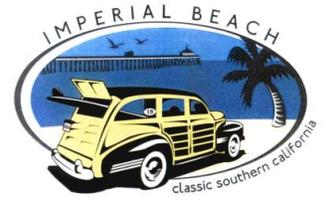




AMENDED AGENDA



CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD SPECIAL MEETING

THURSDAY, FEBRUARY 5, 2015– 4:00 P.M.

**Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Larissa Lopez at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll call of members: Nakawatase, Bowman, Lopez, Schaaf

2.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. In accordance with State law, the Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to staff or placed on a future agenda.

3.0 CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately.

3.1 MOTION TO APPROVE THE MINUTES OF THE AUGUST 1, 2014 MEETING.

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 CITYMARK COMMUNITIES (APPLICANT); REGULAR COASTAL PERMIT (CP 140050), CONDITIONAL USE PERMIT (CUP 140051) DESIGN REVIEW CASE (DRC 140052), SITE PLAN REVIEW (SPR 140053), AND TENTATIVE MAP (TM 140054) FOR THE DEMOLITION OF NINE EXISTING APARTMENT UNITS AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH 11 RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 110 EVERGREEN AVENUE (APNs 625-351-25-00 & 625-351-26-00). MF1169

4.2 REPORT: CITYMARK COMMUNITIES (APPLICANT); ADMINISTRATIVE COASTAL PERMIT (ACP 140055), CONDITIONAL USE PERMIT (CUP 140056), DESIGN REVIEW CASE (DRC 140057), SITE PLAN REVIEW (SPR 140058), AND TENTATIVE PARCEL MAP (TM 140059) FOR THE DEMOLITION OF AN EXISTING GARAGE AND CONSTRUCTION OF THREE NEW RESIDENTIAL CONDOMINIUM UNITS AT 119 ELM AVENUE (APN 625-351-02-00). MF 1170.

5.0 INFORMATIONAL ITEMS/REPORTS

6.0 ADJOURNMENT

/s/
LARISSA LOPEZ,
ADMINISTRATIVE ASSISTANT (TEMP)

**DESIGN REVIEW BOARD OF
THE CITY OF IMPERIAL BEACH**

SPECIAL MEETING

**City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

FRIDAY, AUGUST 1, 2014

In accordance with City policy, all Design Review Board meetings are recorded in their entirety and recordings are available for review. These minutes are a brief summary of actions taken.

1.0 CALL TO ORDER

CHAIRPERSON NAKAWATASE called the Special meeting to order at 4:05 p.m.

ROLL CALL

BOARD MEMBERS PRESENT: Lopez, Bowman, Schaff, Nakawatase, Phelps (arrived at 4:10 p.m.)
BOARD MEMBERS ABSENT: None
STAFF PRESENT: Assistant City Manager Wade, Senior Planner Foltz, City Clerk Hald

2.0 PUBLIC COMMENTS

None.

3.0 CONSENT CALENDAR

3.1 MOTION BY SCHAFF, SECOND BY LOPEZ, TO APPROVE THE MINUTES FOR THE JUNE 30, 2014 DRB SPECIAL MEETING.

MOTION BY. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: LOPEZ, SCHAFF, NAKAWATASE

NOES: NONE

ABSENT: PHELPS

ABSTAIN: BOWMAN

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: INTEGRAL COMMUNITIES (OWNER/APPLICANT); DESIGN REVIEW CASE (DRC 130028), SITE PLAN REVIEW (SPR 130029), TENTATIVE MAP (TM 130030), AND ENVIRONMENTAL INITIAL ASSESSMENT (EIA 130031) FOR THE DEMOLITION OF AN EXISTING RECREATION VEHICLE PARK AND CONSTRUCTION OF 193 NEW RESIDENTIAL CONDOMINIUM UNITS AT 500 HIGHWAY 75 IN THE C/MU-1 (GENERAL COMMERCIAL & MIXED-USE) ZONE. MF 1100.

BOARD MEMBER PHELPS arrived at 4:10 p.m.

SENIOR PLANNER FOLTZ gave a PowerPoint presentation on the item. He reported that the project will have 193 residential condominium units and a Class 1 bike path would extend from Highway 75 to the Bayshore Bikeway. He reviewed vehicular access, the greenbelt areas, recreational amenities, parking and the location of the bike path. He also reviewed the site plan, wetland buffer, the bike path connection and project elevations. He recommended

consideration of the project design and approval of the project to the city Council with recommendations by the Design Review Board.

MARC PERLMAN, representing Integral Communities, announced Damian Taitano, with Summa Architecture, will show a video of the project. He also stated that Don Patterson, landscape architect and Melissa Krause, Project Manager with Integral Communities are available to answer questions.

DAMIAN TAITANO, with Summa Architecture, showed a video of the project and described the project and reviewed the design.

BOARD MEMBER BOWMAN expressed concern about the proposal of only one recreational area and questioned if this was adequate.

SENIOR PLANNER FOLTZ responded that there is no minimum requirement per the municipal code and commented that they are usually market driven.

MARK PEARLMAN also responded by saying there is a pool, Jacuzzi and tot lot in the main recreational area, passive areas between buildings where children can play, there are areas with tables and barbeques, and where there are connections to the bike trails there will be bike storage lockers and there will be community bikes available to residents. He also added that the beach, located nearby, is also a recreational area.

In response to Board Member Bowman's comments about a housing community that has existed since the 1960's and has several pools, open lawn areas and private patios, DAMIAN TAITANO explained that where you see multiple pools and other amenities are usually with rental product because they have to entertain and sell to people. Renters pay for it as they go. Homeowners, on the other hand, don't want to pay for the amenities in perpetuity. Having one of everything is more desirable to a homeowner because the HOA fee isn't equal to the mortgage. There needs to be a balance of the financial impacts.

In response to Board Member Bowman's question about connecting the Bike path to the south side of SR75, ASSISTANT CITY MANAGER WADE responded by giving a history of the City's efforts for a long desired immediate connection from the Bayshore Bikeway to the beach. A project that was in the works (the Bike Spur and part of the TEA 21 Silver Strand Enhancement Project) for a Class 1 facility that connected Rainbow Dr. to Palm Ave. was not pursued for a number of reasons, most of which related to excessive costs. City Council directed staff to find an alternate route. He reviewed the concepts for getting bicyclists safely from Palm Ave. to the beach, up Rainbow Dr. and to the Class 1 Facility.

In response to questions of the Board, ASSISTANT CITY MANAGER WADE and SENIOR PLANNER FOLTZ explained pedestrians and bicycles can enter and exit through the gate on 7th Street. Vehicles would have to use the driveway off of SR75.

CHAIR NAKAWATASE expressed concern about traffic on SR75 when elementary school children are driven to and from school. She questioned if it is possible to alter the 7th Street entryway to allow for residential vehicular access.

ASSISTANT CITY MANAGER WADE stated that at a community workshop where neighborhood residents were in attendance, the neighbors did not want access through their neighborhood due to traffic impacts. He stressed that there is a need to meet the needs and the desires of existing residents as well as what functions well from a traffic impact standpoint. He

stated that the entryway could be redesigned but the applicant would need to revisit their traffic impact analysis to determine the impacts to the neighborhood streets.

BOARD MEMBER LOPEZ suggested exit only access off of 7th Street.

In response to Board Member Phelps question about impacts to Rainbow Ave., ASSISTANT CITY MANAGER WADE stated that in out-year 2030 scenarios that goes to a Level of Service D in the evening. So there are potential impacts but there is little that the developer can do to control that intersection because SR75 is controlled by Caltrans. He also stated that the City is planning and designing pedestrian enhancements and crosswalks (a separate project) on SR 75 and the applicant has expressed that they will pay their fair share towards the construction of the improvements.

In response to Board Member Bowman's question regarding visitor parking, DAMIAN TAITANO stated that there are 18 designated parking spaces and he noted that they are offering more parking than is required.

BOARD MEMBER SCHAFF expressed concern about maintenance/removal of trash containers by homeowners and he was also concerned about the elementary school traffic.

With regard to the design of the project, the following comments were made:

Three residential units adjacent to 7th Street:

BOARD MEMBER BOWMAN commented that it is odd that there are only three homes in that area.

BOARD MEMBER LOPEZ suggested that a secondary emergency gate be installed to allow the three homes access off of 7th Street.

With regard to color, BOARD MEMBER LOPEZ likes the continuity of the project.

In response to Board Member Schaff's question about color, DAMIAN TAITANO stated that the original color was more intense. The proposed color is as presented which are muted colors of blue, green and beige.

BOARD MEMBERS BOWMAN AND SCHAFF stated that they like the proposed colors.

Two-story and Three-story condominiums:

No changes were recommended.

CHAIR NAKAWATESE stated that the use of space was very well thought out, the easement for mitigation, the bikepath and the entryway on Highway 75 were generous gifts to the community. She supported the project.

There were no public comments.

The Design Review Board discussed their recommendations.

MOTION BY NAKWATASE, SECOND BY LOPEZ, TO ACCEPT THE DESIGN REVIEW CASE (DRC 130028)), SITE PLAN REVIEW (SPR 130029), TENTATIVE MAP (TM 130030), AND ENVIRONMENTAL INITIAL ASSESSMENT (EIA 130031) AS PRESENTED WITH A CONDITION THAT THE 7TH STREET EMERGENCY ACCESS LANE BE AN EXIT ONLY GATE FOR THE RESIDENTS.

Discussion:

BOARD MEMBER SCHAFF stated that the motion did not include a consideration of a specific timeframe. He questioned if it was to be exit only at all times.

BOARD MEMBER BOWMAN stated that there was a comment about making the access lane accessible to the three single family homes.

BOARD MEMBER LOPEZ clarified that it was only a suggestion.

CHAIR NAKAWATASE stated that she would modify her motion as follows:

MOTION BY NAKAWATASE, SECOND BY LOPEZ, TO ACCEPT THE DESIGN REVIEW CASE (DRC 130028)), SITE PLAN REVIEW (SPR 130029), TENTATIVE MAP (TM 130030), AND ENVIRONMENTAL INITIAL ASSESSMENT (EIA 130031) AS PRESENTED WITH A CONDITION THAT THE 7TH STREET EMERGENCY ACCESS LANE BE AN EXIT ONLY GATE FOR THE RESIDENTS BETWEEN THE HOURS OF 6:00 A.M. TO 9:00 A.M. MOTION CARRIED BY THE FOLLOWING VOTE:

**AYES: BOARD MEMBERS: PHELPS, LOPEZ, BOWMAN, SCHAFF, NAKAWATASE
NOES: BOARD MEMBERS: NONE
ABSENT: BOARD MEMBERS: NONE
ABSTAIN: BOARD MEMBERS: NONE**

5.0 INFORMATIONAL ITEMS/REPORTS

ASSISTANT CITY MANAGER WADE stated that the design for 9th St. and Palm Ave. project is being refined and it will be presented to the Design Review Board in the near future.

6.0 ADJOURNMENT

CHAIRPERSON NAKAWATASE adjourned the meeting at 5:25 p.m.

Approved:

Shirley Nakawatase,
DRB Chairperson

Attest:

Jacqueline M. Hald, MMC
City Clerk



**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

MEETING DATE: FEBRUARY 5, 2015

ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT
 GREG WADE, ASSISTANT CITY MANAGER/COMMUNITY DEVELOPMENT DIRECTOR
 JIM NAKAGAWA, AICP, CITY PLANNER
 TYLER FOLTZ, SENIOR PLANNER

SUBJECT: REPORT: CITYMARK COMMUNITIES (APPLICANT); REGULAR COASTAL PERMIT (CP 140050), CONDITIONAL USE PERMIT (CUP 140051), DESIGN REVIEW CASE (DRC 140052), SITE PLAN REVIEW (SPR 140053), AND TENTATIVE MAP (TM 140054) FOR THE DEMOLITION OF NINE EXISTING APARTMENT UNITS AND CONSTRUCTION OF A NEW MIXED-USE DEVELOPMENT WITH 11 RESIDENTIAL CONDOMINIUM UNITS ABOVE COMMERCIAL UNIT(S) AT 110 EVERGREEN AVENUE (APNs 625-351-25-00 & 625-351-26-00). MF 1169.

BACKGROUND:

This is an application (MF 1169) for a Regular Coastal Permit (CP 140050), Conditional Use Permit (CUP 140051), Design Review Case (DRC 140052), Site Plan Review (SPR 140053), and Tentative Map (TM 140054) proposing to demolish nine existing apartment units and construct a mixed-use development with 11



residential condominium units above commercial space at 110 Evergreen Avenue (APNs 625-351-25-00 & 625-351-26-00), which is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The project is subject to design review by the Design Review Board because it will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC) 19.83.020).



ANALYSIS:

The project site includes two parcels that would be combined into one lot measuring 14,288 square feet fronting Seacoast Drive and Evergreen Avenue (northeast corner of Seacoast Drive and Evergreen Avenue) in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The property to the north of the site is commercial, the property to the south is mixed-use, the property to the west is Pier Plaza, and the property to the east is residential.

The three-story project proposes 3,326 square feet of commercial space on the ground floor and 11 residential dwelling units that would locate above the first floor. The building would provide pedestrian access to the commercial space from Seacoast Drive. Pedestrian access to the residential units would be provided from Evergreen Avenue and also from the parking area. Three parking spaces would be provided for the commercial space and 17 parking spaces would be provided for the residential units. Six additional tandem parking spaces would be provided for the residences, though these would not count toward meeting the required parking standards (IBMC Section 19.48.110.B). The commercial parking spaces would access off of the alley and the residential parking spaces would locate off of the alley within an at-grade parking garage.

The proposed project design would contribute positively in making an architectural statement along this commercial corridor and it is staff's opinion that the proposed design conforms to the intent and purpose of the design standards outlined in IBMC Section 19.83.010 and in the City's General Plan. The applicant's design provides varied rooflines and architectural relief through the incorporation of building pop-outs. In addition, the project would provide architectural interest on all elevations with varied building materials such as hardy board siding, stucco, perforated metal, roll-up glass doors, steel tube hand rails, masonry, and wood elements.

Landscaping would be provided along the east and south property lines and would also be provided within the courtyard areas and public right-of-way. The proposed landscaping would

be drought tolerant and would include shrubs, trees, and groundcover. Various trees would be provided in the courtyard and public right-of-way on Seacoast Drive and Evergreen Avenue.

General Plan/Zoning Consistency:

C/MU-2 (Seacoast Commercial and Mixed-use) Zone: The purpose of the C/MU-2 Zone is to provide land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who use the beach area. It is intended that the dominant type of commercial activity in the C/MU-2 Zone will be visitor-serving retail such as specialty stores, surf shops, restaurants, and hotels and motels. Mixed-use and multiple family residences are also permitted in the C/MU-2 Zone and in the Seacoast Mixed Use/Residential Overlay Zone. The development standards of the C/MU-2 Zone encourage pedestrian activity through the design and location of building frontages and parking provisions (IBMC Section 19.27.010). The proposed mixed-use project meets the purpose and intent of the land use designation.

C/MU-2 STANDARDS	PROVIDED/PROPOSED
<p>Maximum density of one dwelling unit for every one thousand five square feet of lot area, or if located on the east side of Seacoast Drive or Palm Avenue, east of Seacoast Drive, one dwelling unit for each one thousand two hundred and ten gross square feet of lot area with approval of a conditional use permit by the City Council that demonstrates compliance with two or more development incentives (Section 19.27.020).</p>	<p>The property measures 14,288 square feet and proposes 11 units at a density of one unit for each 1,210 sq. ft. of lot area, which will require approval of a conditional use permit by the City Council. The two development incentives proposed by the applicant are as follows: 1) At least 25% of the proposed residential units will be three-bedroom units (72.7% proposed); 2) Entire project will achieve Leadership in Energy and Environmental Design (LEED) Green Building Rating System certification, a comparable green building certification, or will demonstrate the ability to achieve certification.</p>
<p>Yard requirements for the C/MU-2 zone are as follows (Section 19.27.040): A. On property fronting on Seacoast Drive, the front of each building shall be set on the front property line. For purposes of this requirement an arcade is considered a part of the building.</p>	<p>A. The project fronts Seacoast Drive with the building and arcade/patio.</p>
<p>Stepback requirements for the C/MU-2 Zone are as follows (Section 19.27.041): A. On property with a side or rear yard abutting a residential zone, the second-floor stepback shall be a minimum of five feet from the abutting residential property line and the third-floor stepback shall be a minimum of ten feet from the abutting residential property line. B. Stepbacks are not required where the ten-foot setback is required or observed for at least fifty percent of the property line abutting residential</p>	<p>A. The second and third floors are stepped back ten feet from the abutting residential property to the east. B. The project provides the required stepbacks as required for the second and third floors.</p>

<p>property. C. On properties fronting Seacoast Drive, an upper-story setback of five to ten feet is required for a minimum of fifty percent of street-facing facades along Seacoast Drive.</p>	<p>C. The property fronts Seacoast Drive and provides an upper-story setback of five to ten feet for at least fifty percent of street-facing facades.</p>
<p>Minimum lot size of 3,000 square-feet (Section 19.27.050).</p>	<p>The lot size measures 14,288 square feet.</p>
<p>Minimum street frontage of 30 feet (Section 19.27.060).</p>	<p>The Seacoast Drive frontage is approximately 95 feet and the Evergreen Avenue frontage is approximately 150 feet.</p>
<p>Maximum height of three stories or thirty feet, whichever is less, except as follows (Section 19.27.070): Properties east of Seacoast Drive shall have a height limit not to exceed three stories and thirty-five feet with approval of a conditional use permit that demonstrates compliance with the following: a. Side yard setbacks and/or stepbacks have been incorporated into the project to protect street-end public views towards the ocean; b. Two or more of the development incentives listed in Section 19.27.020(A)(5).</p>	<p>The project proposes a building height of 35 feet and is requesting a conditional use permit. a. The project incorporates the required setbacks and stepbacks and would not impact street-end public views. b. The project is proposing the following development incentives: 1) At least 25% of the proposed residential units will be three-bedroom units (72.7% proposed); 2) Entire project will achieve Leadership in Energy and Environmental Design (LEED) Green Building Rating System certification, a comparable green building certification, or will demonstrate the ability to achieve certification.</p>
<p>All commercial spaces on the ground floor shall have a minimum fifteen-foot floor-to-ceiling height; and single-story commercial buildings shall have a minimum building height of twenty feet (Section 19.27.070.B).</p>	<p>The project is proposing a floor-to-ceiling height of 13.5 feet for the commercial space. The project is requesting an administrative adjustment of 10% to deviate from the typical 15 foot requirement due to height limitations (Section 19.84.150).</p>
<p>No buildings shall be located less than five feet from any other building on the same lot. (Section 19.27.080)</p>	<p>Only one building is located on the lot.</p>
<p>Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.030).</p>	<p>The 14,288 square foot lot requires a minimum of 2,143 square feet of landscaping (14,288 x .15 = 2,143). 2,181 square feet of landscaping is proposed.</p>

<p>Required parking spaces for multiple-family residential in the C/MU-2 Zone: 1.5 spaces per dwelling unit. A 25% reduction may be allowed for vertical mixed-use (IBMC 19.48.035).</p> <p>The C/MU-2 Zone requires 1 space per 1,000 gross square feet of commercial space. A 25% reduction may be allowed for vertical mixed-use (IBMC 19.48.035).</p>	<p>11 residential units are proposed for the project in total, which would require 16.5 parking spaces. A 25% reduction would allow for a minimum of 12 parking spaces ($16.5 \times .25 = 4.125$; $16.5 - 4.125 = 12.375$ required spaces). However, 17 parking spaces are proposed for the residential units. Six additional tandem parking spaces would be provided for the residences, though these would not count toward meeting the required parking standards.</p> <p>The project proposes 3,326 square feet of commercial space, which would require 3 parking spaces. A 25% reduction would allow for 2 commercial parking spaces ($3 \times .25 = .75$; $3 - .75 = 2.25$ required spaces). However, 3 commercial parking spaces are proposed.</p>
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Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial
South	C/MU-2 (Seacoast Comm. & Mixed-Use)	Mixed-Use
East	R-2000 (Medium Density Res.)	Residential
West	PF (Public Facility)	Pier Plaza

ENVIRONMENTAL IMPACT:

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 as a Class 32 project (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$11,500.00 to fund processing of the application.

DEPARTMENT RECOMMENDATION:

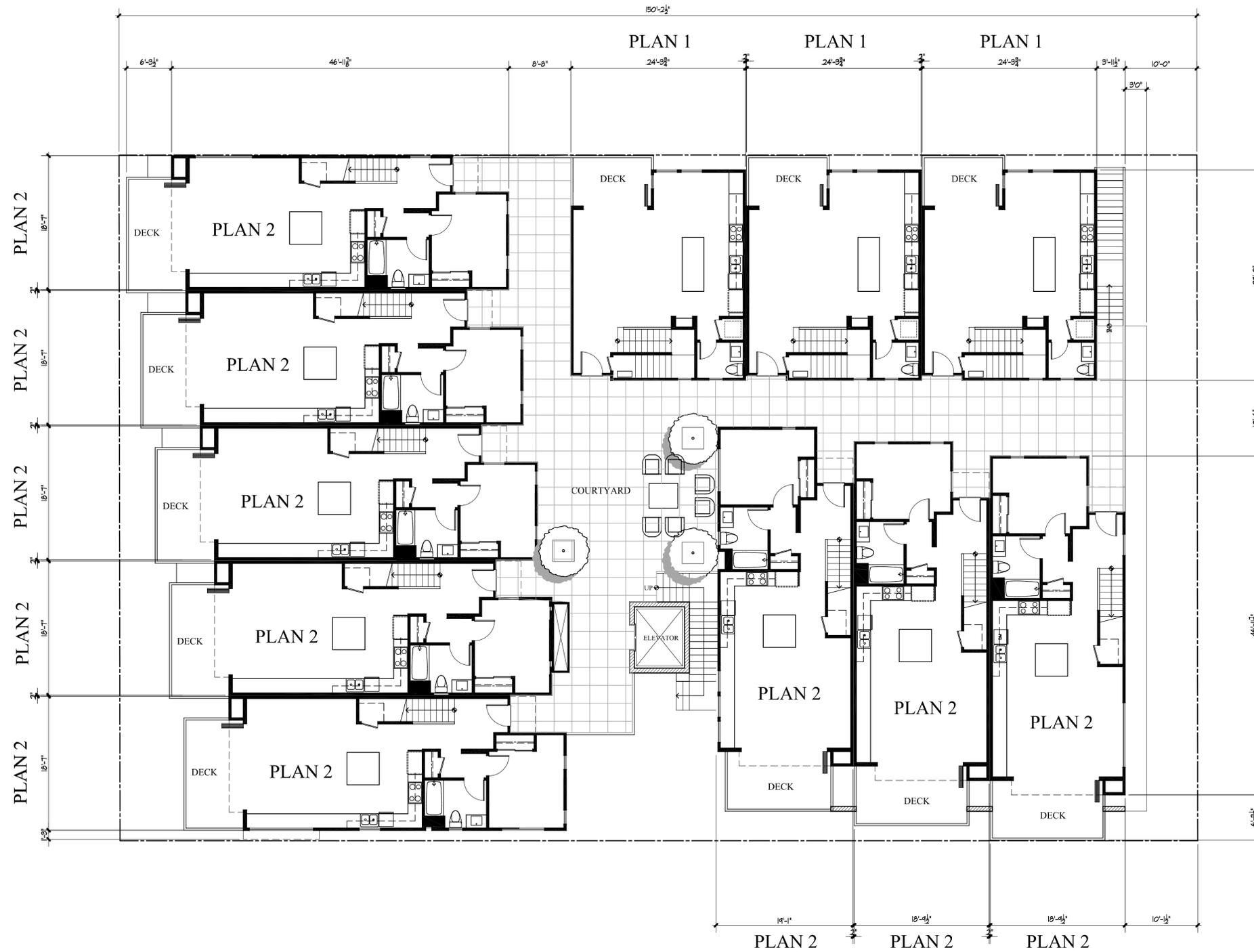
Staff recommends that the Design Review Board:

1. Receive report;
2. Consider public comment and the design of the project;
3. Recommend approval of the project to the City Council with recommendations provided by the Design Review Board.

Attachments:

1. Plans
2. Colors and Material Information
3. Draft Conceptual Renderings
4. Public Comment

c: file MF 1169



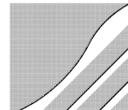
SECOND FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"



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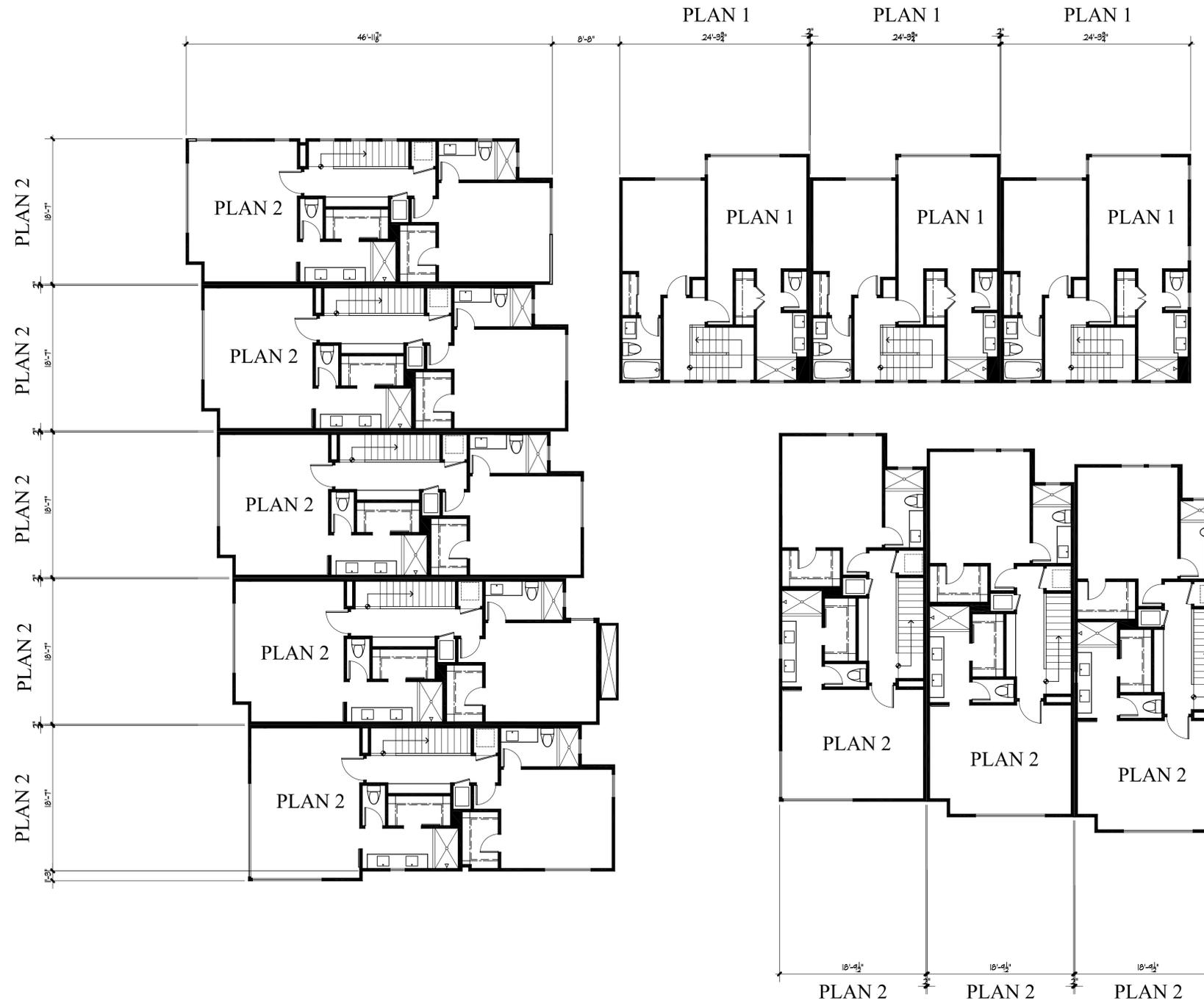
CITYMARK

SCALE: 1/8" = 1'-0"



THE MAKINLEY ASSOC., INC.

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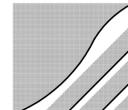


THIRD FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"

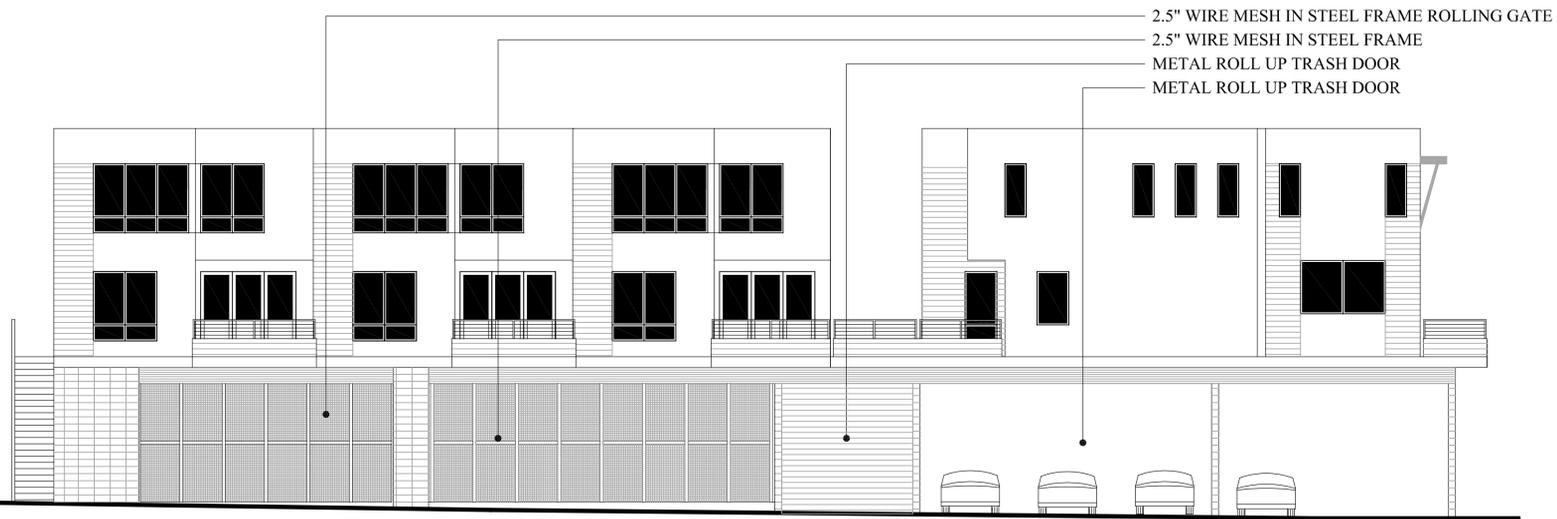


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CITYMARK
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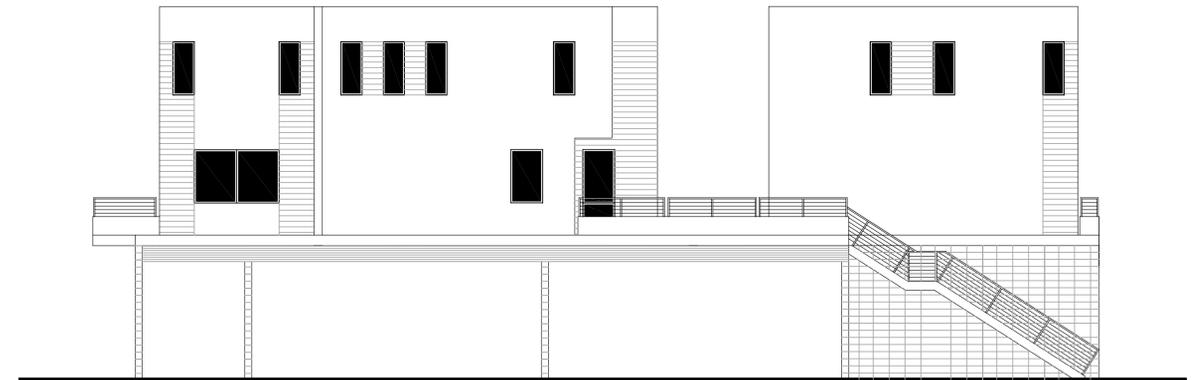


THE MCKINLEY ASSOC., INC.
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NORTH ELEVATION

SCALE: 1/8" = 1'-0"



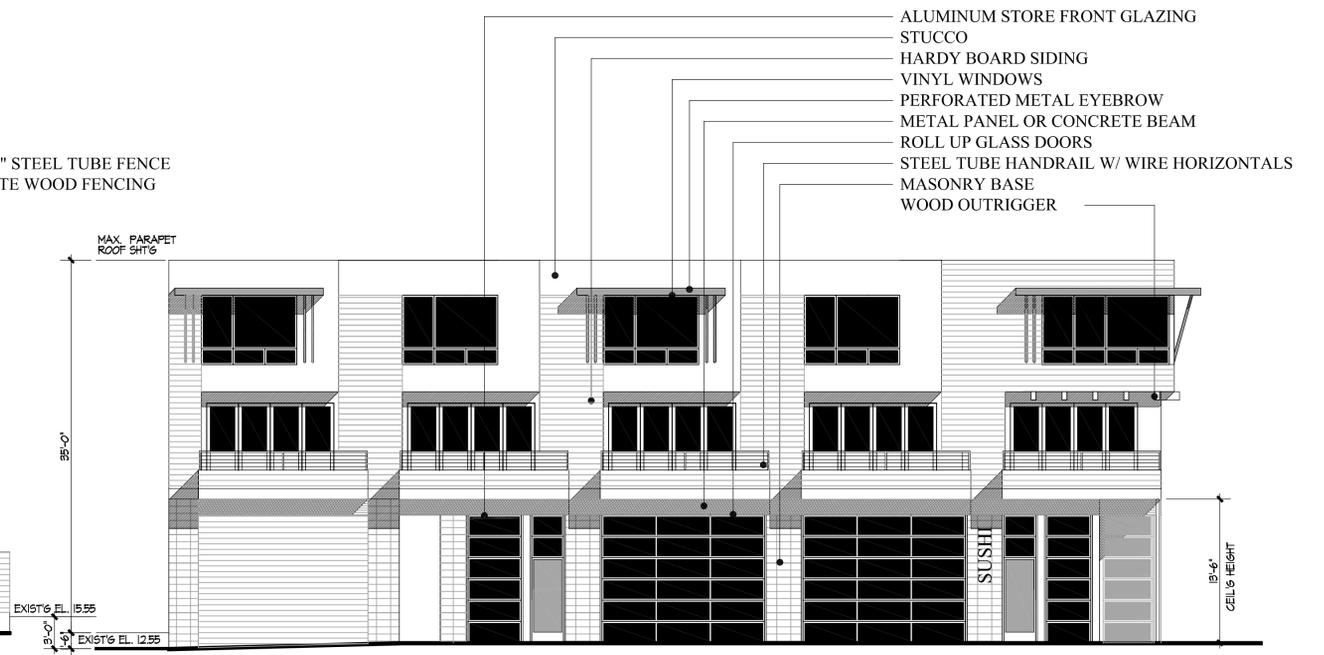
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



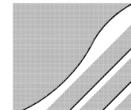
WEST ELEVATION

SCALE: 1/8" = 1'-0"

1 1 0 EVERGREEN

CITYMARK

SCALE: 1/8" = 1'-0"



THE MCKINLEY ASSOC., INC.

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MF 1169/CP 140050/CUP 140051/DRC 140052/SPR 140053/TM 140054

110 EVERGREEN AVENUE

OWNER'S CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE RECORDER OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: 
 GEORGE W. HOWARD III
 HOWARD LAND DEVELOPMENT LLC

APPLICANT

CITYMARK COMMUNITIES, LLC
 3818 PARK BLVD
 SAN DIEGO, CA 92103
 (619) 231-1161

LEGAL DESCRIPTION

LOTS 1, 2, AND 3, BLOCK 21, IMPERIAL BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1139, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 16, 1908.

BENCHMARK

2.25" BRASS DISC, CITY OF SAN DIEGO ROS 14492, POINT 184, NORTH SIDE OF BOULEVARD AVENUE ON CENTER OF 8TH STREET, SOUTH OF RAILROAD TRACKS. ELEVATION: 12.85 NAVD88

SITE ADDRESS

110 EVERGREEN AVE.
 IMPERIAL BEACH, CA 91932

TOPOGRAPHY AND MAP

PREPARED BY:
 PASCO, LARET, SUITER & ASSOCIATES, INC.
 SOLANA BEACH, CA 92075
 (858) 259-8212

ZONING INFORMATION

TOTAL PARCELS: 2 PARCELS
 GENERAL PLAN DESIGNATION: C/MU-2
 PRESENT ZONING REGULATIONS: C/MU-2
 PRESENT USE: SEACOAST COMMERCIAL AND MIXED USE ZONE
 PROPOSED USE: SEACOAST COMMERCIAL AND MIXED USE ZONE

MINIMUM GROSS LOT AREA: 3,000 SF

APN: 625-351-25 & 26

ACCESS

PUBLIC ALLEY AND EVERGREEN AVENUE

UTILITIES

WATER	CALIFORNIA AMERICAN WATER DISTRICT	(619) 522-6400
FIRE	IMPERIAL BEACH FIRE PROTECTION DISTRICT	(619) 423-8223
SEWER	CITY OF IMPERIAL BEACH	(619) 423-8311
GAS/ELECTRIC	SDG&E	(800) 411-7343

ELEMENTARY SCHOOL: SOUTH BAY UNION ELEMENTARY SCHOOL DISTRICT
 HIGH SCHOOL: SWEETWATER UNION HIGH SCHOOL DISTRICT

EARTHWORK DATA:

90 CY- CUBIC YARDS EXCAVATION (CUT)
 90 CY- CUBIC YARDS EMBANKMENT (FILL)
 0- CUBIC YARDS EXPORT

* ESTIMATE DOES NOT INCLUDE STRIPPINGS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS

CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS).

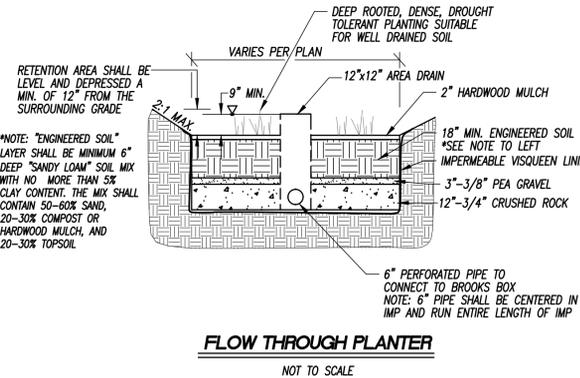
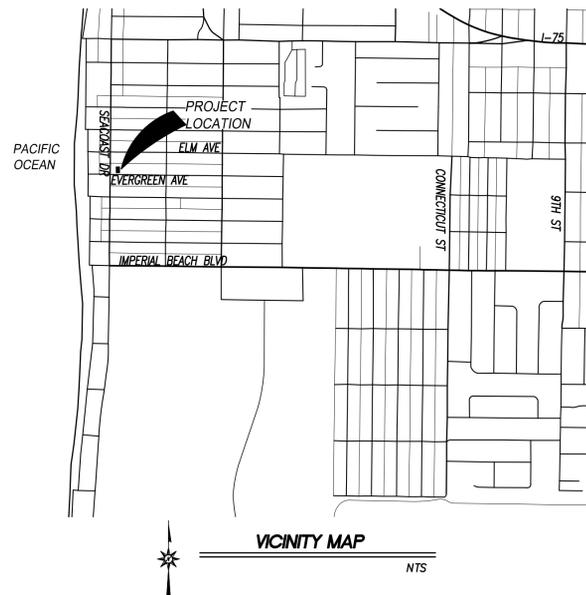
DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION

SHEET INDEX

SHEET 1 - NOTES
 SHEET 2 - PRELIMINARY GRADING PLAN

ENGINEER OF WORK


 TYLER G. LAWSON, RCE 80356
 1-16-15
 DATE



FLOW THROUGH PLANTER
 NOT TO SCALE

SITE AREA

GROSS: 14,288 SF (0.33 ACRES)

DESCRIPTION OF WORK TO BE DONE

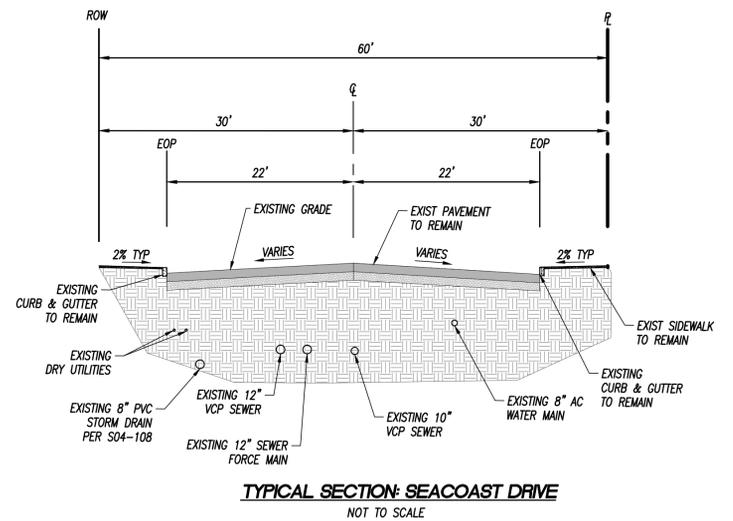
CONSTRUCTION OF 11 MULTI-FAMILY CONDOMINIUM UNITS, 3,712 SQUARE FEET OF RETAIL, PLUS REQUIRED COMMERCIAL AND RESIDENTIAL PARKING SPACES. SITE REDEVELOPMENT INCLUDES NEW STREET, UTILITY, AND DRAINAGE IMPROVEMENTS TYPICAL TO MIXED-USE DEVELOPMENT PROJECTS.

NOTE: ALL EXISTING ON-SITE STRUCTURES TO BE REMOVED

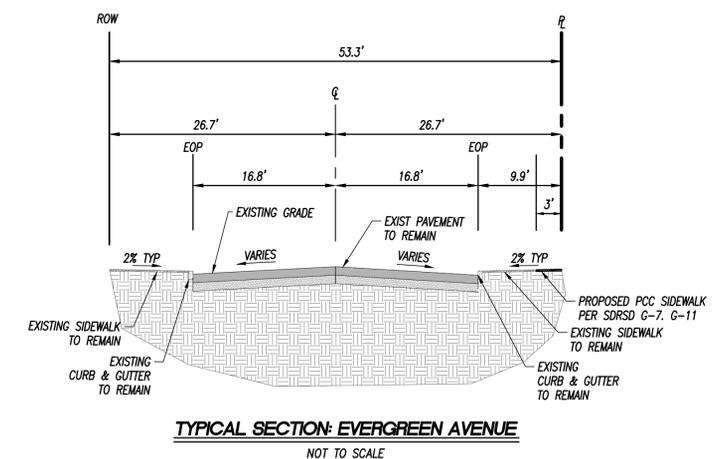
UTILITY NOTES

EXISTING ABANDONED SEWER LATERAL MUST BE PLUGGED AT THE PROPERTY LINE AND MAIN LINE PER BUILDING STANDARDS SPECIFICATIONS.

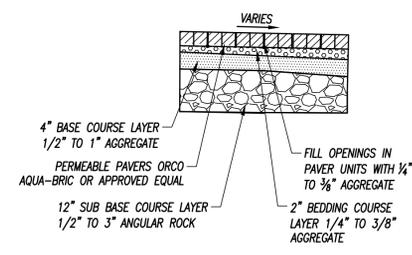
ALL ABOVE-GROUND ELECTRICAL FACILITIES SHALL BE UNDERGROUND WITHIN THE PROJECT LIMITS. EXISTING COMMUNICATION AERIAL SERVICES TO BE RELOCATED UNDERGROUND.



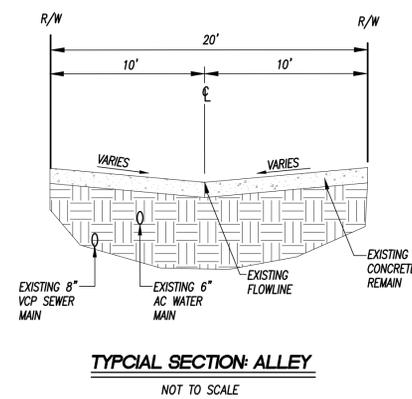
TYPICAL SECTION: SEACOAST DRIVE
 NOT TO SCALE



TYPICAL SECTION: EVERGREEN AVENUE
 NOT TO SCALE



POROUS PAVERS
 NOT TO SCALE



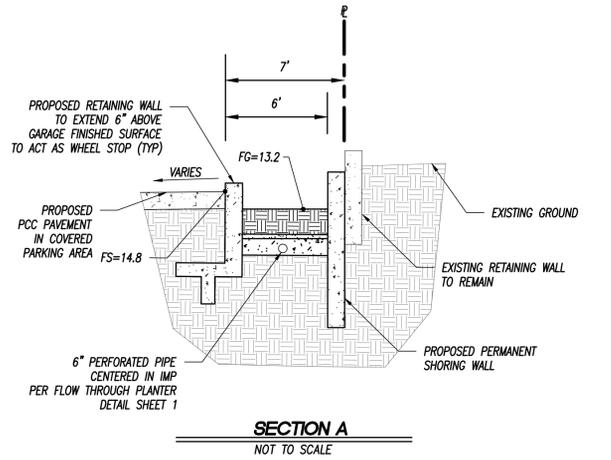
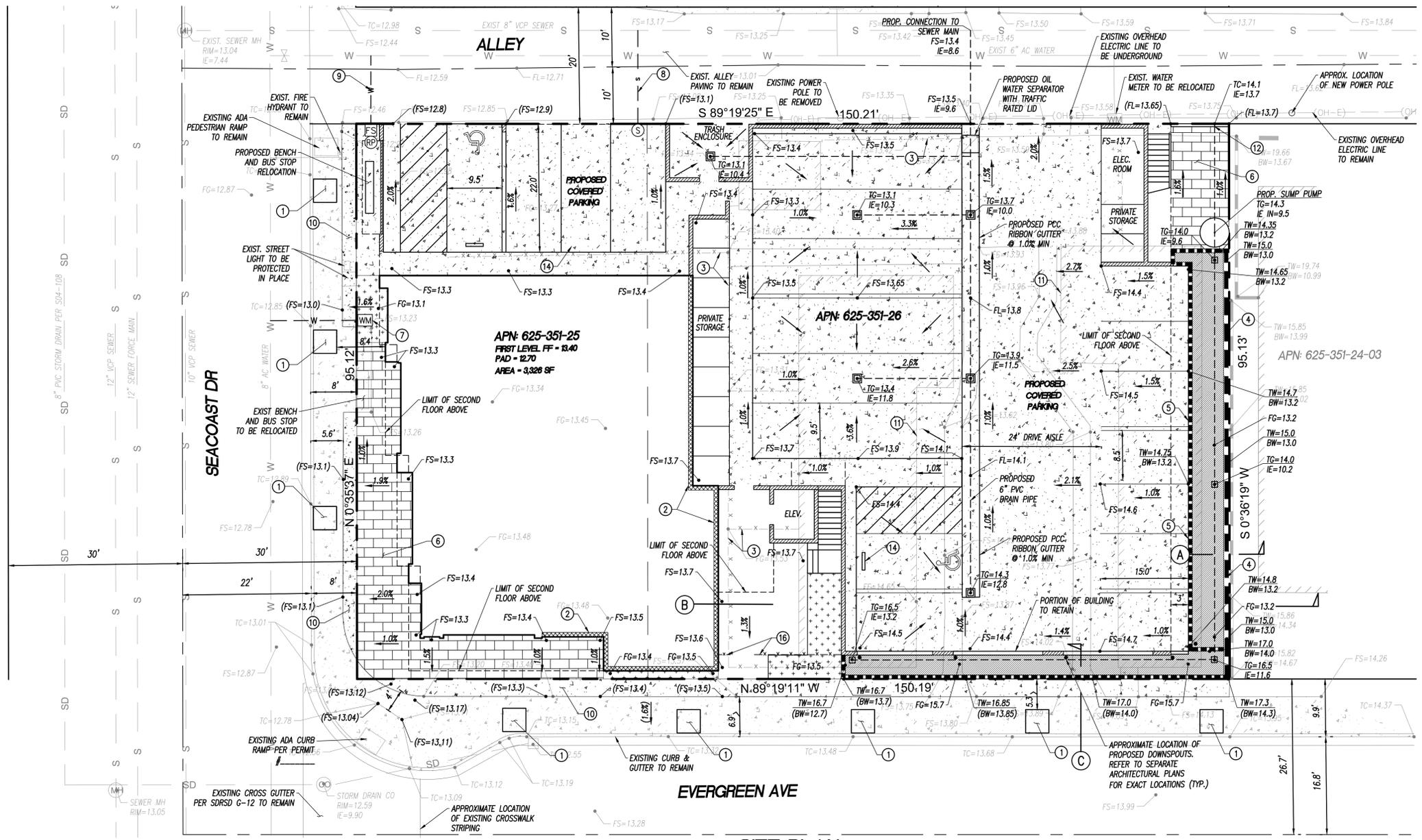
TYPICAL SECTION: ALLEY
 NOT TO SCALE

PREPARED DATE: 10-30-2014
PASCO LARET SUITER & ASSOCIATES
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
 535 North Highway 101, Ste A, Solana Beach, CA 92075
 ph 858.259.8212 | fx 858.259.4812 | plsengineering.com

MF 1169/CP 140050/CUP 140051/DRC 140052/SPR 140053/TM 140054

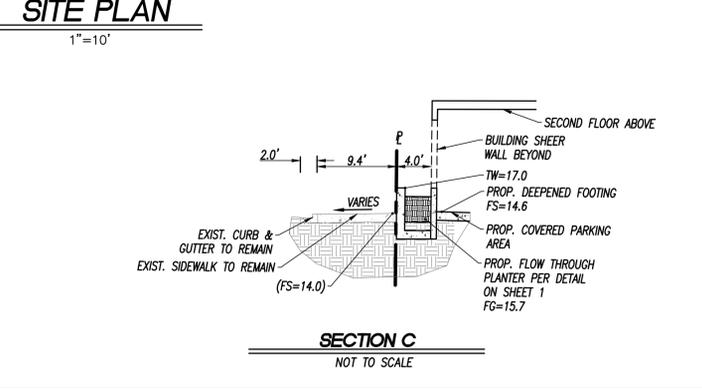
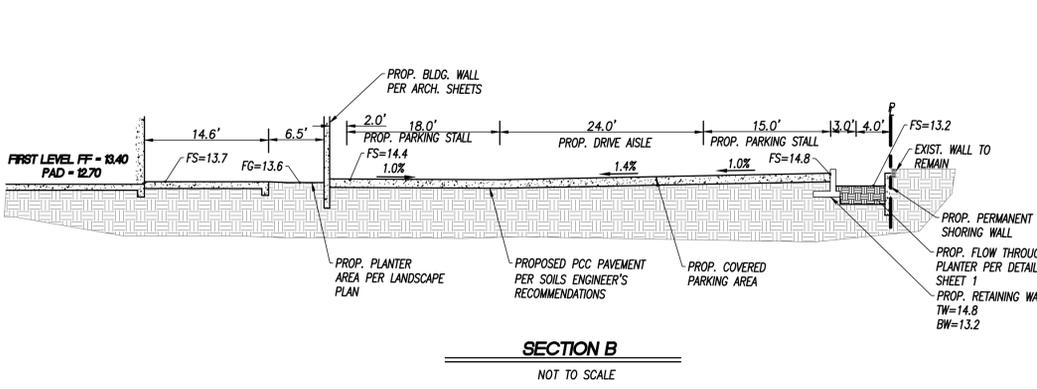
PRELIMINARY GRADING PLAN

110 EVERGREEN AVENUE

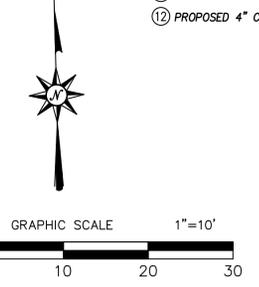


- #### LEGEND
- PROJECT PROPERTY LINE
 - EXISTING RIGHT-OF-WAY/PROPERTY LINE
 - PROPOSED PERMANENT BMP AREA (NOT TO BE MODIFIED WITHOUT A PERMIT FROM THE CITY)
 - PROPOSED POROUS PAVERS
 - PROPOSED PCC
 - CENTERLINE OF ROAD
 - PROPOSED RETAINING WALL
 - PROPOSED SHORING WALL
 - PROPOSED BUILDING WALL PER ARCHITECTURAL PLAN
 - PROPOSED STEM WALL PER ARCHITECTURAL PLAN
 - EXISTING PVC STORM DRAIN (SIZE PER PLAN)
 - EXISTING VCP SEWER MAIN (SIZE PER PLAN)
 - EXISTING ACP WATER MAIN (SIZE PER PLAN)
 - PROPOSED DRAINAGE DIRECTION
 - PROPOSED 6" PVC DRAIN PIPE
 - PROPOSED 18"x18" BROOKS BOX
 - PROPOSED 12"x12" INLET
 - PROPOSED 6" SEWER LATERAL PER WAS SS-01
 - PROPOSED 2" PVC DOMESTIC WATER SERVICE PER WAS WS-02
 - PROPOSED 6" FIRE SERVICE & BACKFLOW PER SDRSD WF-05, SDW-118
 - EXISTING BUILDING TO BE DEMOLISHED
 - PROPOSED ROOF DOWN SPOUT

- #### CONSTRUCTION LEGEND
- 1 PROPOSED TREE WELL PER LANDSCAPE PLANS
 - 2 PROPOSED STEM WALL PER ARCHITECTURAL PLANS
 - 3 EXISTING FENCE TO BE REMOVED
 - 4 PROPOSED PERMANENT SHORING WALL TO BE DESIGNED WITH CONSTRUCTION DRAWINGS
 - 5 PROPOSED RETAINING WALL PER SDRSD C-3
 - 6 PROPOSED POROUS PAVERS
 - 7 PROPOSED 2" PVC WATER SERVICE PER WAS WS-02
 - 8 PROPOSED 6" SEWER LATERAL PER WAS SS-01
 - 9 PROPOSED 6" FIRE SERVICE LINE & BACKFLOW (RPDA) PER SDRSD WF-05, SDW-118
 - 10 PROPOSED 4" PCC SIDEWALK PER SDRSD G-7, G-11. MATCH TO EXISTING
 - 11 EXISTING BUILDING TO BE DEMOLISHED
 - 12 PROPOSED 4" CURB WITH 3" SIDEWALK UNDER DRAIN

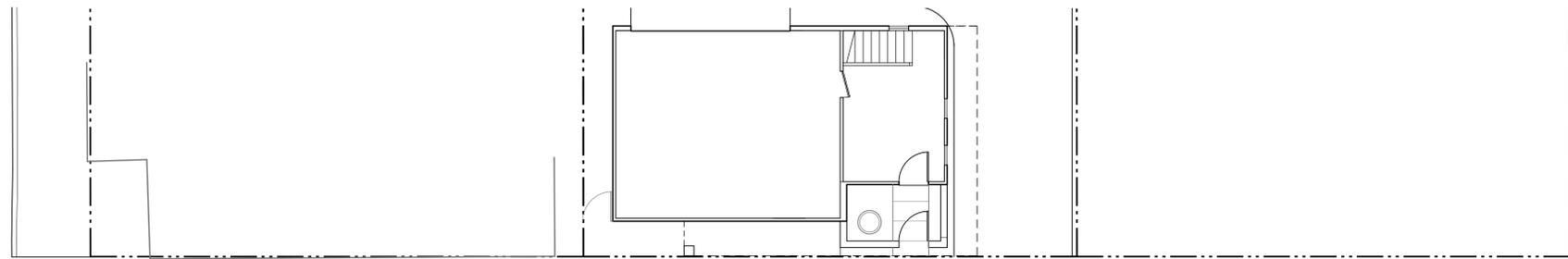


- #### ABBREVIATION LEGEND
- BS = BOTTOM OF STAIR ELEVATION
 - BW = BOTTOM OF WALL ELEVATION
 - FS = FINISHED SURFACE
 - FG = FINISHED GRADE
 - FL = FLOW LINE
 - FF = FINISHED FLOOR
 - GF = GARAGE FINISHED FLOOR
 - IE = INVERT ELEVATION
 - TG = TOP OF GRATE ELEVATION
 - TW = TOP OF WALL ELEVATION

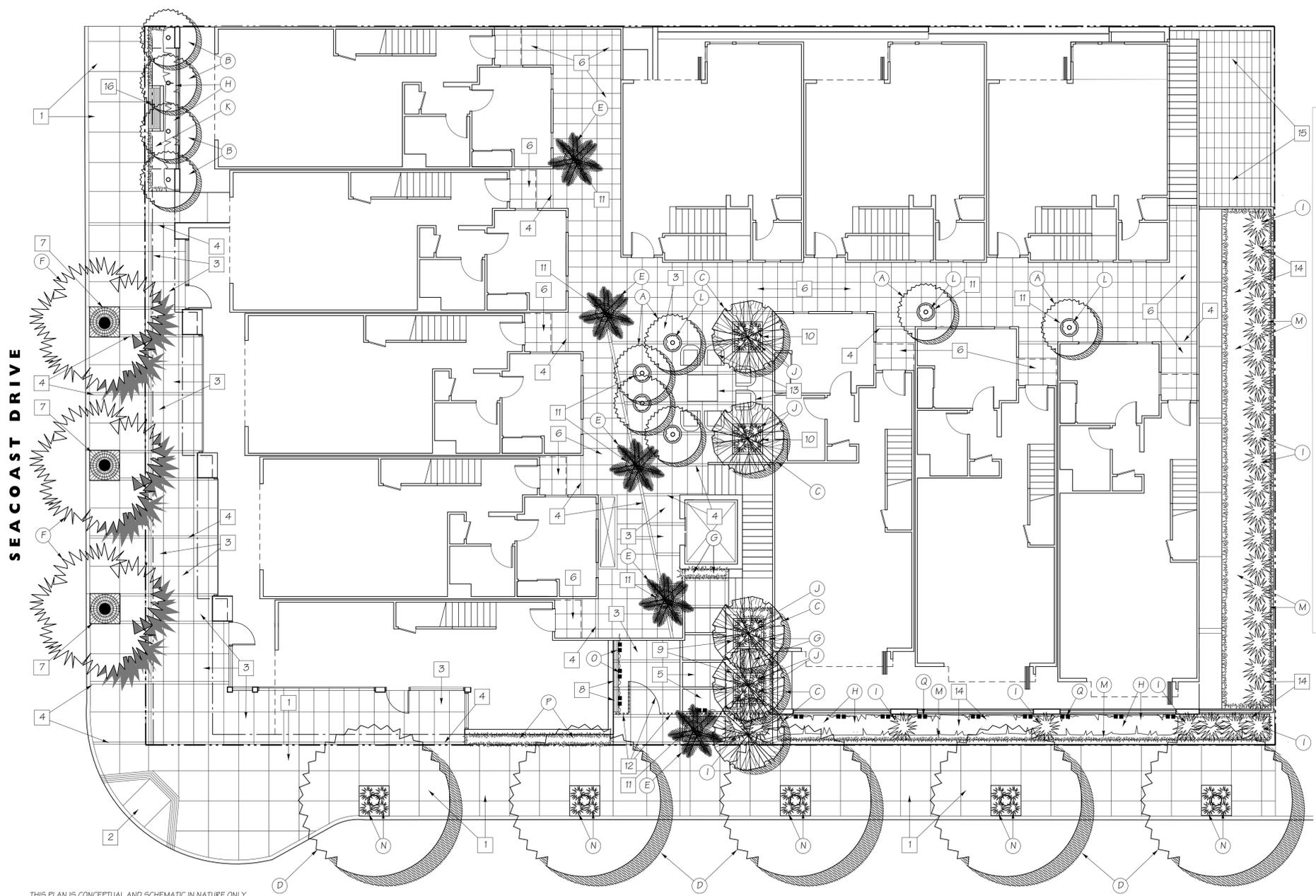


PREPARED DATE: 10-30-2014

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ALLEY



HARDSCAPE LEGEND

- 1 CONCRETE WALK - NATURAL GREY, ACID WASH FINISH
- 2 ACCESSIBLE SIDEWALK RAMP
- 3 CUSTOM CONCRETE PAVERS- PERMEABLE W/ OPEN JOINTS AT GROUND LEVEL
- 4 CONCRETE PAVER ACCENT BAND
- 5 CONCRETE PAVER SLAB W/ GRAVEL ACCENT BAND
- 6 CONCRETE TOPPING SLAB-INTEGRAL COLOR LIGHT, ACID WASH FINISH
- 7 TREE GRATE
- 8 GREEN WALL VERTICAL PLANTING SCREEN
- 9 4' SQ. CONCRETE PLANTER W/ WOOD BENCH
- 10 4' SQ. FIBERGLASS POT
- 11 3' ROUND FIBERGLASS POT
- 12 ENTRY GATE & FENCE
- 13 UPPER LEVEL COMMON PATIO FURNITURE
- 14 BIOSWALE
- 15 PERMEABLE DRIVE PAVERS
- 16 6' LONG BUS STOP BENCH

PLANT LEGEND

BOTANICAL NAME COMMON NAME SIZE SPACING

PROPOSED PLANTING

TREES

BOTANICAL NAME	COMMON NAME	SIZE	SPACING
A ACCA SELLOWIANA	PINEAPPLE GUAYA	15 GAL.	AS SHOWN
B LEPTOSPERMUM S.'BURGUNDY QUEEN'	NEW ZEALAND TEA TREE	15 GAL.	AS SHOWN
C MAGNOLIA GRANDIFLORA 'TMGH'	ALTA SOUTHERN MAGNOLIA	15 GAL.	AS SHOWN
D METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX	AS SHOWN
E PHOENIX ROEBELINII	PYGMY DATE PALM	8' BTH	AS SHOWN
F BRAHEA EDULIS	GUADALUPE PALM	12' BTH	AS SHOWN

SHRUBS & GROUND COVERS

BOTANICAL NAME	COMMON NAME	SIZE	SPACING
G CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL.	2' O.C.
H MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY	1 GAL.	3' O.C.
I CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL.	3'-6" O.C.
J PHORMIUM 'BLONDE'	NEW ZEALAND FLAX	5 GAL.	2'-6" O.C.
K ROSEMARINUS O. 'ROMAN BEAUTY'	ROMAN BEAUTY ROSEMARY	1 GAL.	2' O.C.
L ROSEMARINUS O. 'IRENE'	TRAILING BLUE ROSEMARY	1 GAL.	2' O.C.
M CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	LINERS	12" O.C.
N WESTRINGIA 'WYNYABBIE HIGHLIGHT'	VARIEGATED AUST. ROSEMARY	5 GAL.	2' O.C.
O FICUS PUMILA	CREeping FIG VINE	5 GAL.	AS SHOWN
P BAMBUSA MULT. 'GOLDEN GODDESS'	GOLDEN GODDESS BAMBOO	5 GAL.	AS SHOWN
Q DISTICTIS BUCCINATORIA	RED TRUMPET VINE	5 GAL.	AS SHOWN

IRRIGATION NOTES

- ALL AREAS SHOWN TO BE PLANTED WILL BE IRRIGATED WITH A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW GALLONAGE, LOW PRECIPITATION RATE SPRAY HEADS, ALONG WITH BUBBLER HEADS IN SMALLER AREAS AND DRIP EMITTERS FOR POTTED PLANTS. HEADS WILL BE GROUPED INTO ZONES BASED ON EXPOSURE AND PLANT TYPES. AUTOMATIC VALVES WILL CONTROL THE FLOW OF WATER TO EACH ZONE.
- THE SYSTEM WILL BE CONNECTED TO THE EXISTING DOMESTIC IRRIGATION SYSTEM / POTABLE WATER SUPPLY THROUGH AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER.
- A "SMART CONTROLLER" WITH SCHEDULE ADJUSTED BY ACTUAL LOCAL EVAPOTRANSPIRATION (eT) RATES WILL BE USED TO CONTROL THE AUTOMATIC VALVES.
- AN AUTOMATIC RAIN SENSING OVER-RIDE WILL BE CONNECTED TO THE CONTROLLER.
- INDIVIDUAL HEADS AND ZONES WILL BE ADJUSTED TO MINIMIZE OVERSPRAY ONTO BUILDINGS, WALLS, WALKS AND PAVEMENTS. THE SYSTEM WILL ALSO BE PROGRAMMED TO BE RESPONSIVE TO SEASONAL PLANT NEEDS.

PLANTING NOTES

- ALL SHRUB BEDS ARE TO BE MULCHED WITH A MINIMUM OF 3" OF WOOD CHIPS OR DECORATIVE GRAVEL AFTER PLANTING.
- ALL TREES PLANTED WITHIN 5' OF PAVING ARE TO HAVE LINEAR ROOT BARRIERS PLACED AT THE EDGE OF PAVING AND EXTENDING 6' MINIMUM EACH SIDE OF THE CENTER OF THE TREE.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES.
- ALL LANDSCAPE AREAS, INCLUDING GRASS AND MULCH AREAS, MUST BE IMPROVED TO CONSIST OF AT LEAST 12-INCHES OF LOAMY SOIL IN ORDER TO MAXIMIZE THE WATER ABSORPTION DURING WET WEATHER CONDITION AND MINIMIZE IRRIGATION RUNOFF.

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES BY THE OWNER / DEVELOPER.

THIS PLAN IS CONCEPTUAL AND SCHEMATIC IN NATURE ONLY. IT IS NOT INTENDED TO BE A FINAL CONSTRUCTION PLAN. THIS PLAN DOES NOT SHOW FINAL CONSTRUCTION DETAILS, STRUCTURAL OR DRAINAGE REQUIREMENTS, FINAL PLANTING LOCATIONS, OR IRRIGATION DESIGN. ADDITIONAL DETAIL MUST BE DEVELOPED IN THESE AREAS PRIOR TO CONSTRUCTION. DPA INC. ASSUMES NO LIABILITY FOR CONSTRUCTION PURSUANT TO THIS PLAN.

EVERGREEN AVENUE

LANDSCAPE CONCEPT PLAN

CITYMARK EVERGREEN/ELM
IMPERIAL BEACH, CALIFORNIA

DATE 1.16.15

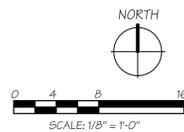
SCALE 1/8" = 1'-0"

DRAWN HGB

JOB NO. 14-026

SHEET L2

OF 16 SHEETS



STUDIO@ONOVER

CITYMARK /IMPERIAL BEACH EXTERIOR COLOR & MATERIALS

01.16.15

110 EVERGREEN

STUCCO: PAINT TO MATCH BM 1521 'NATURE'S ESSENTIALS'

SIDING (PRIMARY): PAINT TO MATCH PPG 1038-7 'MIDNIGHT HOUR'

SIDING (ACCENT):

CORNER UNIT/SEACOAST & EVERGREEN: PAINT TO MATCH PPG 16-20

'BRONZE EUCALYPTUS'

CORNER UNIT/ & PASEO & EVERGREEN: PAINT TO MATCH DE 5299

'SLIGHTLY GOLDEN'

EVERGREEN PROJECT TYPICAL

WINDOW: MILGARD 'SILVER'

MASONRY: RCP BLOCK 'NATURAL'

MEDIUM SHOTBLAST: SEACOAST & EVERGREEN FACADES

PRECISION BLOCK: PAINT TO MATCH PPG 1023-4 'DESERT DUNE'

GROUT: TO MATCH BLOCK

BLOCK INSTALLATION: STACKED BOND, TIGHT JOINTS & SLIGHTLY RECESSED GROUT

PERFORATED METAL EYEBROWS, STEEL SUPPORTS, RAILINGS & SECURITY FENCING:

'NATURAL' GALVANIZED STEEL

STOREFRONT AND ROLL-UP DOORS: CLEAR ANODIZED ALUMINUM

SPANDREL (IF WOOD) & WOOD OUTRIGGER: THERMORY (LEFT NATURAL TO WEATHER)

COMPOSITE WOOD FENCING: TREX 'WOODLAND BROWN'

**ALTERNATE NATURAL WOOD: THERMORY*

119 ELM

BLDG. A/PLAN 2

STUCCO: PAINT TO MATCH VP OW 126 'ALMOND SUGAR'

SIDING (WEST UNIT): PAINT TO MATCH PPG 1094-4 'CREPE'

SIDING (EAST UNIT): PAINT TO MATCH PPG 10-06 'THUNDERBOLT'

BLDG. B /PLAN 1

STUCCO: PAINT TO MATCH VP OW 126 'ALMOND SUGAR'

SIDING: PAINT TO MATCH FR CL 2875A 'MOSQUITO'

ELM PROJECT TYPICAL

WINDOW: MILGARD PREMIUM 'LIGHT GREY'

MASONRY: CREATIVE MINES 'MODERN' CRAFT PAINTGRADE BLOCK (LEFT UNPAINTED)

GROUT: TO MATCH BLOCK

INSTALLATION: STACKED BOND, TIGHT JOINTS, SLIGHTLY RECESSED JOINTS

GARAGE DOORS: CLEAR ANODIZED ALUMINUM

METAL ROOFS, STEEL SUPPORTS & RAILINGS: 'NATURAL' GALVANIZED STEEL







Tyler Foltz

From: Dennis Robbins
Sent: Monday, February 02, 2015 8:31 PM
To: Tyler Foltz
Cc: lorarobbins
Subject: !30 Evergreen Homeowners response

Thank you Tyler

Several weeks ago, I requested notice to be present for the meetings involving the proposed structure on Seacoast and Evergreen. Now two days in advance of the meeting I am being informed of said meeting. We will be out of town on the 5th but would like to be absolutely certain that our concerns and comments are both voiced and taken quite seriously. While you indicated to me that a "view is not protected" I learned that specifically "shutting off the plaintiffs' view" is clearly noted as nuisance in Prossers Law of Torts St Paul 1980 p 598 cited by several supporting cases Anglo American jurisprudence since the 18 century supports the ability to enjoy one's property. That is significantly undermined and ignored by this proposed construction which will block all floors of our unobstructed ocean views which was a material consideration which led us to purchase and enjoy this property. The ocean breezes we savor will be all but gone as well as the future use value of our ocean view property.

We are prepared to seek the counsel of a well trained and experienced attorney who works with such matters to explore what recourse, protections and remedies are available to us in respect to the city and developer who propose to increase commercial revenue at the expense of one of its established homeowner citizens. Ignoring the value to which my family and I attach to the use or enjoyment of these premises and the personal discomfort /inconvenience affecting our enjoyment of the premises depreciates our use value, is unacceptable and causes us substantial harm.

Again, we are willing to pursue any reasonable remedy to protect our interests, be made whole and to insulate ourselves from any unreasonable interference with the ability to enjoy our property

Dennis Robbins Ph.D., M.P.H.

Hello Mr. and Mrs. Robbins,

This e-mail is being sent due to your interest in the proposed mixed-use project at 110 Evergreen Avenue (northeast corner of Seacoast Drive and Evergreen Avenue). The project is scheduled to be reviewed by the Design Review Board this Thursday, February 5, at 4PM in the City Council Chambers. The Board will consider the design of the project and provide a recommendation to the City Council. I will forward you with the staff report when it is completed, no later than Wednesday. You are welcome to attend and comment or you can provide written comment for the Board's consideration. Note that there will be separate public notification and review when the project is ready for consideration by the City Council. You would be able to provide comment on the project at that time as well. Please let me know if you have any questions. Thank you.

Tyler Foltz, Senior Planner

Community Development Department

City of Imperial Beach

825 Imperial Beach Blvd.

Imperial Beach, CA 91932

Phone: (619) 628-2381 | Fax: (619) 424-4093

tfoltz@imperialbeachca.gov | www.ImperialBeachCA.gov



**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD
FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MEETING DATE: FEBRUARY 5, 2015
ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT
GREG WADE, ASSISTANT CITY MANAGER/COMMUNITY DEVELOPMENT DIRECTOR
JIM NAKAGAWA, AICP, CITY PLANNER
TYLER FOLTZ, SENIOR PLANNER

SUBJECT: REPORT: CITYMARK COMMUNITIES (APPLICANT); ADMINISTRATIVE COASTAL PERMIT (ACP 140055), CONDITIONAL USE PERMIT (CUP 140056), DESIGN REVIEW CASE (DRC 140057), SITE PLAN REVIEW (SPR 140058), AND TENTATIVE PARCEL MAP (TM 140059) FOR THE DEMOLITION OF AN EXISTING GARAGE AND CONSTRUCTION OF THREE NEW RESIDENTIAL CONDOMINIUM UNITS AT 119 ELM AVENUE (APN 625-351-02-00). MF 1170.

BACKGROUND:

This is an application (MF 1170) for an Administrative Coastal Permit (ACP 140055), Conditional Use Permit (CUP 140056), Design Review Case (DRC 140057), Site Plan Review (SPR 140058), and Tentative Map (TM 140059) proposing to demolish an existing garage and construct three new residential condominium units at 119 Elm Avenue (APN 625-351-02-00), which is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The project is subject to design review by the Design Review Board because it will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC) 19.83.020).



**ANALYSIS:**

The project site includes one lot measuring 4,765 square feet fronting Elm Avenue in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone. The properties to the north and west of the site are commercial, the property to the east is residential, and the property to the south is proposing a new mixed-use development project.

The three-story project proposes three residential dwelling units with no commercial component, as allowed for properties within the C/MU-2 Zone that do not front Seacoast Drive (IBMC Section 19.27.020.A). Pedestrian access to the residential units would locate off of Elm Avenue and vehicular ingress and egress would access off the alley. Each unit would be provided with a two-car garage for a total of six parking spaces for the three units.

The proposed project design would contribute positively in making an architectural statement along the area of the commercial corridor that transitions into residential neighborhoods to the east and it is staff's opinion that the proposed design conforms to the intent and purpose of the design standards outlined in IBMC Section 19.83.010 and in the City's General Plan. The applicant's design provides varied rooflines and architectural relief through the incorporation of building pop-outs. In addition, the project would provide architectural interest on all elevations with varied building materials such as composite siding, stucco, metal roof and railing, and stone veneer elements.

Landscaping would be provided along the north, south, and west property lines and would also be provided within the driveway courtyard. The proposed landscaping would be drought tolerant and would include shrubs, trees, and groundcover.

General Plan/Zoning Consistency:

C/MU-2 (Seacoast Commercial and Mixed-use) Zone: The purpose of the C/MU-2 Zone is to provide land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who use the beach area. It is intended that the dominant type of commercial activity in the C/MU-2 Zone will be visitor-serving retail such as specialty stores, surf shops, restaurants, and hotels and motels. Mixed-use and multiple family residences are also permitted in the C/MU-2 Zone and in the Seacoast Mixed Use/Residential Overlay Zone. The development standards of the C/MU-2 Zone encourage pedestrian activity through the design and location of building frontages and parking provisions (IBMC Section 19.27.010). The proposed multiple family project meets the purpose and intent of the land use designation.

C/MU-2 STANDARDS	PROVIDED/PROPOSED
<p>Maximum density of one dwelling unit for every one thousand five square feet of lot area, or if located on the east side of Seacoast Drive or Palm Avenue, east of Seacoast Drive, one dwelling unit for each one thousand two hundred and ten gross square feet of lot area with approval of a conditional use permit by the City Council that demonstrates compliance with two or more development incentives (Section 19.27.020).</p>	<p>The property measures 14,288 square feet. The project proposes 11 units at a density of one unit for each 1,210 sq. ft. of lot area, which will require approval of a conditional use permit by the City Council. The two development incentives proposed by the applicant are as follows: 1) At least 25% of the proposed residential units will be three-bedroom units (100% proposed); 2) Entire project will achieve Leadership in Energy and Environmental Design (LEED) Green Building Rating System certification, a comparable green building certification, or will demonstrate the ability to achieve certification.</p>
<p>Yard requirements for the C/MU-2 zone are as follows (Section 19.27.040): A. For lots not fronting on Seacoast Drive there are no front, side, or rear yard setbacks in the C/MU-2 zone except as follows: 1. A ten-foot rear and/or side yard setback is required for properties abutting any property zoned R-1-6000; 2. A five-foot rear and/or side yard setback is required for properties abutting any property zoned R-2000.</p>	<p>The project provides the minimum yard requirements for the C/MU-2 Zone. 1. The project does not abut a property zoned R-1-6000. 2. The project provides a minimum five foot setback from the eastern side yard abutting the R-2000 Zone.</p>
<p>Stepback requirements for the C/MU-2 Zone are as follows (Section 19.27.041): A. On property with a side or rear yard abutting a residential zone, the second-floor stepback shall be a minimum of five feet from the abutting residential property line and the third-floor stepback shall be a minimum of ten feet from the abutting residential property line.</p>	<p>A. The second and third floors are stepped back five feet from the abutting residential property to the east. The third-floor is not stepped back ten feet as allowed by IBMC 19.27.041.B.</p>

<p>B. Stepbacks are not required where the ten-foot setback is required or observed for at least fifty percent of the property line abutting residential property.</p>	<p>B. The project only provides a third-floor stepback of five feet from the abutting residential property to the east because the project observes at least a ten-foot setback for at least fifty percent of the property line abutting the residential property.</p>
<p>Minimum lot size of 3,000 square-feet (Section 19.27.050).</p>	<p>The lot size measures 4,765 square feet.</p>
<p>Minimum street frontage of 30 feet (Section 19.27.060).</p>	<p>The Elm Avenue frontage is approximately 50 feet.</p>
<p>Maximum height of three stories or thirty feet, whichever is less, except as follows (Section 19.27.070):</p> <p>Properties east of Seacoast Drive shall have a height limit not to exceed three stories and thirty-five feet with approval of a conditional use permit that demonstrates compliance with the following:</p> <p>a. Side yard setbacks and/or stepbacks have been incorporated into the project to protect street-end public views towards the ocean;</p> <p>b. Two or more of the development incentives listed in Section 19.27.020(A)(5).</p>	<p>The project proposes a building height of 35 feet and is requesting a conditional use permit.</p> <p>a. The project incorporates the required setbacks and stepbacks and would not impact street-end public views.</p> <p>b. The project is proposing the following development incentives: 1) At least 25% of the proposed residential units will be three-bedroom units (100% proposed); 2) Entire project will achieve Leadership in Energy and Environmental Design (LEED) Green Building Rating System certification, a comparable green building certification, or will demonstrate the ability to achieve certification.</p>
<p>No buildings shall be located less than five feet from any other building on the same lot. (Section 19.27.080)</p>	<p>Buildings are attached or provide a separation of 24 feet.</p>
<p>Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.030).</p>	<p>The 14,288 square foot lot requires a minimum of 2,143 square feet of landscaping (14,288 x .15 = 2,143). 2,181 square feet of landscaping is proposed.</p>
<p>Required parking spaces for multiple-family residential in the C/MU-2 Zone: 1.5 spaces per dwelling unit. (BMC 19.48.035).</p>	<p>Three residential units would require a minimum of five parking spaces (3 x 1.5 = 4.5). Six enclosed parking spaces are proposed.</p>

Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial
South	C/MU-2 (Seacoast Comm. & Mixed-Use)	Mixed-Use
East	R-2000 (Medium Density Res.)	Residential
West	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial

ENVIRONMENTAL IMPACT:

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 as a Class 32 project (In-Fill Development Projects).

COASTAL JURISDICTION:

The project is located in the Coastal Zone and the City will need to consider evaluating the project with respect to conformity with coastal permit findings.

FISCAL ANALYSIS:

The Applicant has deposited \$10,500.00 to fund processing of the application.

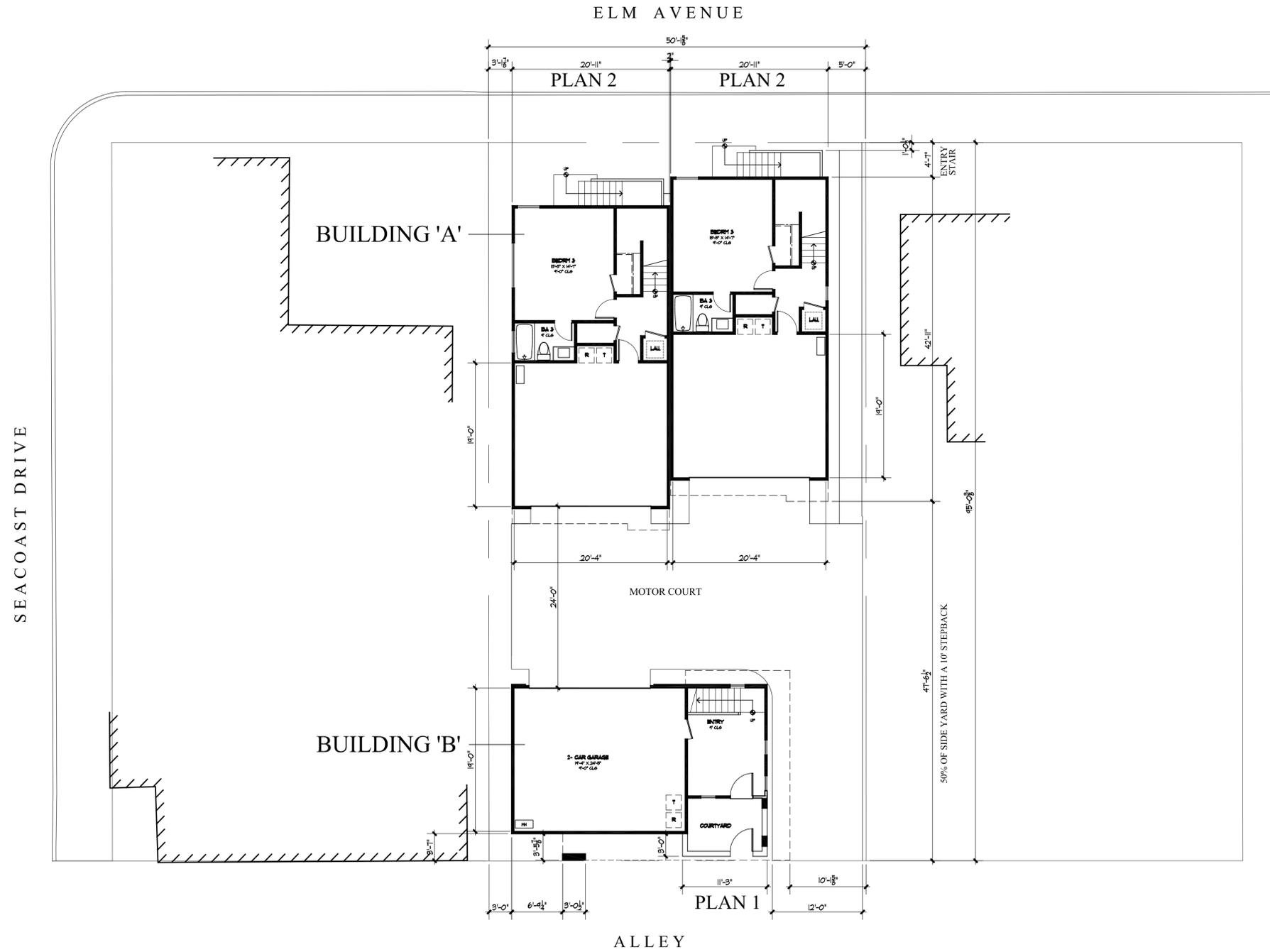
DEPARTMENT RECOMMENDATION:

Staff recommends that the Design Review Board:

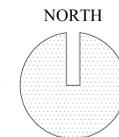
1. Receive report;
2. Consider public comment and the design of the project;
3. Recommend approval of the project to the City Council with recommendations provided by the Design Review Board.

Attachments:

1. Plans
 2. Colors and Material Information
 3. Draft Conceptual Renderings
- c: file MF 1170



SITE PLAN
SCALE: 1/8" = 1'-0"

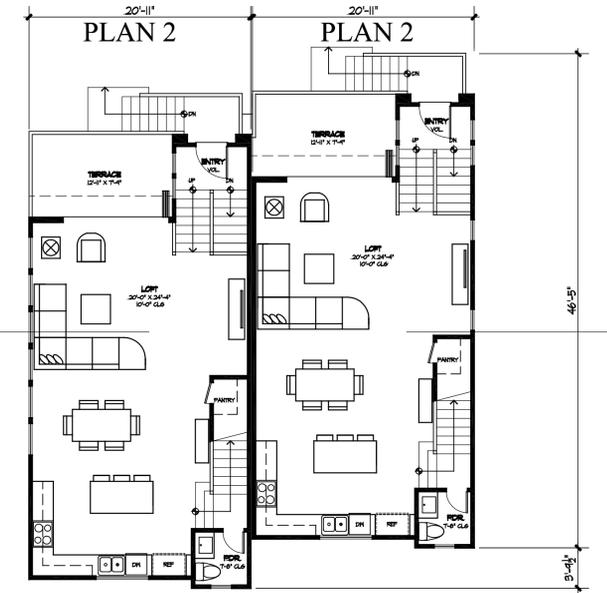
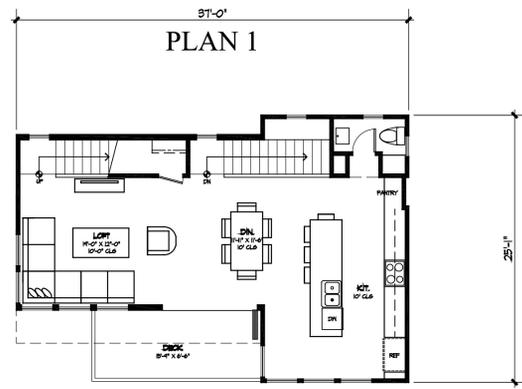
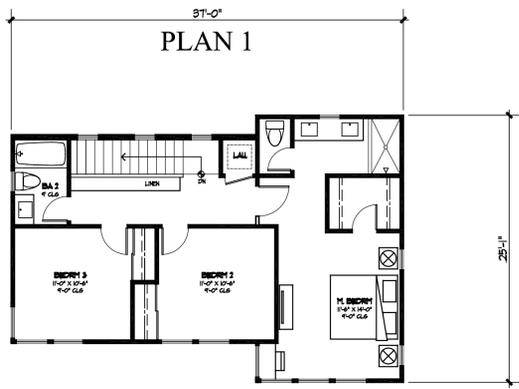


1 1 9 E L M
CITYMARK
SCALE: 1/8" = 1'-0"



TABULATIONS

SITE AREA	4,765 S.F.
DENSITY	4,765 / 1210 S.F. PER UNIT = 3.94 UNITS
LANDSCAPING	4,765 X .15 = 715 S.F. 837 S.F. PROVIDED
PLAN 1	1 - 3 BR 3.5 BA. 1,650 S.F.
PLAN 2	2 - 3 BR 3.5 BA. 1,806 S.F.
RESIDENTIAL PARKING	3 X 1.5 = 4.5 OR 5 6 PROVIDED
CONSTRUCTION TYPE	TYPE VB NFPA 13 SPRINKLERS The project will conform to all CBC applicable requirements.
CONDITIONAL USE PERMIT INCENTIVES	Minimum of 25% of the units are three bedroom (8 of 11 unit are 3 bedroom) The project will demonstrate the ability to achieve . LEED Green Building Rating equivalency.



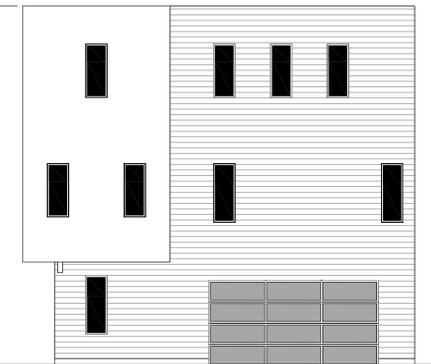
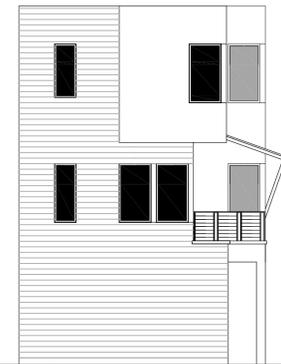
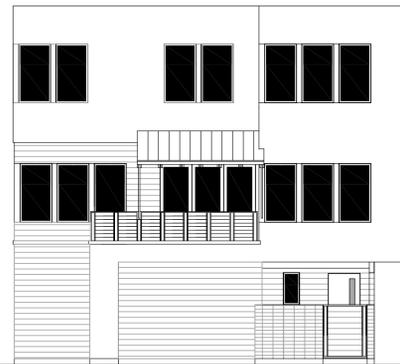
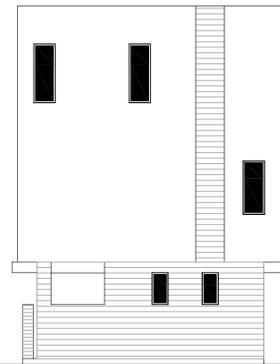
THIRD FLOOR BLDG. 'B' PLAN
SCALE: 1/8" = 1'-0"

SECOND FLOOR BLDG. 'B' PLAN

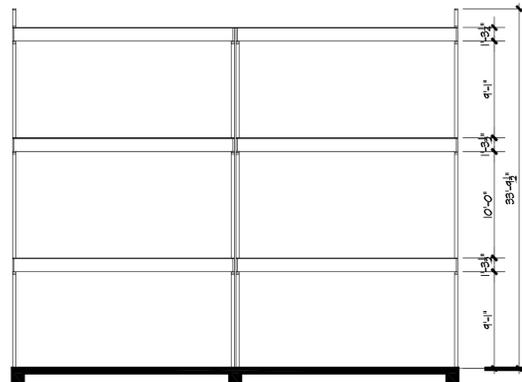


THIRD FLOOR BLDG. 'A' PLAN
SCALE: 1/8" = 1'-0"

SECOND FLOOR BLDG. 'A' PLAN



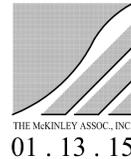
EAST SOUTH WEST NORTH
BUILDING 'A' ELEVATIONS ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 'A' SECTION
SCALE: 1/8" = 1'-0" BUILDING 'B' SIMILAR

EAST SOUTH WEST NORTH
BUILDING 'A' ELEVATIONS ELEVATION
SCALE: 1/8" = 1'-0"

1 1 9 E L M
CITYMARK
SCALE: 1/8" = 1'-0"



MF 1170/ACP 140055/CUP 140056/DR 140057/SPR 140058/TPM 140059

119 ELM AVENUE

OWNER'S CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE RECORDER OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: *George W. Howard III*
 GEORGE W. HOWARD III

APPLICANT

CITYMARK COMMUNITIES, LLC
 3818 PARK BLVD
 SAN DIEGO, CA 92103
 (619) 231-1161

LEGAL DESCRIPTION

LOT 14, BLOCK 21, IMPERIAL BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1139, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 16, 1908.

BENCHMARK

2.25" BRASS DISC, CITY OF SAN DIEGO ROS 14492, POINT 184, NORTH SIDE OF BOULEVARD AVENUE ON CENTER OF 8TH STREET, SOUTH OF RAILROAD TRACKS. ELEVATION: 12.85 NAVD88

SITE ADDRESS

119 ELM AVE.
 IMPERIAL BEACH, CA 91932

TOPOGRAPHY AND MAP

PREPARED BY:
 PASCO, LARET, SUITER & ASSOCIATES, INC.
 SOLANA BEACH, CA 92075
 (858) 259-8212

ZONING INFORMATION

TOTAL PARCELS: 1 PARCEL
 GENERAL PLAN DESIGNATION: C/MU-2
 PRESENT ZONING REGULATIONS: C/MU-2
 PRESENT USE: SEACOAST COMMERCIAL AND MIXED USE ZONE
 PROPOSED USE: SEACOAST COMMERCIAL AND MIXED USE ZONE

MINIMUM GROSS LOT AREA: 3,000 SF

APN: 625-351-02

ACCESS

PUBLIC ALLEY BETWEEN EVERGREEN AVENUE AND ELM AVENUE

UTILITIES

WATER	CALIFORNIA AMERICAN WATER DISTRICT	(619) 522-6400
FIRE	IMPERIAL BEACH FIRE PROTECTION DISTRICT	(619) 423-8223
SEWER	CITY OF IMPERIAL BEACH	(619) 423-8311
GAS/ELECTRIC	SDG&E	(800) 411-7343
ELEMENTARY SCHOOL	SOUTH BAY UNION ELEMENTARY SCHOOL DISTRICT	
HIGH SCHOOL	SWEETWATER UNION HIGH SCHOOL DISTRICT	

EARTHWORK DATA:

50 CY - CUBIC YARDS EXCAVATION (CUT)
 50 CY - CUBIC YARDS EMBANKMENT (FILL)
 0 CY - CUBIC YARDS EXPORT

* ESTIMATE DOES NOT INCLUDE STRIPPINGS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS

CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS).

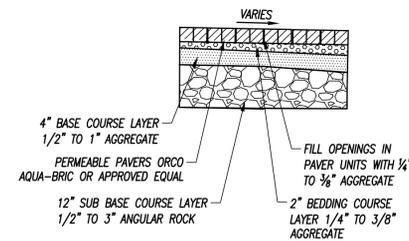
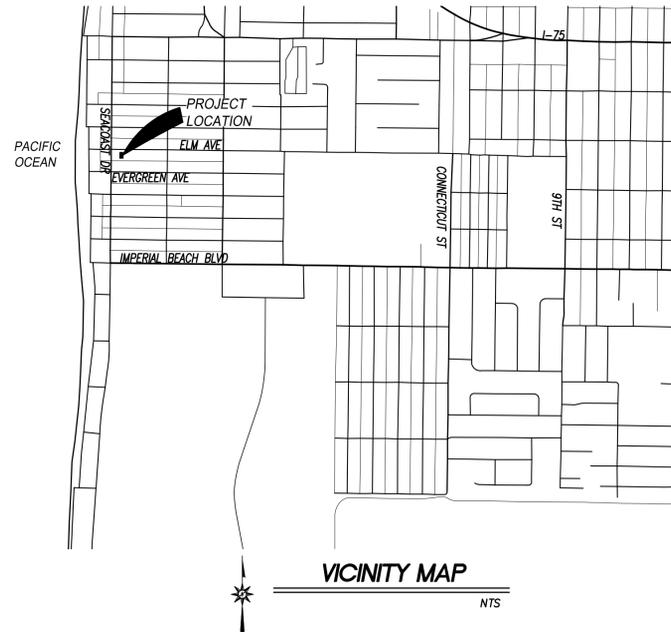
DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION

SHEET INDEX

SHEET 1 - NOTES
 SHEET 2 - GDP PRELIMINARY GRADING PLAN

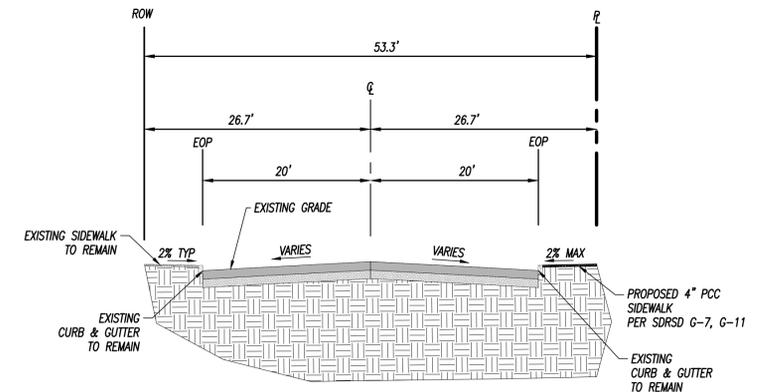
ENGINEER OF WORK

Tyler G. Lawson 1-16-15
 TYLER G. LAWSON, RCE 80356 DATE



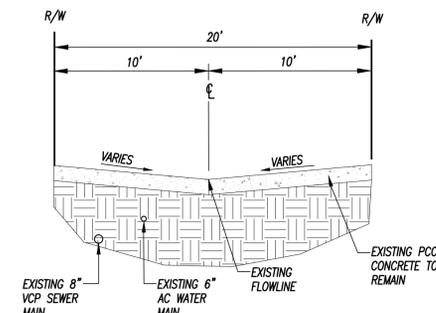
NOTE:
 PAVER INSTALLATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. PAVER SECTION IS SHOWN FOR REFERENCE ONLY. PAVER SECTION IS REQUIRED TO MAINTAIN IMPOSED LOADS OF NOT LESS THAN 75,000 LBS

TYPICAL SECTION: PERMEABLE PAVERS



TYPICAL SECTION: ELM AVENUE

NTS



TYPICAL SECTION: ALLEY

NTS

SITE AREA

GROSS: 4,766 SF (0.11 ACRES)

DESCRIPTION OF WORK TO BE DONE

CONSTRUCTION OF 3 RESIDENTIAL UNITS. SITE REDEVELOPMENT INCLUDES NEW STREET, UTILITY, AND DRAINAGE IMPROVEMENTS TYPICAL TO MIXED-USE DEVELOPMENT PROJECTS.

NOTE: ALL EXISTING ON-SITE STRUCTURES TO BE REMOVED

UTILITY NOTES

EXISTING ABANDONED SEWER LATERAL MUST BE PLUGGED AT THE PROPERTY LINE AND MAIN LINE PER BUILDING STANDARDS SPECIFICATIONS.

ALL ABOVE-GROUND ELECTRICAL FACILITIES SHALL BE UNDERGROUNDED WITHIN THE PROJECT LIMITS.

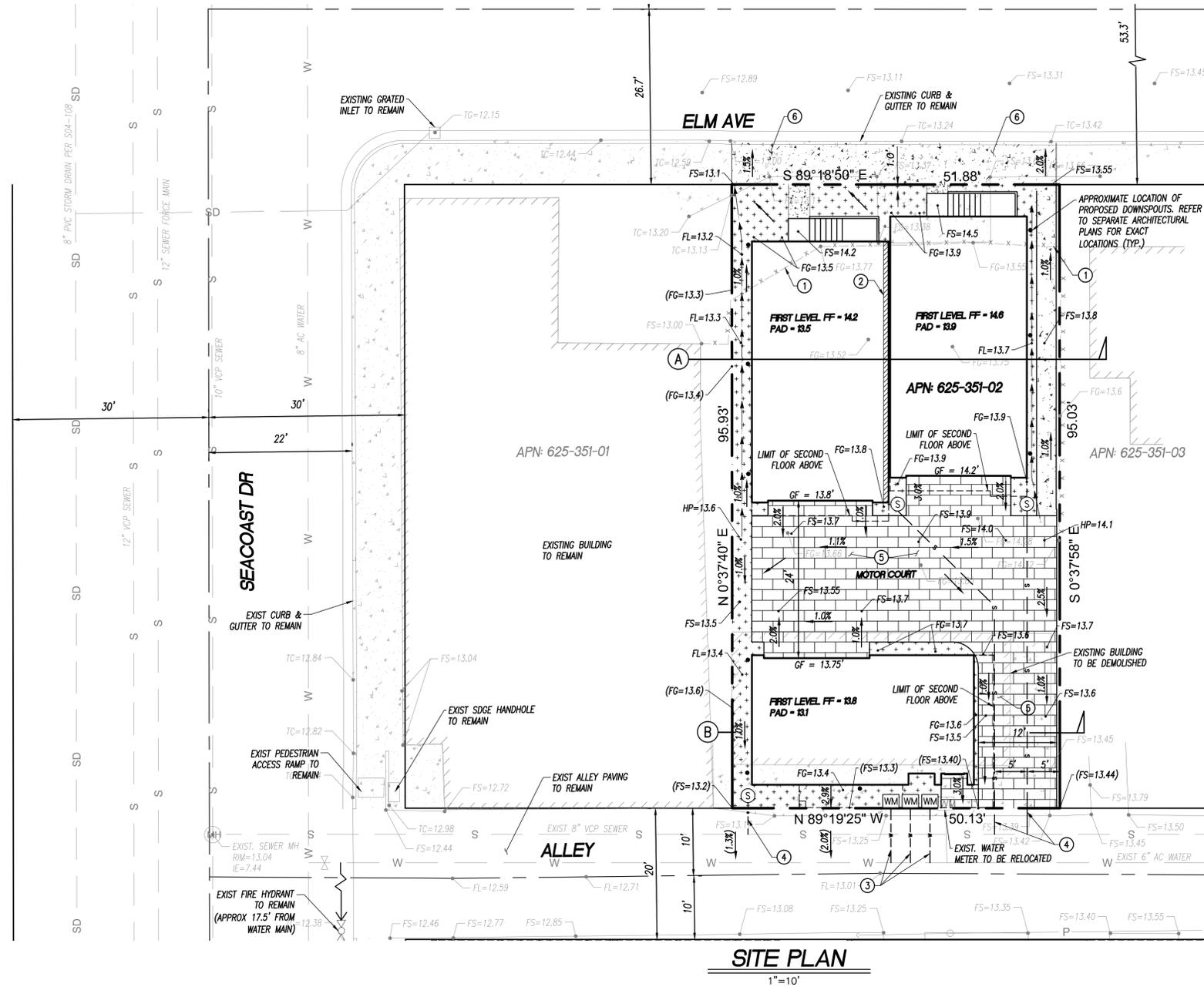
PREPARED DATE: 10-30-2014

PASCO LARET SUITER & ASSOCIATES
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
 535 North Highway 101, Ste A, Solana Beach, CA 92075
 ph 858.259.8212 | fx 858.259.4812 | plsengineering.com

MF 1170/ACP 140055/CUP 140056/DR 140057/SPR 140058/TPM 140059

PRELIMINARY GRADING PLAN

119 ELM AVENUE

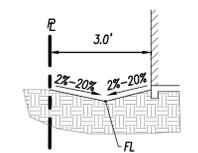
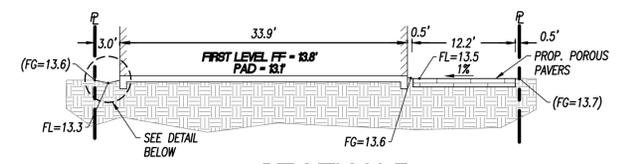
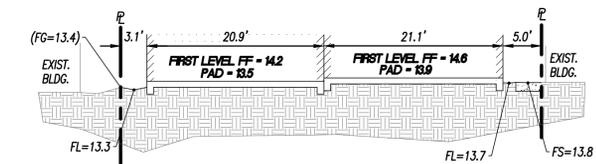


LEGEND

	PROJECT PROPERTY LINE
	EXISTING RIGHT-OF-WAY/PROPERTY LINE
	PROPOSED LANDSCAPING
	PROPOSED PCC
	PROPOSED POROUS PAVERS
	CENTERLINE OF ROAD
	EXISTING PVC STORM DRAIN
	EXISTING VCP SEWER MAIN
	EXISTING ACP WATER MAIN
	PROPOSED DRAINAGE DIRECTION
	PROPOSED FLOWLINE
	PROPOSED SEWER LATERAL PER WAS SS-01
	PROPOSED 1" WATER SERVICE PER WAS WS-09
	PROPOSED ROOF DOWN SPOUT

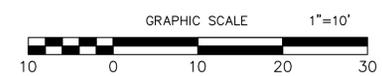
ABBREVIATION LEGEND

BS	=	BOTTOM OF STAIR ELEVATION
BW	=	BOTTOM OF WALL ELEVATION
FS	=	FINISHED SURFACE
FG	=	FINISHED GRADE
FL	=	FLOW LINE
FF	=	FINISHED FLOOR
GF	=	GARAGE FINISHED FLOOR
IE	=	INVERT ELEVATION
TG	=	TOP OF GRATE ELEVATION
TW	=	TOP OF WALL ELEVATION



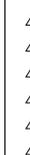
CONSTRUCTION LEGEND

- | | | | |
|---|---|---|--|
| ① | EXISTING FENCE TO BE REMOVED | ④ | PROPOSED 4" SEWER LATERAL PER WAS SS-01 |
| ② | PROPOSED STEM WALL PER ARCHITECTURAL PLAN | ⑤ | PROPOSED PERMEABLE PAVERS PER DETAIL SHEET |
| ③ | PROPOSED 1" WATER SERVICE PER WAS WS-09 | ⑥ | PROPOSED 4" PCC SIDEWALK PER SDRSD G-7, G-11 |



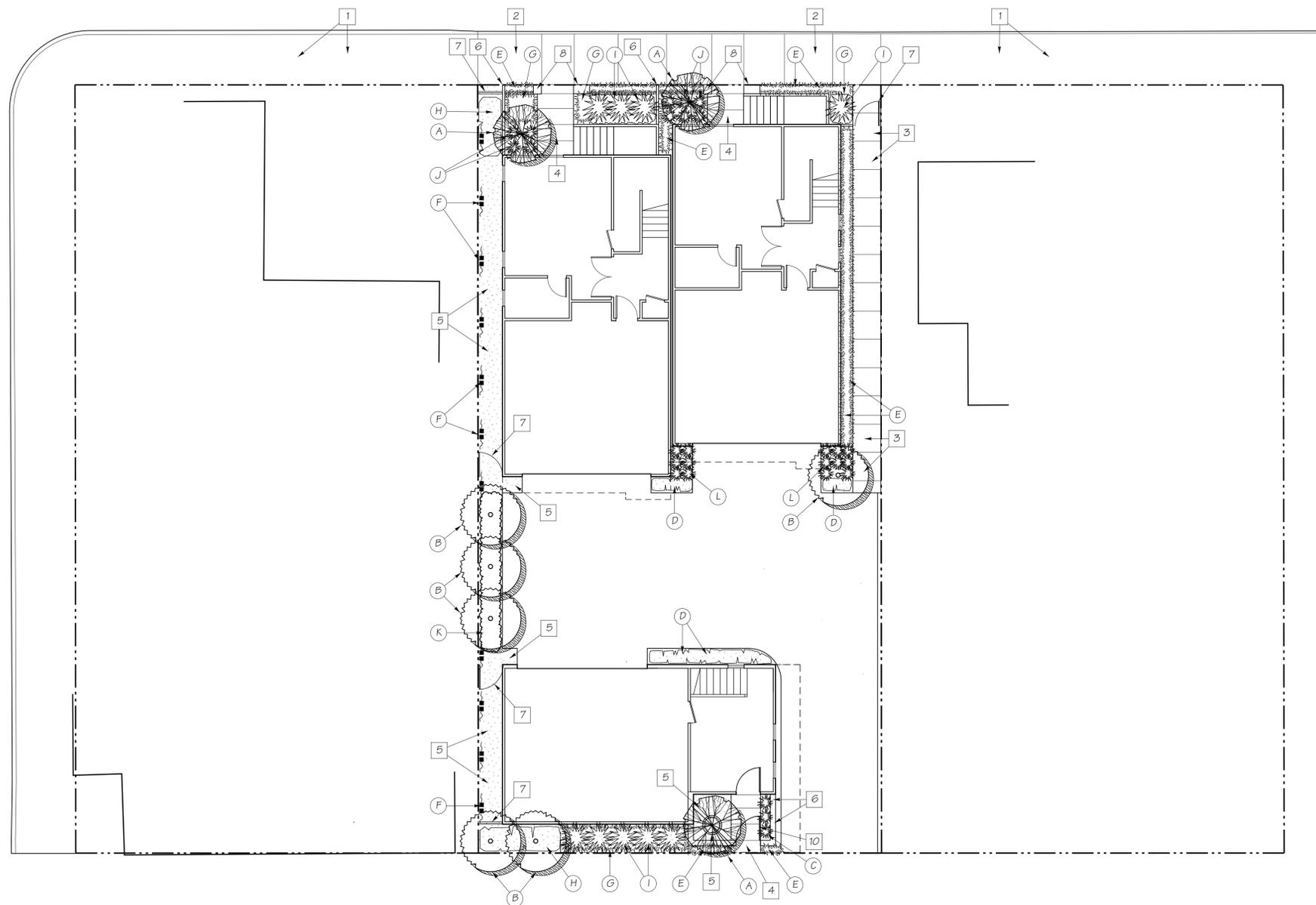
PREPARED DATE: 10-30-2014

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ELM AVENUE

SEACOAST DRIVE



ALLEY

HARDSCAPE LEGEND

- 1 EXISTING CITY CONCRETE WALK TO REMAIN
- 2 CONCRETE WALK - COLOR & FINISH TO MATCH EXISTING
- 3 CONCRETE WALK - NATURAL GREY, ACID WASH FINISH
- 4 PRIVATE PATIO CONCRETE PAVING-INTEGRAL COLOR, ACID WASH FINISH
- 5 DECOMPOSED GRANITE PAVING
- 6 PRIVATE PATIO WALL
- 7 PERIMETER GATE & FENCE
- 8 LOW PRIVATE PATIO FENCE & CURB
- 9 3' ROUND FIBERGLASS POT
- 10 PRIVATE PATIO GATE

PLANT LEGEND

BOTANICAL NAME COMMON NAME SIZE SPACING

PROPOSED PLANTING

TREES

- A LEPTOSPERMUM S.'BURGUNDY QUEEN' NEW ZEALAND TEA TREE 15 GAL. AS SHOWN
- B PODOCARPUS MACROPHYLLUS YEW PINE 15 GAL. AS SHOWN

SHRUBS & GROUND COVERS

- C ALOE AFRICANA SPINY ALOE 5 GAL. 2' O.C.
- D AGAPANTHUS 'STORM CLOUD' DARK BLUE AGAPANTHUS 5 GAL. 2' O.C.
- E CHONDROPETALUM TECTORUM CAPE RUSH 5 GAL. 2' O.C.
- F LONICERA HILDEBRANDIANA GIANT BURMESE HONEYSUCKLE 5 GAL. AS SHOWN
- G MYOPORUM PARVIFOLIUM 'PINK' AUSTRALIAN PINK RACER 5 GAL. 2' O.C.
- H MUHLENBERGIA C. 'REGAL MIST' PINK MUHLY 1 GAL. 3' O.C.
- I PHORMIUM 'MONROVIA RED' NEW ZEALAND FLAX 15 GAL. 3' O.C.
- J PHORMIUM 'BLONDIE' NEW ZEALAND FLAX 5 GAL. 2'-6" O.C.
- K WESTRINGIA FRUTICOSA 'SMOKEY' COAST ROSEMARY 5 GAL. 3' O.C.
- L WESTRINGIA 'WYNYABBIE HIGHLIGHT' VARIEGATED AUST. ROSEMARY 5 GAL. 2' O.C.

IRRIGATION NOTES

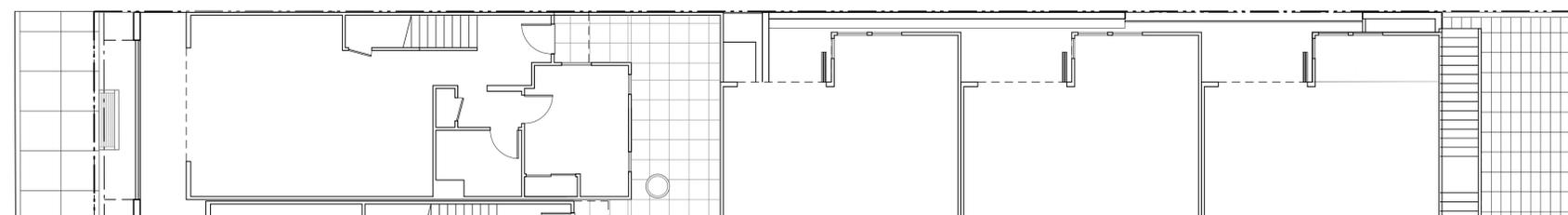
1. ALL AREAS SHOWN TO BE PLANTED WILL BE IRRIGATED WITH A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW GALLONAGE, LOW PRECIPITATION RATE SPRAY HEADS, ALONG WITH BUBBLER HEADS IN SMALLER AREAS AND DRIP EMITTERS FOR POTTED PLANTS. HEADS WILL BE GROUPED INTO ZONES BASED ON EXPOSURE AND PLANT TYPES. AUTOMATIC VALVES WILL CONTROL THE FLOW OF WATER TO EACH ZONE.
2. THE SYSTEM WILL BE CONNECTED TO THE EXISTING DOMESTIC IRRIGATION SYSTEM / POTABLE WATER SUPPLY THROUGH AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER.
3. A "SMART CONTROLLER" WITH SCHEDULE ADJUSTED BY ACTUAL LOCAL EVAPOTRANSPIRATION (eT) RATES WILL BE USED TO CONTROL THE AUTOMATIC VALVES.
4. AN AUTOMATIC RAIN SENSING OVER-RIDE WILL BE CONNECTED TO THE CONTROLLER.
5. INDIVIDUAL HEADS AND ZONES WILL BE ADJUSTED TO MINIMIZE OVERSPRAY ONTO BUILDINGS, WALLS, WALKS AND PAVEMENTS. THE SYSTEM WILL ALSO BE PROGRAMMED TO BE RESPONSIVE TO SEASONAL PLANT NEEDS.

PLANTING NOTES

1. ALL SHRUB BEDS ARE TO BE MULCHED WITH A MINIMUM OF 3" OF WOOD CHIPS OR DECORATIVE GRAVEL AFTER PLANTING.
2. ALL TREES PLANTED WITHIN 5' OF PAVING ARE TO HAVE LINEAR ROOT BARRIERS PLACED AT THE EDGE OF PAVING AND EXTENDING 6" MINIMUM EACH SIDE OF THE CENTER OF THE TREE.
3. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES.
4. ALL LANDSCAPE AREAS, INCLUDING GRASS AND MULCH AREAS, MUST BE IMPROVED TO CONSIST OF AT LEAST 12-INCHES OF LOAMY SOIL IN ORDER TO MAXIMIZE THE WATER ABSORPTION DURING WET WEATHER CONDITION AND MINIMIZE IRRIGATION RUNOFF.

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES BY THE OWNER / DEVELOPER.



THIS PLAN IS CONCEPTUAL AND SCHEMATIC IN NATURE ONLY. IT IS NOT INTENDED TO BE A FINAL CONSTRUCTION PLAN. THIS PLAN DOES NOT SHOW FINAL CONSTRUCTION DETAILS. STRUCTURAL OR DRAINAGE REQUIREMENTS, FINAL PLANTING LOCATIONS, OR IRRIGATION DESIGN. ADDITIONAL DETAIL MUST BE DEVELOPED IN THESE AREAS PRIOR TO CONSTRUCTION. DPA INC. ASSUMES NO LIABILITY FOR CONSTRUCTION PURSUANT TO THIS PLAN.

LANDSCAPE CONCEPT PLAN

CITYMARK EVERGREEN/ELM
IMPERIAL BEACH, CALIFORNIA

DATE 1.16.15

SCALE 1/8" = 1'-0"

DRAWN HGB

JOB NO. 14-026

SHEET L1

OF SHEETS

NORTH



SCALE: 1/8" = 1'-0"

STUDIO@ONOVER

CITYMARK /IMPERIAL BEACH EXTERIOR COLOR & MATERIALS

01.16.15

110 EVERGREEN

STUCCO: PAINT TO MATCH BM 1521 'NATURE'S ESSENTIALS'

SIDING (PRIMARY): PAINT TO MATCH PPG 1038-7 'MIDNIGHT HOUR'

SIDING (ACCENT):

CORNER UNIT/SEACOAST & EVERGREEN: PAINT TO MATCH PPG 16-20

'BRONZE EUCALYPTUS'

CORNER UNIT/ & PASEO & EVERGREEN: PAINT TO MATCH DE 5299

'SLIGHTLY GOLDEN'

EVERGREEN PROJECT TYPICAL

WINDOW: MILGARD 'SILVER'

MASONRY: RCP BLOCK 'NATURAL'

MEDIUM SHOTBLAST: SEACOAST & EVERGREEN FACADES

PRECISION BLOCK: PAINT TO MATCH PPG 1023-4 'DESERT DUNE'

GROUT: TO MATCH BLOCK

BLOCK INSTALLATION: STACKED BOND, TIGHT JOINTS & SLIGHTLY RECESSED GROUT

PERFORATED METAL EYEBROWS, STEEL SUPPORTS, RAILINGS & SECURITY FENCING:

'NATURAL' GALVANIZED STEEL

STOREFRONT AND ROLL-UP DOORS: CLEAR ANODIZED ALUMINUM

SPANDREL (IF WOOD) & WOOD OUTRIGGER: THERMORY (LEFT NATURAL TO WEATHER)

COMPOSITE WOOD FENCING: TREX 'WOODLAND BROWN'

**ALTERNATE NATURAL WOOD: THERMORY*

119 ELM

BLDG. A/PLAN 2

STUCCO: PAINT TO MATCH VP OW 126 'ALMOND SUGAR'

SIDING (WEST UNIT): PAINT TO MATCH PPG 1094-4 'CREPE'

SIDING (EAST UNIT): PAINT TO MATCH PPG 10-06 'THUNDERBOLT'

BLDG. B /PLAN 1

STUCCO: PAINT TO MATCH VP OW 126 'ALMOND SUGAR'

SIDING: PAINT TO MATCH FR CL 2875A 'MOSQUITO'

ELM PROJECT TYPICAL

WINDOW: MILGARD PREMIUM 'LIGHT GREY'

MASONRY: CREATIVE MINES 'MODERN' CRAFT PAINTGRADE BLOCK (LEFT UNPAINTED)

GROUT: TO MATCH BLOCK

INSTALLATION: STACKED BOND, TIGHT JOINTS, SLIGHTLY RECESSED JOINTS

GARAGE DOORS: CLEAR ANODIZED ALUMINUM

METAL ROOFS, STEEL SUPPORTS & RAILINGS: 'NATURAL' GALVANIZED STEEL





