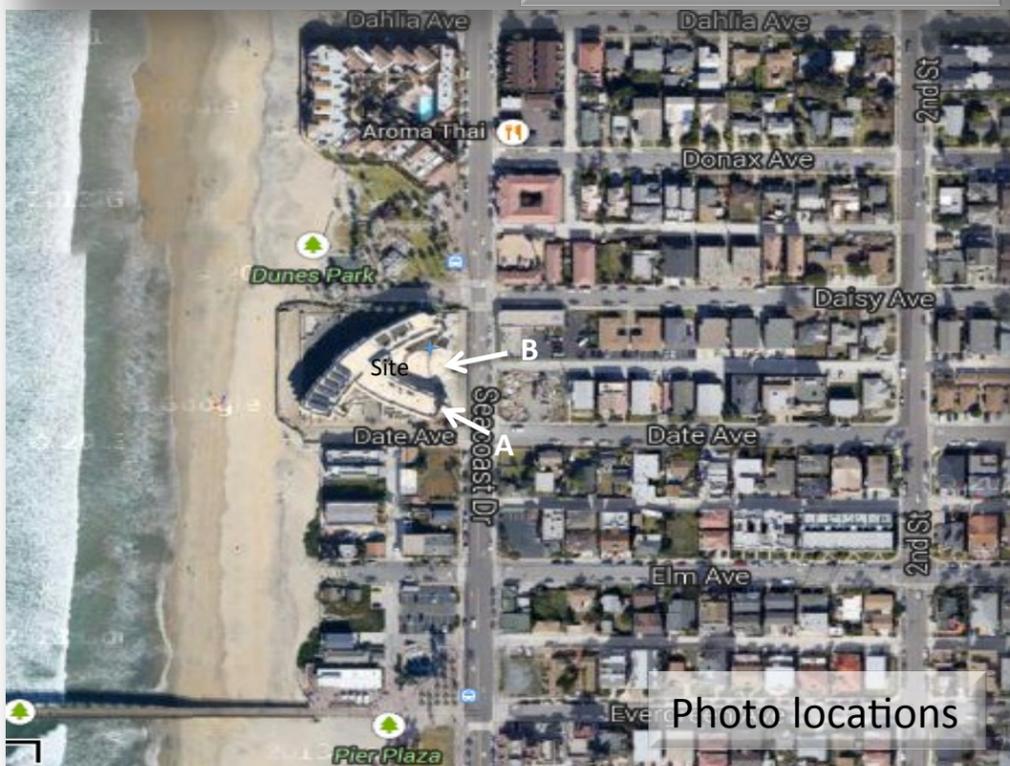


Photo locations



T-Mobile (P) south antennas inside
New concealment feature to match
the building and will not be visible

T-Mobile north and east
antennas inside existing walls,
no visible change to building

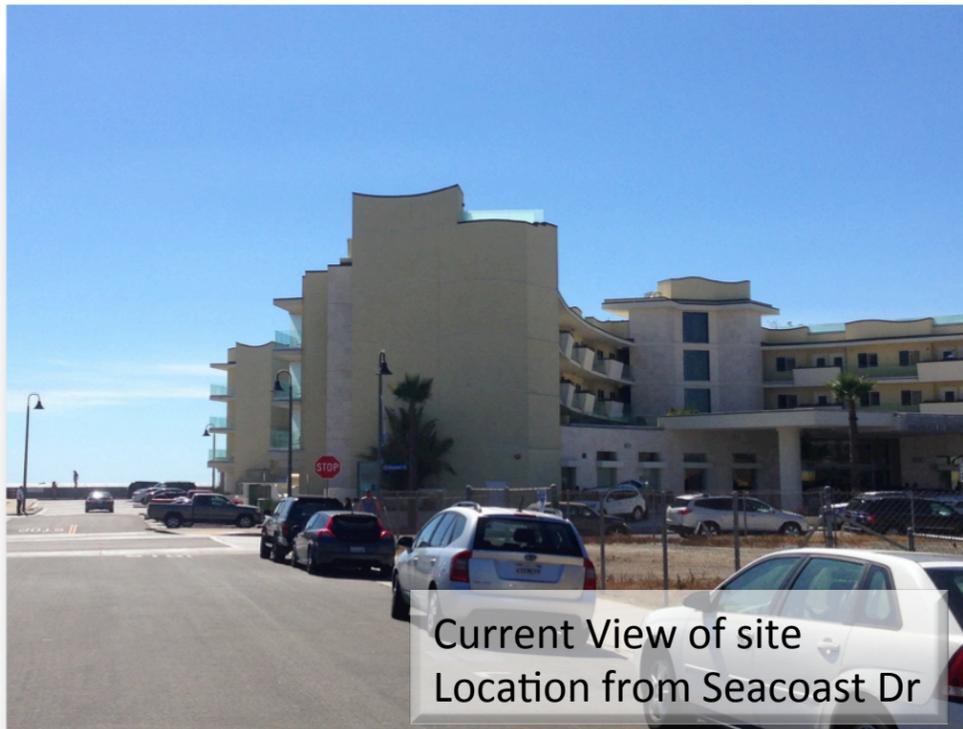
View A

Proposed view of new T-Mobile antennas and RRUs
mounted behind new concealment to match the building

T Mobile SD07447 Pier South

Photo Simulation

800 Seacoast Drive, Imperial Beach, CA 91932



Current View of site
Location from Seacoast Dr

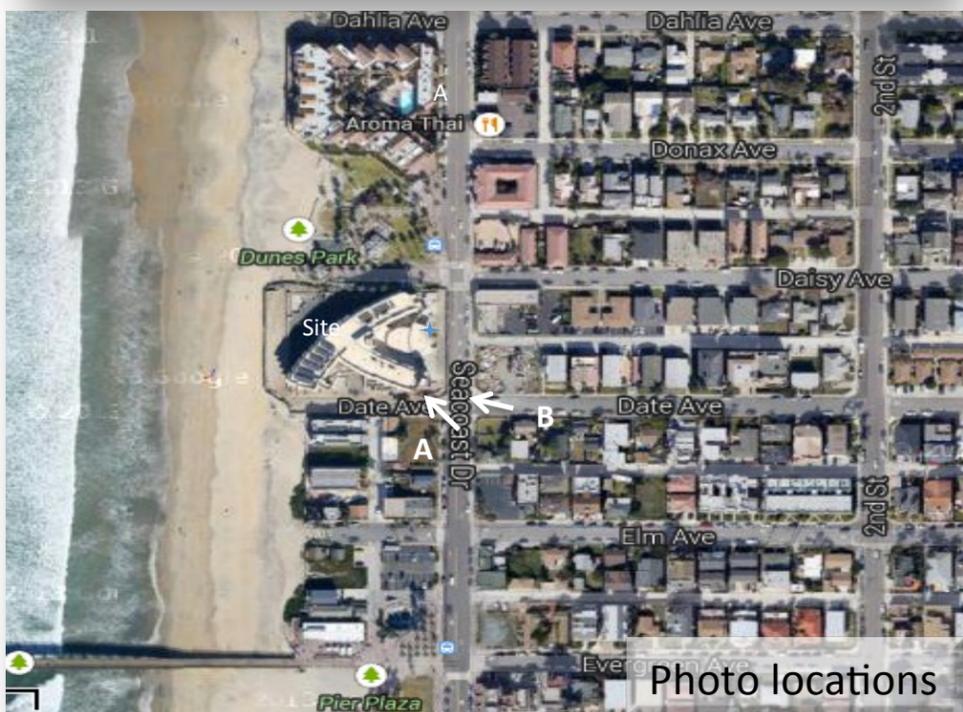


Photo locations



(P) AT&T Mobility antennas mounted behind existing walls above (3) stairwells

View B

Proposed view of new T-Mobile antennas and RRUs mounted behind new concealment to match the building

T Mobile SD07447 Pier South

Photo Simulation

800 Seacoast Drive, Imperial Beach, CA 91932



View of Inn from North

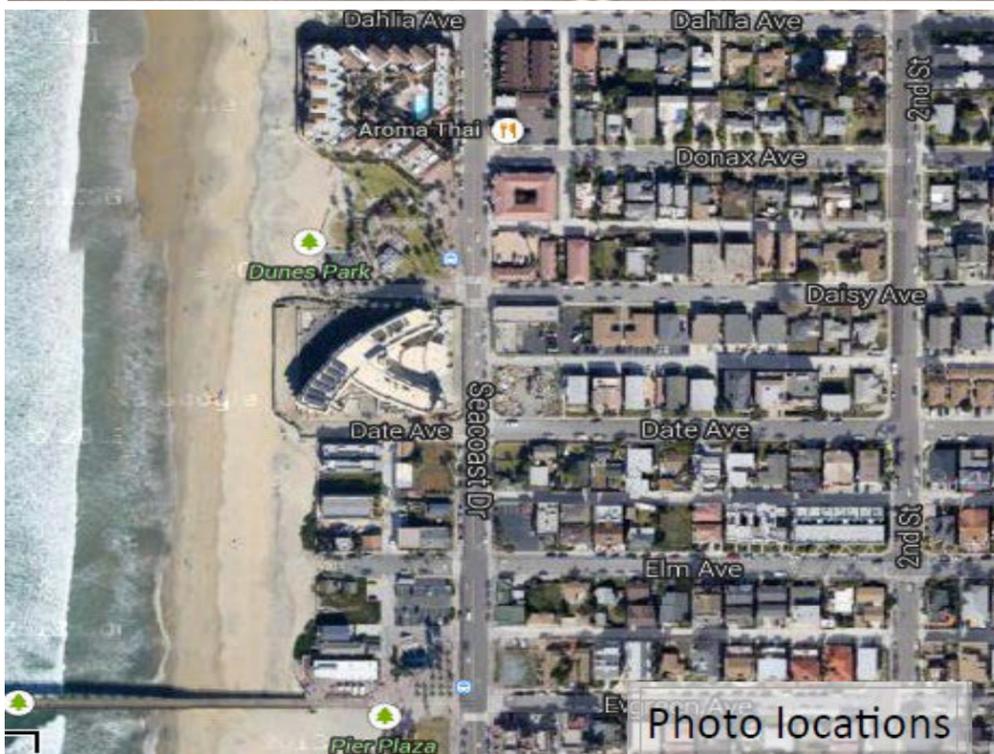


Photo locations



T-Mobile north and east antennas inside existing walls, no visible change to building

View C

Proposed view of new T-Mobile antennas and RRUs mounted within the building walls

SD07447A

Coverage Map

RF Team San Diego Market
April 06, 2015

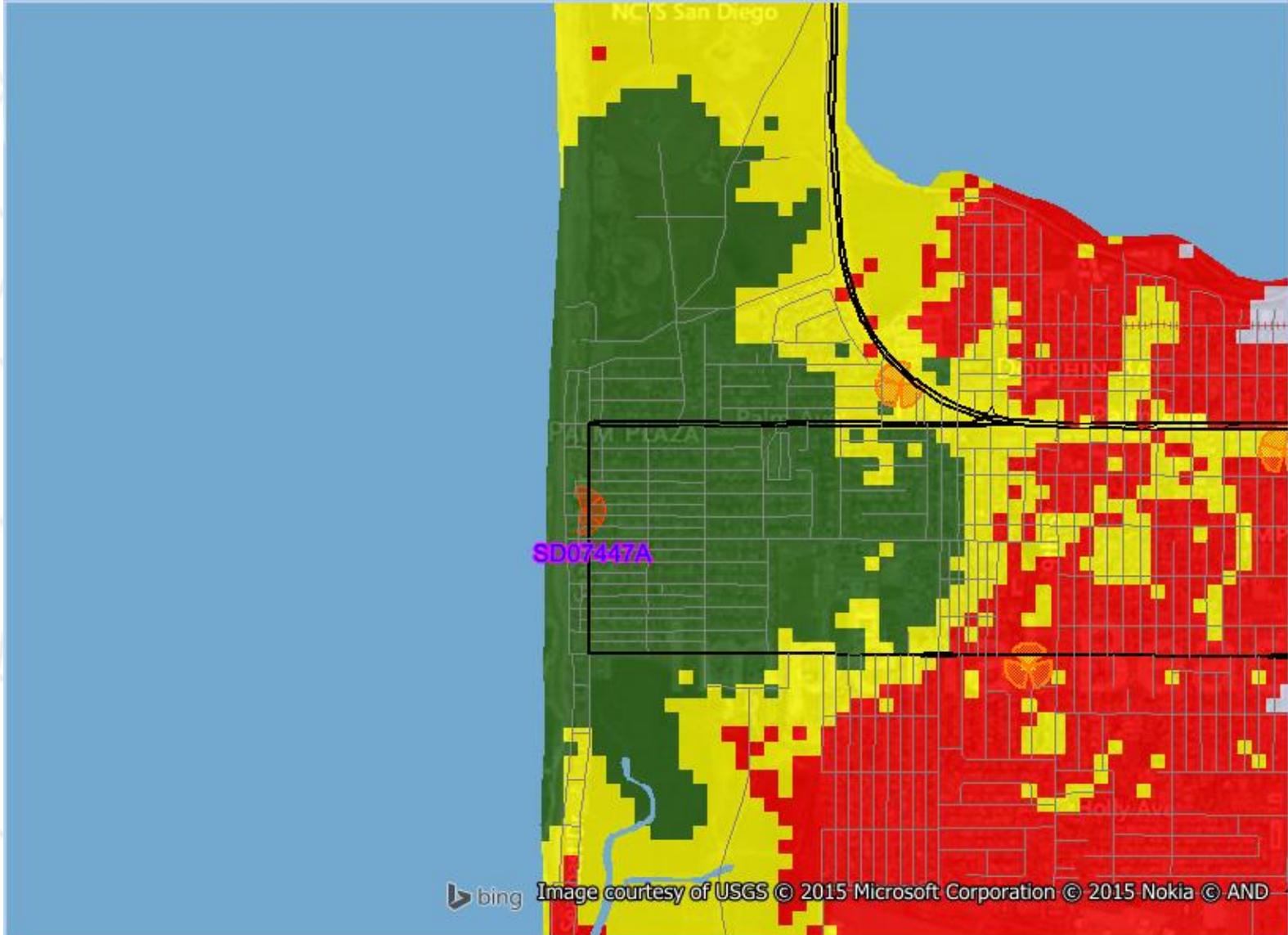


Contents:

Plots:

- **SD07447A Coverage**
- **Existing On-Air sites coverage without SD07447A**
- **SD07447A with existing On-Air neighbor sites coverage**

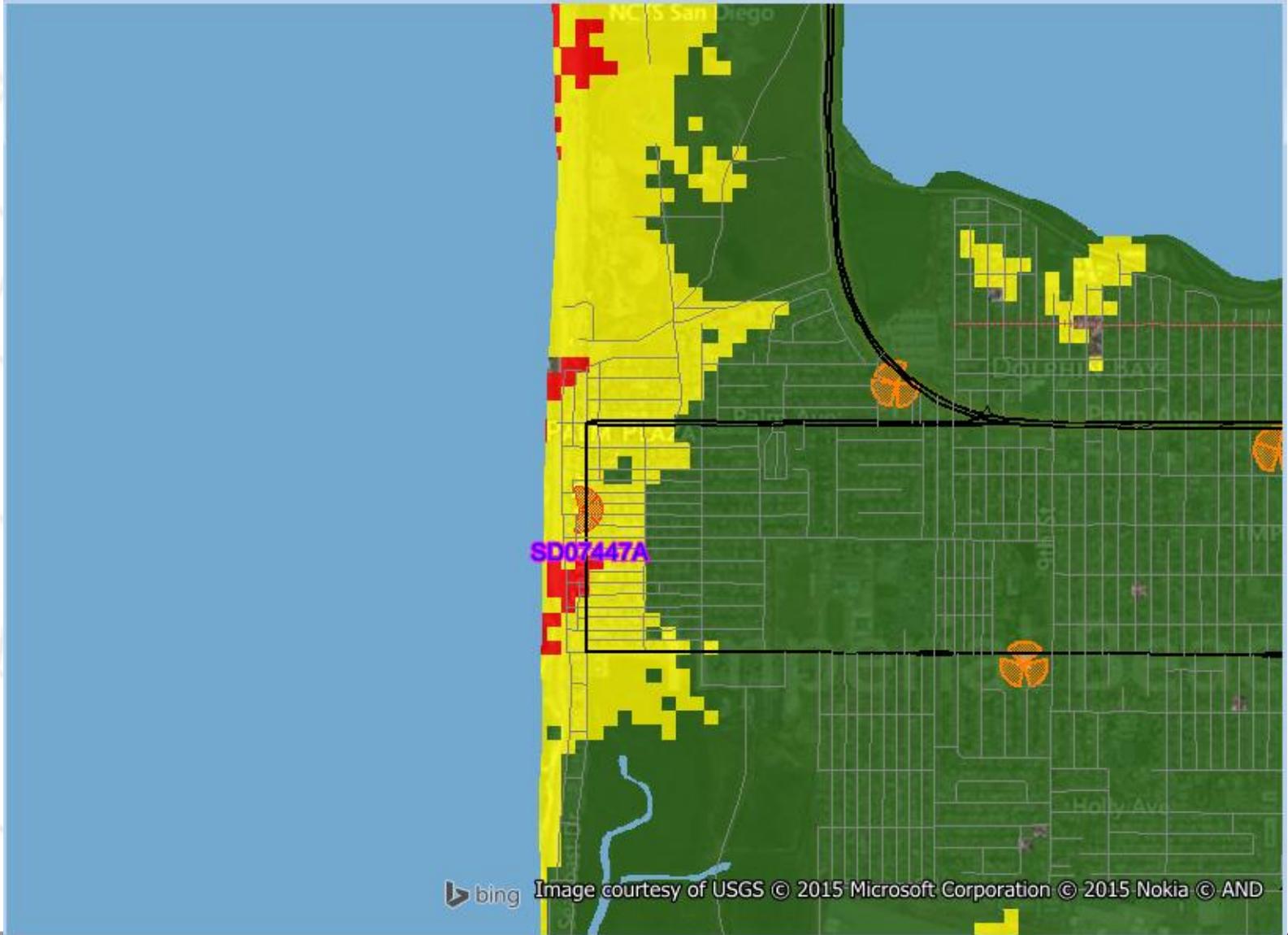




bing Image courtesy of USGS © 2015 Microsoft Corporation © 2015 Nokia © AND

- Excellent
- Good
- Poor
- No coverage

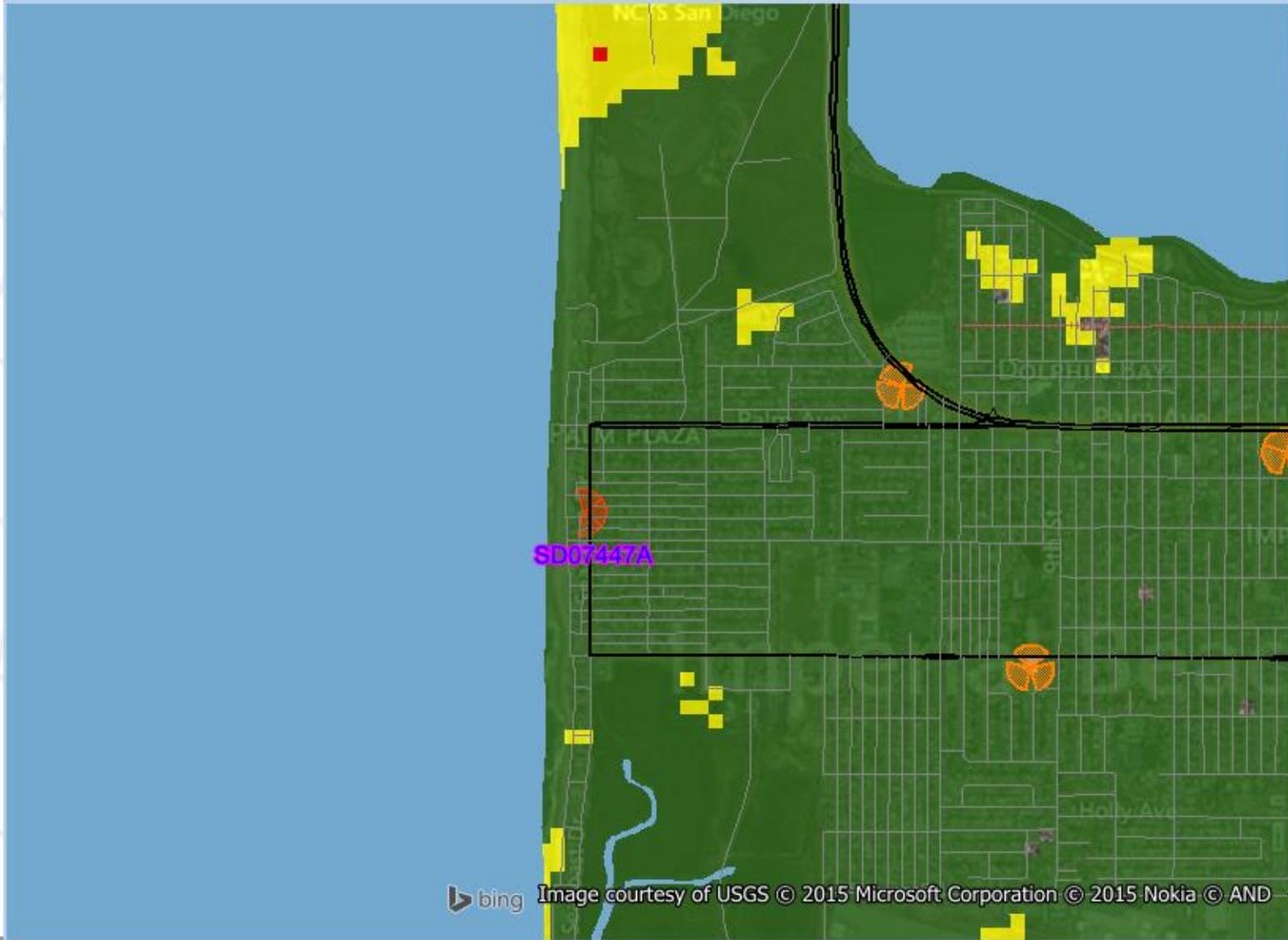




bing Image courtesy of USGS © 2015 Microsoft Corporation © 2015 Nokia © AND

- Excellent
- Good
- Poor
- No coverage





- Excellent
- Good
- Poor
- No coverage



Notes:



Thank you





**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD

FROM: TYLER FOLTZ, SENIOR PLANNER *TF*

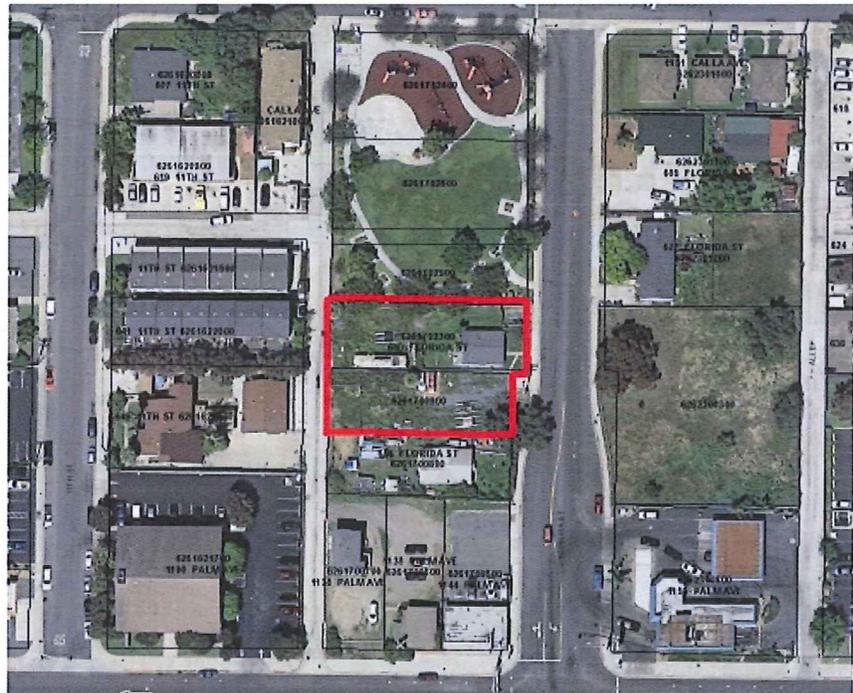
MEETING DATE: APRIL 16, 2015

ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: REPORT: MIKE ALLEN (APPLICANT/OWNER); ADMINISTRATIVE COASTAL PERMIT (ACP 140019), DESIGN REVIEW CASE (DRC 140020), AND SITE PLAN REVIEW (SPR 140021) FOR THE CONSTRUCTION OF FOURTEEN NEW RESIDENTIAL RENTAL UNITS AT 640 FLORIDA STREET (APNs 626-170-09 & 626-170-23-00). MF 1147.

BACKGROUND:

This is an application (MF 1147) for an Administrative Coastal Permit (ACP 140019), Design Review Case (DRC 140020), and Site Plan Review (SPR 140021) proposing to construct fourteen new residential rental units at 640 Florida Street (APNs 626-170-09-00 & 626-170-23-00), which is located in the C/MU-1 (General Commercial & Mixed-Use) Zone. The project is subject to design review by the Design Review Board because it will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC) 19.83.020).



**ANALYSIS:**

The project site includes two parcels that would be combined into one lot measuring 14,528 square feet fronting Florida Street in the C/MU-1 (General Commercial & Mixed-Use) Zone. The surrounding properties are also located in the C/MU-1 Zone, though the land uses are comprised of a park to the north (Teeple Park) and residential uses to the south, east, and west.

The three-story project proposes fourteen residential dwelling units, two on the ground floor and twelve above the first floor (see Attachments 1 - 3 for plans and proposed colors). Pedestrian access for the building would locate off of Florida Street. The entry doors for the two ground floor units would locate on the north and south elevations of the building, respectively, and the units above the first floor would be accessed from a foyer located on the east elevation. The project proposes twenty-one at-grade parking spaces that would be access off the alley. Two of the parking spaces are enclosed and the remaining nineteen spaces would locate in a parking garage. A trash and recycling enclosure would also locate off the alley. The second floor would provide a covered porch and pergola seating areas for use by the residents (see Attachment 4 for Pergola Samples). The twelve units above the ground floor would be provided with a balcony on the second floor, and all units would be provided with storage areas within the underground garage.

Similar buildings are located in the vicinity and the project should contribute positively to Florida Street, and the design generally conforms to the intent and purpose of the design standards outlined in IBMC Section 19.83.010 and in the City's General Plan. The applicant's design provides building projections and varied building colors and materials, which include stucco, shingle roofing, wrought iron railing for the balconies, textured masonry block, and stone veneer. Though staff would recommend the project incorporate additional architectural

elements, particularly on areas with blank walls, it is the request of both the applicant and City staff that the Design Review Board consider the project’s design as currently proposed. Building materials will be provided at the Design Review Board meeting to assist in the Board’s review, and samples of buildings with similar design elements are provided for consideration (Attachment 5).

Landscaping would be provided along the perimeter of the property, and additional landscaping would be provided within the public right-of-way on Florida Street. The project proposes approximately six queen palm trees on the east elevation and grass, geranium, and rose plants throughout the property. Though the queen palm trees should enhance the aesthetic appeal of the project, staff would recommend the project provide drought tolerant landscaping wherever possible.

General Plan/Zoning Consistency:

C/MU-1 (General Commercial and Mixed-use) Zone: The purpose of the C/MU-1 zone is to provide areas for mixed-use development, multiple-family dwellings, and for businesses to meet the local demand for commercial goods and services. The proposed residential project meets the purpose and intent of the land use designation because it would provide residential uses in an area allowing for the construction of multiple-family dwelling units.

C/MU-1 STANDARDS	PROVIDED/PROPOSED
For all buildings with frontage along Palm Avenue between 7th Street and Florida Street, including those with multiple-family dwelling units, “active commercial uses” as defined in Chapter 19.05 are required to be provided at a minimum of sixty percent of each building’s ground floor square footage, have direct pedestrian access from the Palm Avenue sidewalk or a plaza, and have a minimum building depth of twenty-five feet (Section 19.26.020).	The property does not front along Palm Avenue and, as such, is not required to provide an “active commercial use” as defined in Chapter 19.05.
Residential dwelling units may be permitted at a maximum density of one dwelling unit for every one thousand gross square feet of lot area (Section 19.26.020).	The property measures 14,528 square feet and proposes 14 residential at a density of one unit for every 1,037 gross square feet of lot area.
Yard requirements for the C/MU-1 zone are as follows: A. Front Yard. Zero feet; up to forty percent of the project frontage may be set back up to an additional five feet. Front yards facing Donax Avenue or Calla Avenue shall be a minimum of fifteen feet. B. Side Yard. There shall be a minimum side yard of five feet. C. Rear Yard. There shall be a minimum rear yard of ten feet. D. The open space and landscaping requirements as stated in Chapter 19.50 of this code shall be met. (Ord. 2012-1130 § 1; Ord. 94-884)	A. The project proposes a five foot front yard setback. B. The project proposes a five foot side yard setback. C. The project proposes a ten foot rear yard setback. D. The project is proposing to meet the open space and landscaping requirements for commercial property as stated in Chapter 19.50.

Stepback requirements for the C/MU-1 Zone are as follows (Section 19.26.040): For property with a side or rear yard abutting a residential zone, the second floor shall be set back a minimum of five feet from the abutting residential property line and the third floor shall be set back a minimum of ten feet from the abutting residential property line.	The property does not abut a residential zone and no stepbacks are required. However, the project does propose to step the building back on the second and third floors on the east elevation.
Minimum lot size of 3,000 square-feet (Section 19.26.050).	The lot size measures 14,528 square feet.
Minimum street frontage of 30 feet (Section 19.26.060).	The Florida Street frontage measures approximately 100 feet.
Maximum height of four stories or forty feet, whichever is less (Section 19.26.070).	The project proposes a height of approximately 34 feet.
No buildings shall be located less than five feet from any other building on the same lot. (Section 19.26.080)	Only one building is located on the lot.
Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.030).	The 14,528 square foot lot requires a minimum of 2,179 square feet of landscaping (14,528 x .15 = 2,179). 2,281 square feet of landscaping is proposed.
Required parking spaces for multiple-family residential in the C/MU-1 Zone: 1.5 spaces per dwelling unit. (BMC 19.48.035).	14 residential units are proposed for the project in total, which requires a minimum of 21 parking spaces. The project proposes 21 parking spaces to meet the minimum requirements.

Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-1 (General Comm. & Mixed-Use)	Park
South	C/MU-1 (General Comm. & Mixed-Use)	Residential
East	C/MU-1 (General Comm. & Mixed-Use)	Vacant Lot/Residential
West	C/MU-1 (General Comm. & Mixed-Use)	Residential

ENVIRONMENTAL IMPACT:

This project would be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 as a Class 32 project (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$6,000.00 to fund processing of the application.

DEPARTMENT RECOMMENDATION:

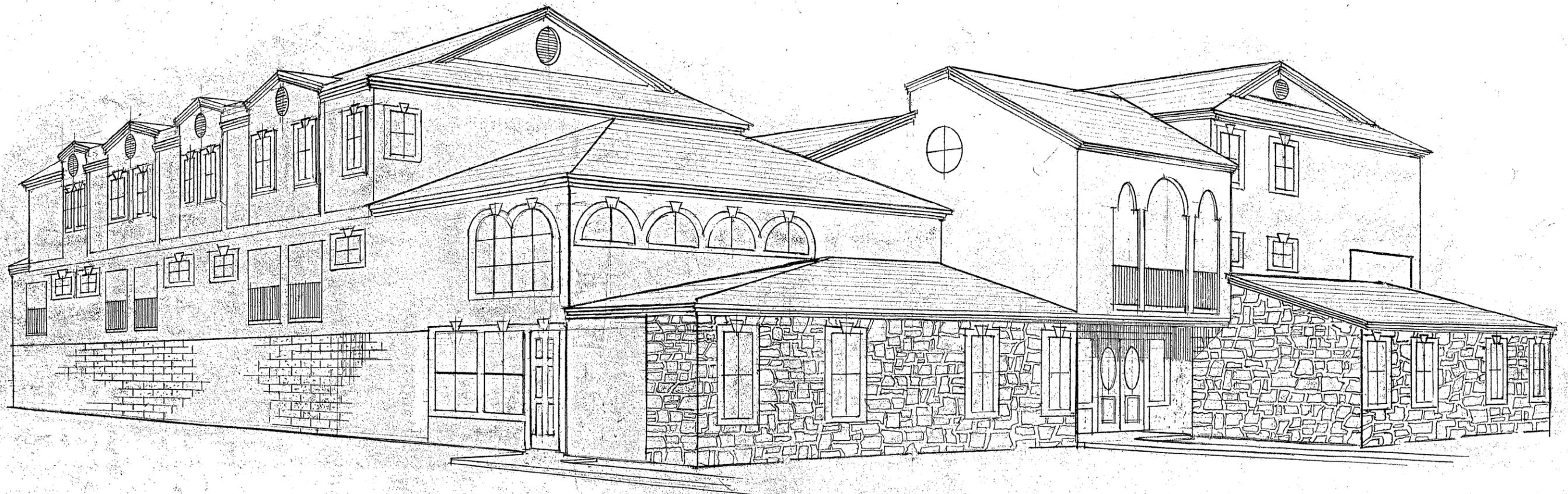
Staff recommends that the Design Review Board:

1. Receive report;
2. Consider public comment and the design of the project;
3. Recommend approval of the project to the City Council with recommendations provided by the Design Review Board.

Attachments:

1. Plans
2. Colored Plan
3. Building Colors
4. Pergola Samples
5. Building Samples with Similar Features

c: file MF 1147



TOM

NOTICE OF REQUIREMENT FOR SPECIAL INSPECTION
BUILDING DIVISION

You are hereby notified that, in addition to the inspection of construction provided by the Department of Planning and Land Use, Building Division, an approved registered special inspector is required to provide special inspection and/or structural observation during construction of the proposed project as indicated on this form. This form shall be completed. All work requiring special inspection must be identified as well as the name and phone number of the special inspector identified to perform the special inspections.

The registered special inspector shall be approved by the Building Official prior to the issuance of the building permit. Special inspectors having a current certification from the City of San Diego are approved as special inspectors for the type of construction for which they are certified.

Special inspection and/or structural observation requirements and reports shall be in compliance with the 2007 California Building Code, Chapter 17.

The inspections required to be performed by a special inspector are in addition to and do not change the requirements for the inspections normally required by the 2007 California Building Code as amended and adopted by the County of San Diego and performed by the Building Division inspectors.

The special inspector is not authorized to inspect and approve any work other than that for which they are certified. The special inspector is not authorized to accept alternate materials, structural changes, or any requests for plan changes. The special inspector is required to submit to the building inspector in the field written reports of all work that they inspected and approved. Approval of final inspection will not be granted by the Department of Planning and Land Use, Building Division, until a final report documenting required special inspections and correction of any discrepancies noted in the inspection reports has been submitted to the building inspector in the field and approved by the Building Division.

For occupancies in Group R-3 and occupancies in Group U that are accessory to a residential occupancy, some exceptions are permitted per the Department of Planning and Land Use, Building Division special inspection policy to not require special inspection or to allow structural observation in lieu of the required special inspections. These exceptions are noted in the table on page two of this form. In cases where the design engineer of record has specified a more restrictive requirement for special inspection and/or structural observation, the project shall comply with the requirements of the engineer of record.

Structural observation is the visual observation of the structural system by a registered design professional. A letter shall be provided describing the results of structural observation prior to approval of final inspection. The letter shall be submitted to the building inspector in the field and approved by the Building Division.

WORK REQUIRING SPECIAL INSPECTION	ITEM DESCRIPTION AND LOCATION	DESIGN STRENGTH	NAME OF SPECIAL INSPECTOR	PHONE NUMBER OF SPECIAL INSPECTOR
SPECIAL INSPECTIONS REQUIRED BY CBC SECTION 1704				
*FOR R-3 AND U OCCUPANCIES ACCESSORY TO RESIDENTIAL OCCUPANCIES				
STRUCTURAL OBSERVATION IS PERMITTED IN LIEU OF SPECIAL INSPECTION FOR ITEMS 2a, 2b, 2c, 2d, 2e, 2f, 2g, 2h, 2i, 2j, 2k, 2l, 2m, 2n, 2o, 2p, 2q, 2r, 2s, 2t, 2u, 2v, 2w, 2x, 2y, 2z, 3a, 3b, 3c, 3d, 3e, 3f, 3g, 3h, 3i, 3j, 3k, 3l, 3m, 3n, 3o, 3p, 3q, 3r, 3s, 3t, 3u, 3v, 3w, 3x, 3y, 3z, 4a, 4b, 4c, 4d, 4e, 4f, 4g, 4h, 4i, 4j, 4k, 4l, 4m, 4n, 4o, 4p, 4q, 4r, 4s, 4t, 4u, 4v, 4w, 4x, 4y, 4z, 5a, 5b, 5c, 5d, 5e, 5f, 5g, 5h, 5i, 5j, 5k, 5l, 5m, 5n, 5o, 5p, 5q, 5r, 5s, 5t, 5u, 5v, 5w, 5x, 5y, 5z, 6a, 6b, 6c, 6d, 6e, 6f, 6g, 6h, 6i, 6j, 6k, 6l, 6m, 6n, 6o, 6p, 6q, 6r, 6s, 6t, 6u, 6v, 6w, 6x, 6y, 6z, 7a, 7b, 7c, 7d, 7e, 7f, 7g, 7h, 7i, 7j, 7k, 7l, 7m, 7n, 7o, 7p, 7q, 7r, 7s, 7t, 7u, 7v, 7w, 7x, 7y, 7z, 8a, 8b, 8c, 8d, 8e, 8f, 8g, 8h, 8i, 8j, 8k, 8l, 8m, 8n, 8o, 8p, 8q, 8r, 8s, 8t, 8u, 8v, 8w, 8x, 8y, 8z, 9a, 9b, 9c, 9d, 9e, 9f, 9g, 9h, 9i, 9j, 9k, 9l, 9m, 9n, 9o, 9p, 9q, 9r, 9s, 9t, 9u, 9v, 9w, 9x, 9y, 9z, 10a, 10b, 10c, 10d, 10e, 10f, 10g, 10h, 10i, 10j, 10k, 10l, 10m, 10n, 10o, 10p, 10q, 10r, 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72g, 72h, 72i, 72j, 72k, 72l, 72m, 72n, 72o, 72p, 72q, 72r, 72s, 72t, 72u, 72v, 72w, 72x, 72y, 72z, 73a, 73b, 73c, 73d, 73e, 73f, 73g, 73h, 73i, 73j, 73k, 73l, 73m, 73n, 73o, 73p, 73q, 73r, 73s, 73t, 73u, 73v, 73w, 73x, 73y, 73z, 74a, 74b, 74c, 74d, 74e, 74f, 74g, 74h, 74i, 74j, 74k, 74l, 74m, 74n, 74o, 74p, 74q, 74r, 74s, 74t, 74u, 74v, 74w, 74x, 74y, 74z, 75a, 75b, 75c, 75d, 75e, 75f, 75g, 75h, 75i, 75j, 75k, 75l, 75m, 75n, 75o, 75p, 75q, 75r, 75s, 75t, 75u, 75v, 75w, 75x, 75y, 75z, 76a, 76b, 76c, 76d, 76e, 76f, 76g, 76h, 76i, 76j, 76k, 76l, 76m, 76n, 76o, 76p, 76q, 76r, 76s, 76t, 76u, 76v, 76w, 76x, 76y, 76z, 77a, 77b, 77c, 77d, 77e, 77f, 77g, 77h, 77i, 77j, 77k, 77l, 77m, 77n, 77o, 77p, 77q, 77r, 77s, 77t, 77u, 77v, 77w, 77x, 77y, 77z, 78a, 78b, 78c, 78d, 78e, 78f, 78g, 78h, 78i, 78j, 78k, 78l, 78m, 78n, 78o, 78p, 78q, 78r, 78s, 78t, 78u, 78v, 78w, 78x, 78y, 78z, 79a, 79b, 79c, 79d, 79e, 79f, 79g, 79h, 79i, 79j, 79k, 79l, 79m, 79n, 79o, 79p, 79q, 79r, 79s, 79t, 79u, 79v, 79w, 79x, 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87q, 87r, 87s, 87t, 87u, 87v, 87w, 87x, 87y, 87z, 88a, 88b, 88c, 88d, 88e, 88f, 88g, 88h, 88i, 88j, 88k, 88l, 88m, 88n, 88o, 88p, 88q, 88r, 88s, 88t, 88u, 88v, 88w, 88x, 88y, 88z, 89a, 89b, 89c, 89d, 89e, 89f, 89g, 89h, 89i, 89j, 89k, 89l, 89m, 89n, 89o, 89p, 89q, 89r, 89s, 89t, 89u, 89v, 89w, 89x, 89y, 89z, 90a, 90b, 90c, 90d, 90e, 90f, 90g, 90h, 90i, 90j, 90k, 90l, 90m, 90n, 90o, 90p, 90q, 90r, 90s, 90t, 90u, 90v, 90				



T. M. HYDE ARCHITECT C066805
 P.O. BOX 444 HOSPITAL BEACH
 CA 92038 PHONE (609) 764-7596



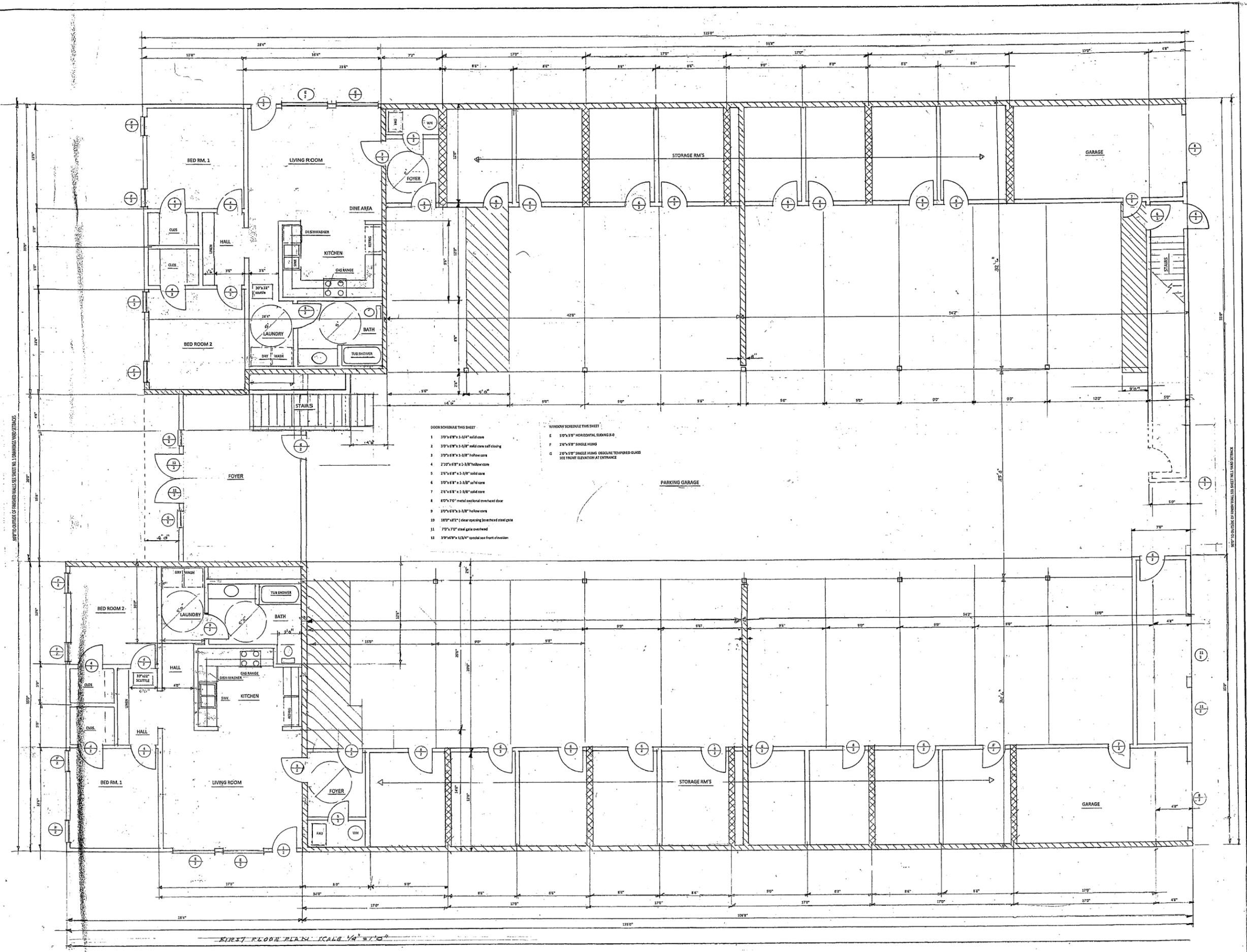
11 UNITS, 2 BATHS, 2 TOILETS, 2 HALLS, 2 ADA ACCESSIBLE UNITS, 2 STAIRS, 2 GARAGES WITH 2 HCP, 2 SPACES W/ 2 LOADING SPACES BETWEEN THEM, 2 PRIVATE GARAGES & 17-57419' PARKING SPACES, 16 STORAGE SPACES, 1 PANTRY, 1 LOBBY, 640 S. GARDEN ST. IMPERIAL BEACH, CA. 92332, ADJACENT TO PARK.

DATE 9-20-2014

REV. 7-19-2014

SHEET NO.

2



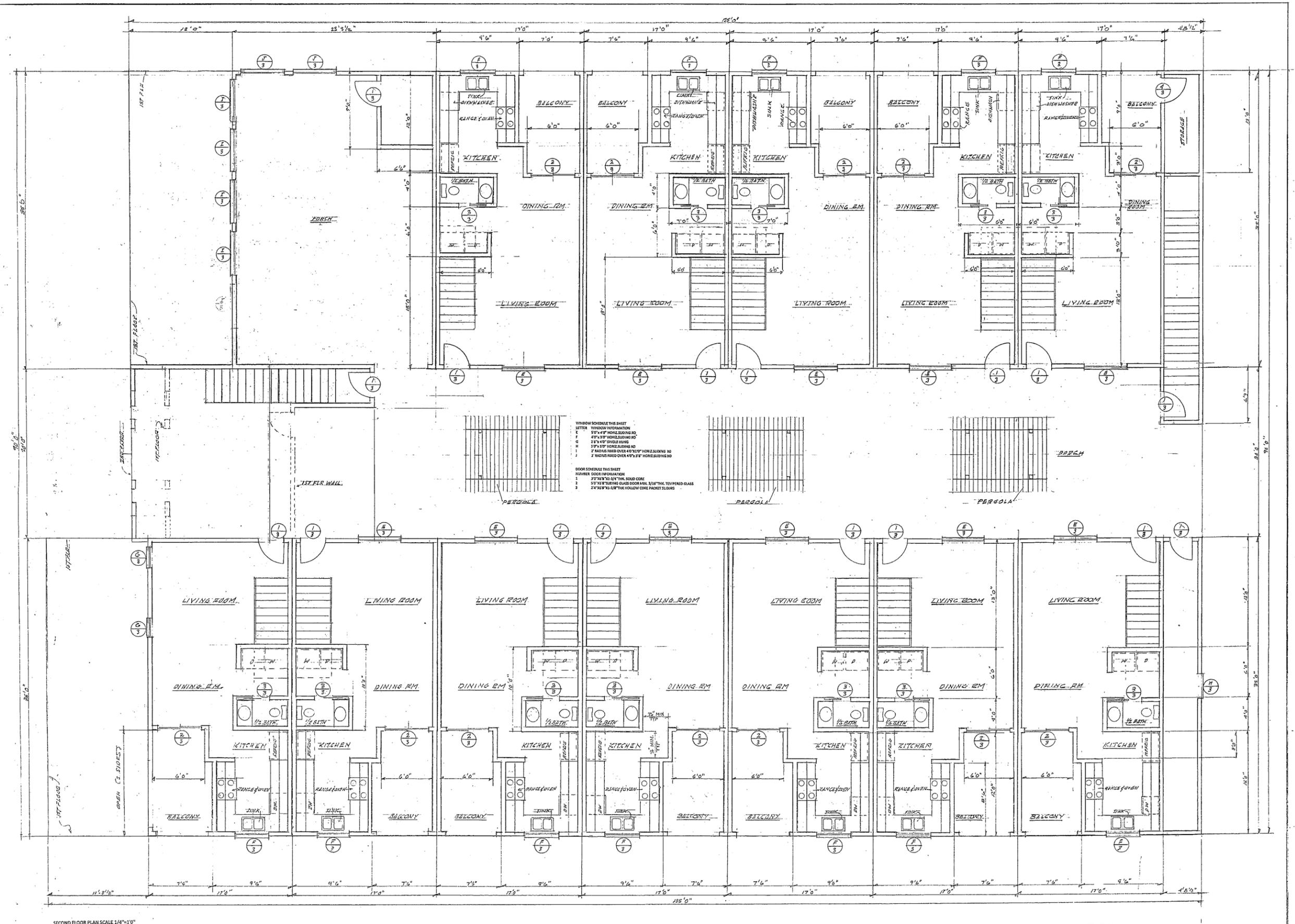


T.M. HOE ARCHITECTS, INC.
 P.O. BOX 454 IMPERIAL BEACH
 CALIFORNIA 92249
 TEL: (619) 435-7585

14 UNIT APARTMENTS 133 TOMPKINS HOUSE UNITS 2 ADA
 ACCESSIBLE UNITS, 1ST & 2ND FLOOR GARAGES WITH 2
 HCP SPACES W/ 2 LOADING SPACES BETWEEN THEM.
 2 PRIVATE GARAGES & 17-19 CPD PARKING SPACES, 16
 FOR THE MARIE ALLEN FAMILY LOT, 640 FLORIDA ST.
 IMPERIAL BEACH, CA. 92232, ADJACENT TO PARK

RDV-7-16-2014

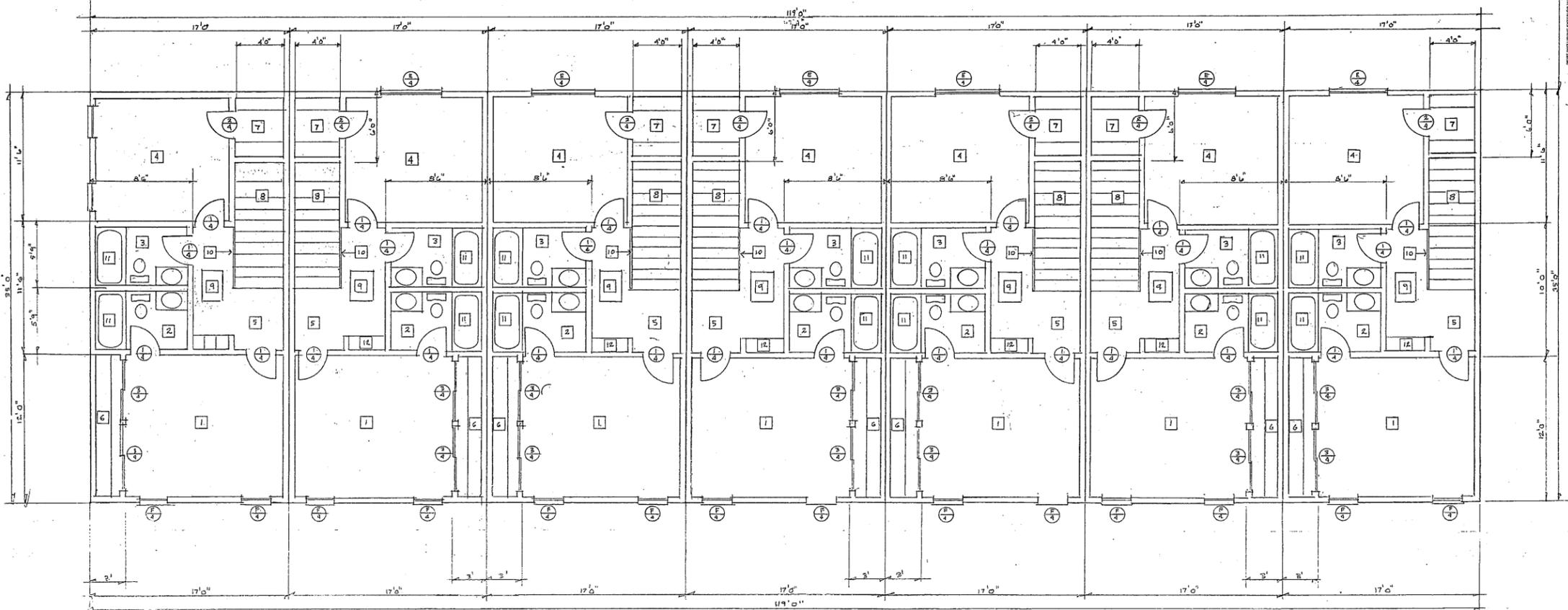
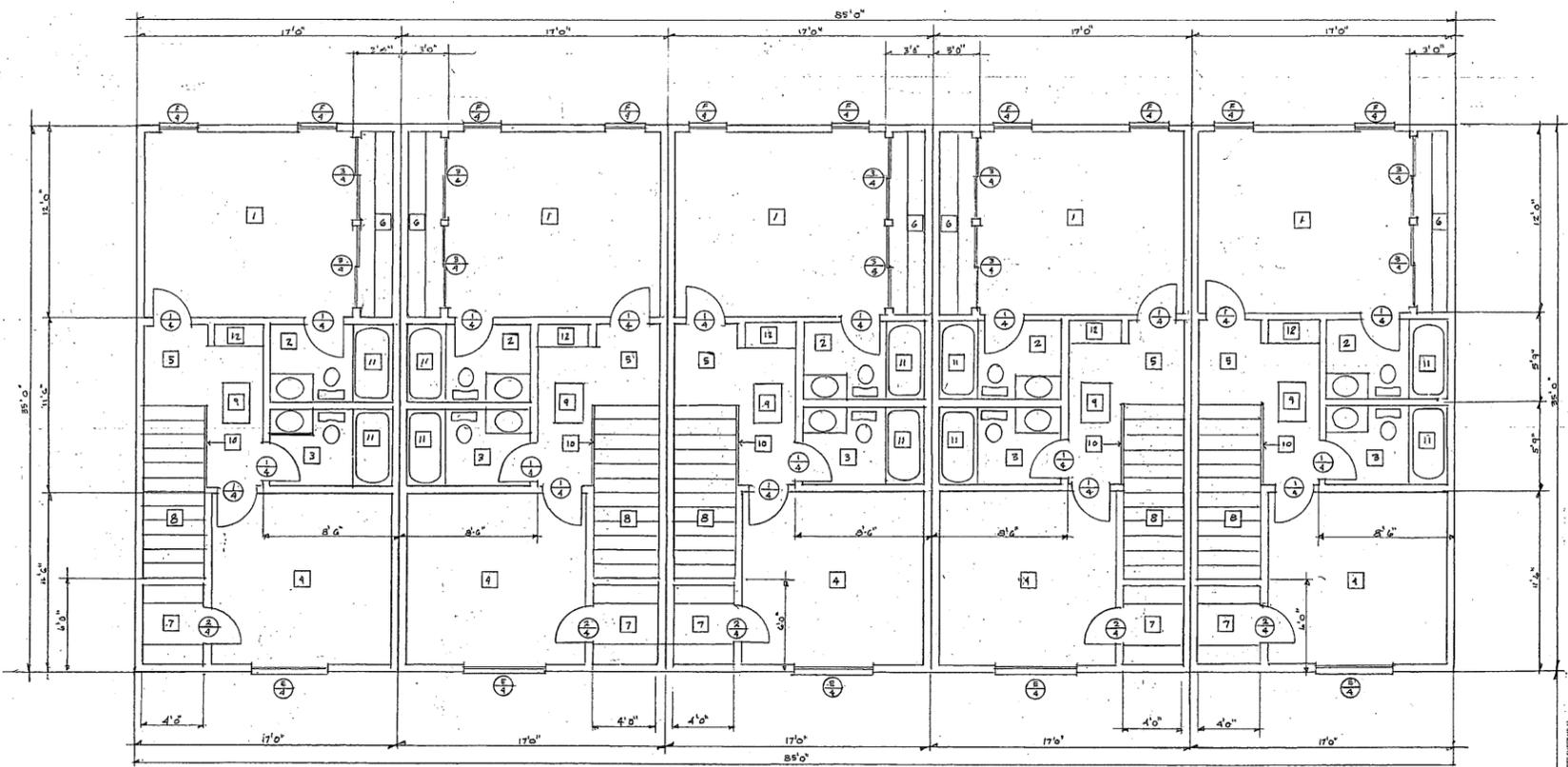
THEATXO



SECOND FLOOR PLAN SCALE 1/4"=1'-0"

DOOR SCHEDULE THIS SHEET		WINDOW SCHEDULE THIS SHEET VINYL	
1	2'6" x 6'9" 1-1/2" hollow core	E	50" x 49" Federal sliding
2	2'4" x 6'9" 1-1/2" hollow core	F	25" x 53" Single Hung
3	PAIR 2'6" x 6'9" 1-1/2" sliding bi-pass		

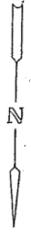
NUMBERED ITEMS SEE FLOOR PLAN	
1	BED ROOM 1
2	BATH 1
3	BATH 2
4	BED ROOM 2
5	HALL
6	WARDROBE
7	CLOSET
8	STAIRS
9	30" x 22" ATTIC SCUTTLE
10	WINDIGHT IRON HANDRAIL 42" HIGH
11	TUB & SHOWER COMBINATION
12	LINEN SHELVES WITH SWINGING DOORS



THIRD FLOOR PLAN SCALE 1/4"=1'-0"



TAMARA ARCHITECT C 06865
 PHONE (619) 424-2955
 ADDRESS 114
 BUREAU BLVD. CA 92033

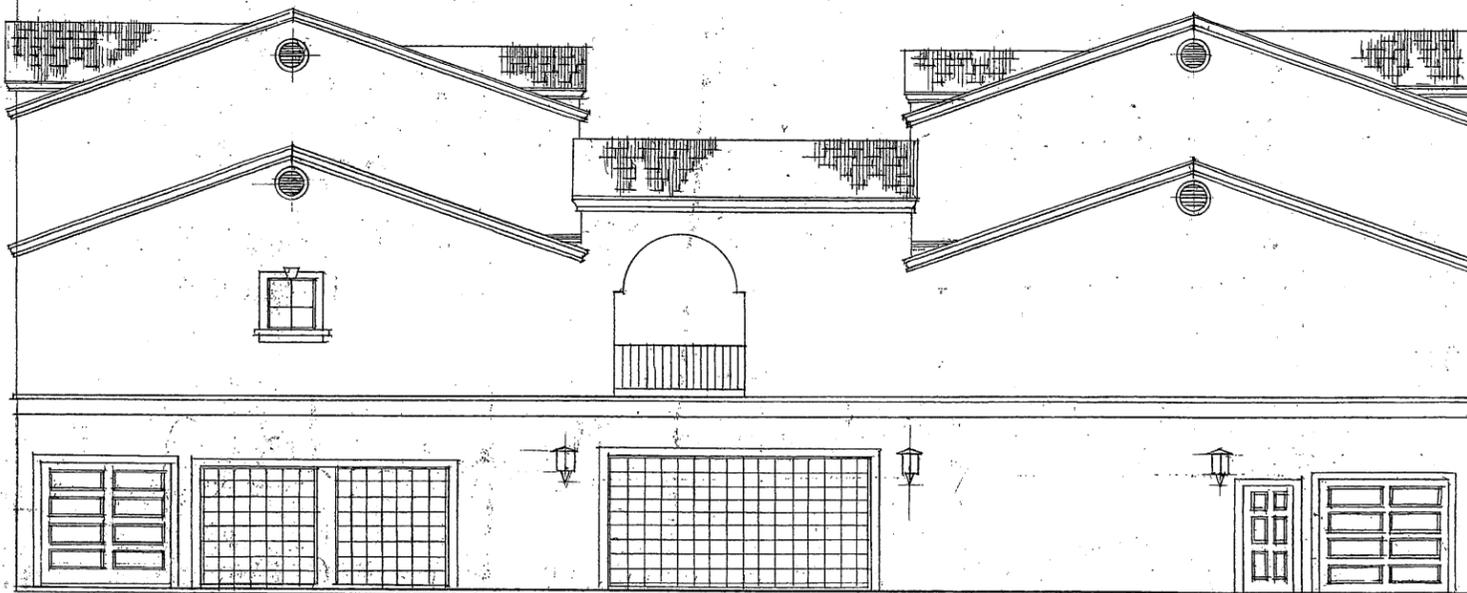


14 UNIT APARTMENT WITH 2 ADA
 ACCESSIBLE UNITS, SEPARATE PARKING SPACES,
 HCP SPACES W/ 5' LOADING SPACE BETWEEN THEM,
 2 PRIVATE GARAGES & 17-9x19' PARKING SPACES, 16
 STORAGE SPACES, 100' WALKWAY, 100' WALKWAY, 60' GORGE ST.
 IMPERIAL BEACH, CA 92032 ADJACENT TO PARK

DATE 3-20-2014
REVISED 03/20/14
SHEET NO
4



FRONT ELEVATION FACING FLORIDA STREET EAST 1/4"=1'-0"



REAR ELEVATION FACING ALLEY WEST 1/4"=1'-0"

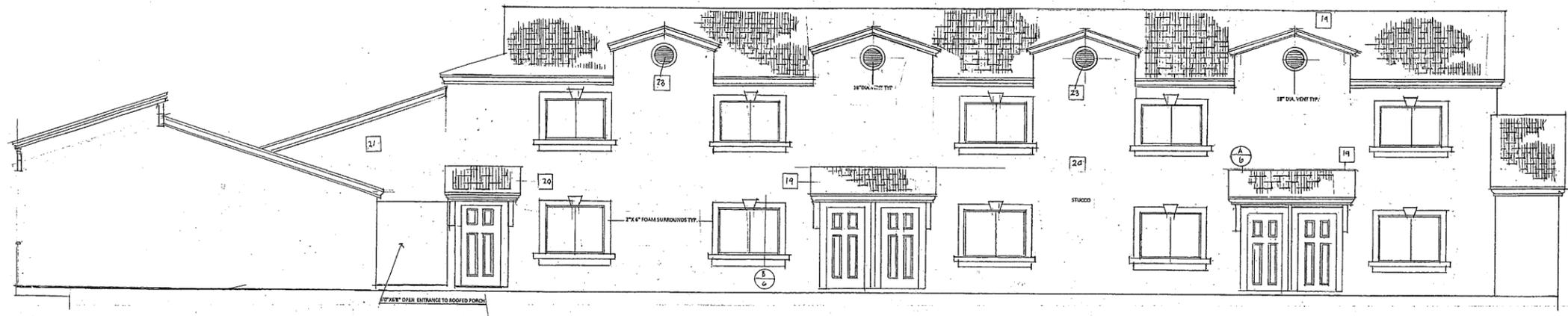
TAMMOE ARCHITECT CO/6605
P.O. BOX 444 IMPERIAL BEACH
CA 92033 PHONE (619) 424-7595

14 UNIT APARTMENT/13 TOWNHOUSE UNITS, 2 ADA
ACCESSIBLE UNITS, 1ST FLR + PARKING GARAGE WITH 2
HCP SPACES W/ 5' LOADING SPACE BETWEEN THEM.
10' WIDE DRIVEWAYS & 21' X 42' PARKING SPACES, LB
STORAGE SPACES.
FOR THE MIKE ALLEN FAMILY, LOTSITE 640 FLORIDA ST.
IMPERIAL BEACH CA 92032, ADJACENT TO PARK

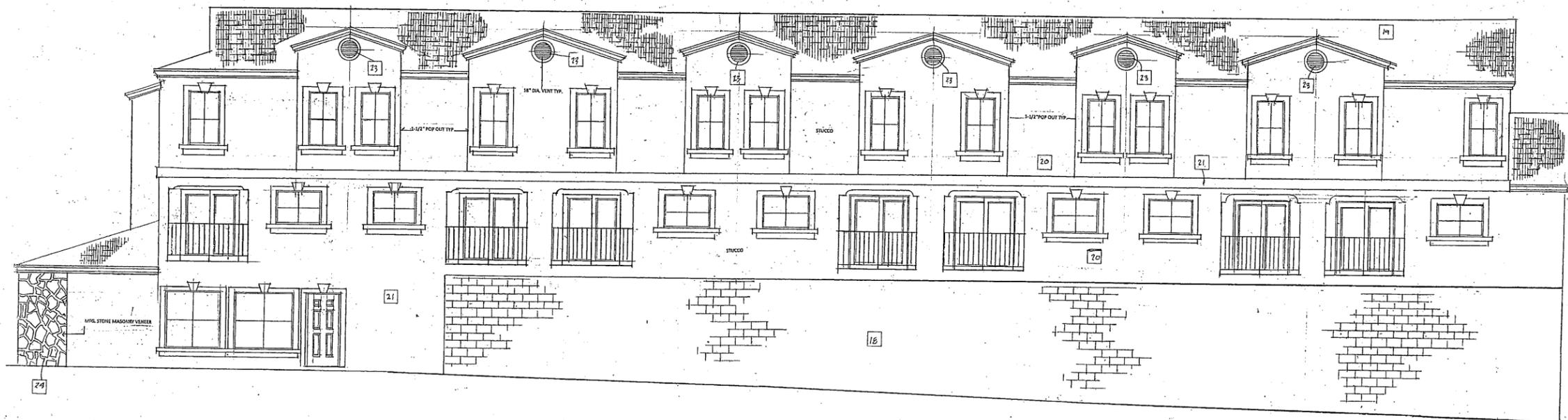
REV-3-16-2014



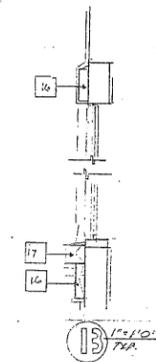
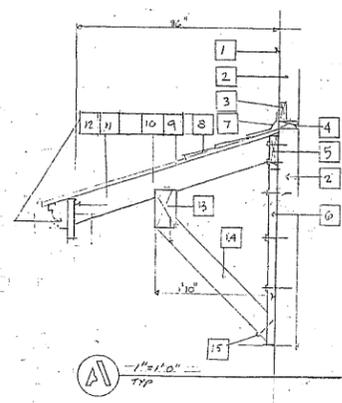
STATE OF CALIFORNIA
PUBLIC WORKS DIVISION
REGISTERED ARCHITECT
IMPERIAL COUNTY, CALIFORNIA
PROJECT NO. 14-0750



SOUTH 3 UNITS NORTH SIDE FACING PUBLIC SIDE SCALE 1/4"=1'-0"



NORTH 3 UNITS NORTH SIDE FACING PARK SCALE 1/4"=1'-0"



- NOTES
- NO. ITEM
 - NO.1 WALL
 - NO.2 GROUTED IN WALL
 - NO.3 2X4 FLAT BLOCK
 - NO.4 2X4 BLOCK
 - NO.5 2X4 LAG TO STUD 2-3/8" LAGS EACH STUD
 - NO.6 2X4 @ 16" O.C. LAGS TO 2X4 STUDS IN WALL
 - NO.7 G.I. FLASHING
 - NO.8 COUSING WITH SHIMMLES SEE NOTE 19
 - NO.9 1X4 V JOINT SPANTIA BOARD SINGLETENS
 - NO.10 2X4 RAFTERS MAX SPACING 24" O.C. SPACE EQUALLY
 - NO.11 2X6 BATT
 - NO.12 4" TYPICAL CROWN MOULD
 - NO.13 4X8 BEAM
 - NO.14 4X4 BRACE EACH END
 - NO.15 2-3/8" LAGS
 - NO.16 3-1/2" X 6" FOAM
 - NO.17 4" X 8" BOARD
 - NO.18 TEXTURED BLOCK
 - NO.19 ROOFING ROOFING TRIMMER/RAKE NATURAL SHAKENWOOD (OR EQ.) OVER 1/2" HIGHER FINE NATURAL CLAS A ASTH DRAIN EVALUATION 2005 (1 EN 1475 OF EQ.)
 - NO.20 CEILING PLASTER DIV W/ W/ LATH
 - NO.21 2X12 BEAM
 - NO.22 W/ROUGHT IRON SEE SEE TYP F-56A
 - NO.23 18" DIA WATER ROOFING VENT
 - NO.24 W/IG STONE VENER

STATE OF CALIFORNIA
PUBLIC WORKS DIVISION
REGISTERED ARCHITECT
IMPERIAL COUNTY, CALIFORNIA
PROJECT NO. 14-0750

DATE 8-20-2024

REV-7-15-2024

SHEET NO.



LANDSCAPING

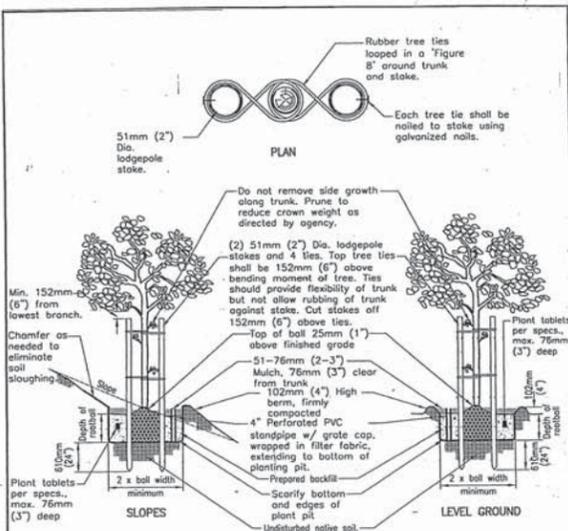
LANDSCAPING

SUPPLEMENT TO REGIONAL STANDARD DRAWING (L-SERIES)

DRAWING L-4

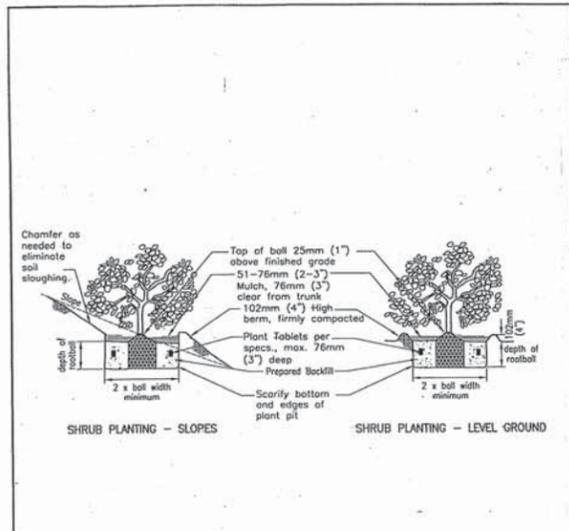
- NOTES:**
- Amend Note #3 to Read: If required to secure the grate, all bolts, nuts, and washers shall be Grade 316 stainless steel. All fabricated steel items shall be hot dipped galvanized after fabrication.
 - Add: 8. Adjacent sidewalk shall have a minimum clear width of four feet inches (4'-4") from the edge of grate.
 - Add: 9. Sidewalk cross slope shall be 1.5%.
 - Add: 10. Steel grate to have a permanent slip resistant finish.

Revision	By	Approved	Date	CITY OF SAN DIEGO - STANDARD DRAWING	CITY OF SAN DIEGO STANDARDS COMMITTEE
Original	DC	A. Ostrow	12/06		
				SUPPLEMENT TO REGIONAL STANDARD DRAWING ("L" SERIES)	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
				DRAWING NUMBER	SDL-100

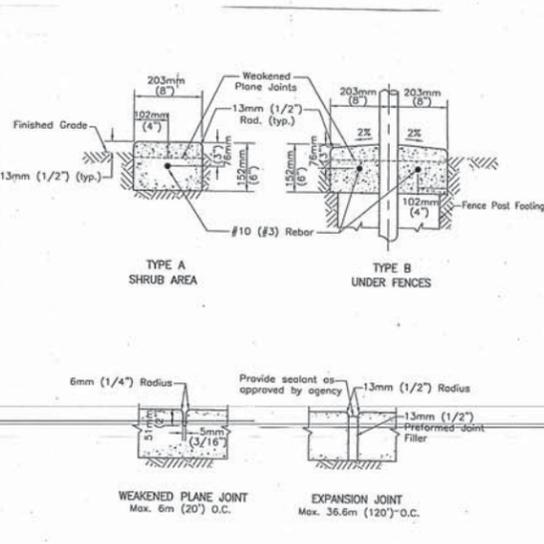


- NOTES:**
- Double stake #15 (15 gal.) and larger trees.
 - For single staked trees, place stake on windward side of tree.
 - Locate stakes outside of rootball.
 - Lodgepoles treated with Chromated Copper Arsenate (CCA) are not allowed.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	Kerschbaum	12/75			
ADD	M. Caro	02/03			
UPDATE	M. Caro	02/05			
				TREE PLANTING AND STAKING	DRAWING NUMBER
					L-1

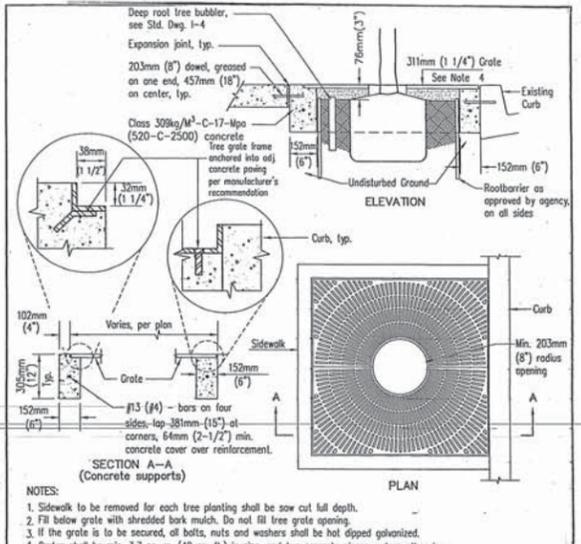


Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	Kerschbaum	12/75			
ADD	M. Caro	02/03			
UPDATE	M. Caro	02/05			
				SHRUB PLANTING	DRAWING NUMBER
					L-2



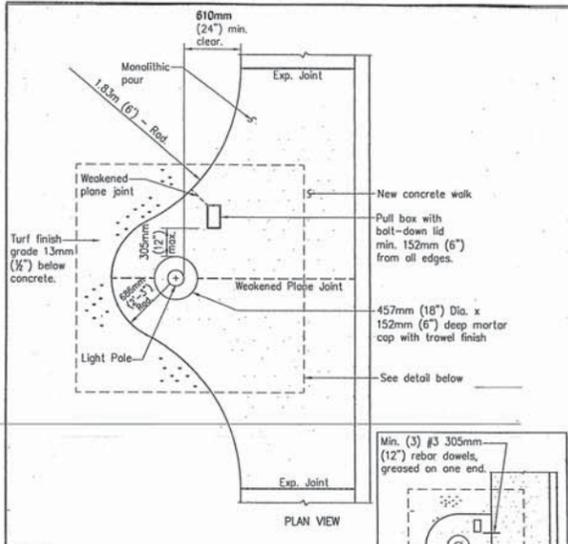
- NOTES:**
- Rebar shall be continuous with 305mm (12") overlap at splices.
 - Concrete shall be class 308kg/M³-C-17-Mpo (520-C-2500) and same color as any adjacent concrete.
 - Install weakened plane joints at each fence post.
 - Install expansion joints where the mowing strip abuts any concrete improvement and at location approved by agency.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	H. Hecht	10/82			
ADD	T. Stanton	03/03			
UPDATE	M. Caro	02/05			
				CONCRETE MOWING STRIP	DRAWING NUMBER
					L-3



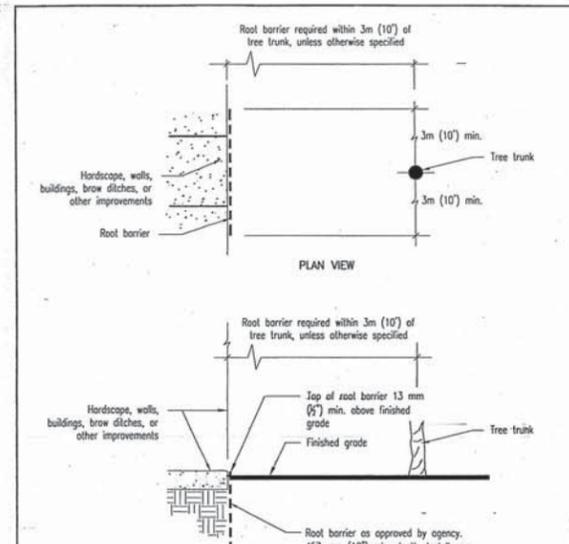
- NOTES:**
- Sidewalk to be removed for each tree planting shall be saw cut full depth.
 - Fill below grate with shredded bark mulch. Do not fill tree grate opening.
 - If the grate is to be secured, all bolts, nuts and washers shall be hot dipped galvanized.
 - Grates shall be min. 3.7 sq. m. (40 sq. ft.) in size, and two separate pieces, unless otherwise specified on the plans. Slot openings in grate design shall have 10mm (3/8") maximum width. Grate designs shall be in accordance with current A.D.A. standards as well as the latest edition of the Uniform Building Code, with a minimum uniform live load of 250 pounds per square foot in sidewalks, and have a method of symmetrical interior expandable rings/openings (detailed on the plans) as selected and approved by the agency.
 - Immediate notification shall be given to the Engineer of any below grade improvements encountered.
 - Set grate in frame prior to placement of pavement.
 - Tree shall be centered in grate opening.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	Parsons	10/92			
ADD	T. Stanton	03/03			
UPDATE	M. Caro	1/06			
				TREE GRATE	DRAWING NUMBER
					L-4



- NOTES:**
- See Electric Plans for fixture/pole/footing and pull box details.
 - Use monolithic pour for new construction.
 - Pole pads shall drain at 2% minimum in same direction as sidewalk.
 - Concrete pad shall be the same as specified for sidewalk.
 - Locate light poles in shrub areas where possible.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	Parsons	10/88			
ADD	T. Stanton	03/03			
UPDATE	M. Caro	09/05			
				LIGHT POLE PAD IN TURF AREAS	DRAWING NUMBER
					L-5



- NOTES:**
- Root barrier shall be installed adjacent to the improvement and not around the rootball.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Original	M. Caro	2/06			
				ROOT CONTROL BARRIER	DRAWING NUMBER
					L-6

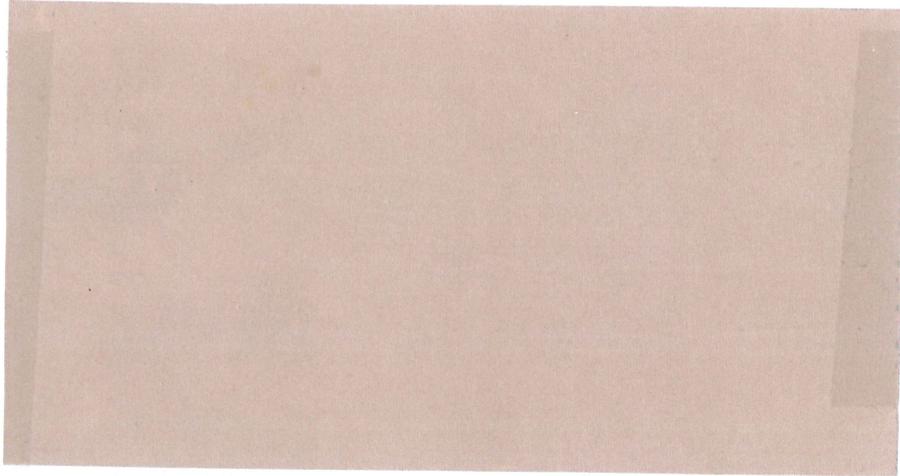


T.M. ARDE ARCHITECT CORP. PHONE (619) 424-7395

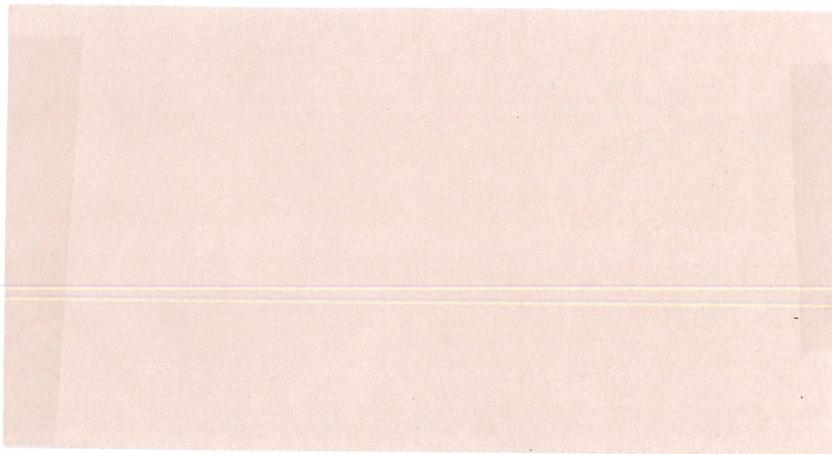
TOWNHOUSE UNITS, ADA ACCESSIBLE UNITS, 1ST FLOOR GARAGE WITH 2 HCP SPACES WITH 9FT LOADING SPACE, 2 HCP STORAGE SPACES, 2 HCP STORAGE SPACES, E ALLEN FAMILY FORBES 640 FLORIDA STREET IMPERIAL BEACH AGENT TO PARK.



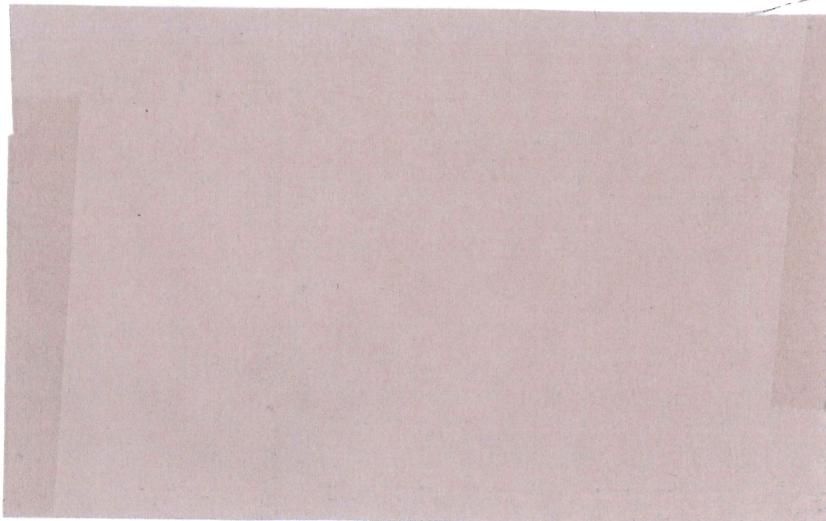
3A. La Habra X-475 Viejo



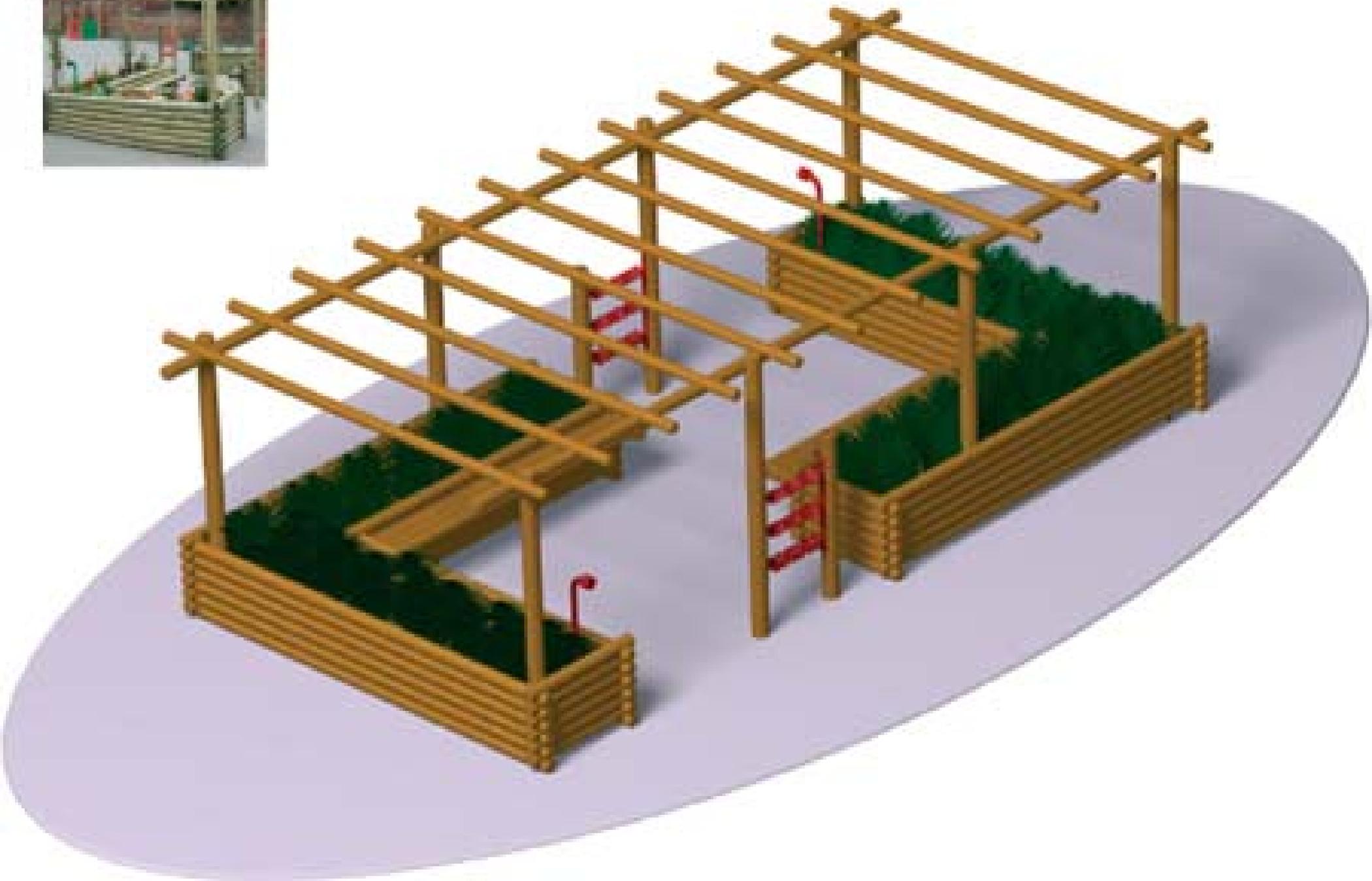
3B. La Habra X-97 Pacific Sand



3C. La Habra X-278 Trabuco





















TOLK

NO PARKING
EXCEPT FOR
LOADING & UNLOADING









2517
1012-1038

1031-1034
1021-1024
1012-1014

1012



NO
**PARKING
FIRE LANE**
VIOLATORS SUBJECT
TO CITATION AND/OR
TOW
CVC 22658(A)
CVC 22500.1,
SOPD (619) 531-2844



6410

THE VILLAGE
MISSION VALLEY