



# A G E N D A



## **CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD REGULAR MEETING**

**THURSDAY, NOVEMBER 21<sup>ST</sup>, 2013 – 4:00 P.M.**

**Council Chambers  
825 Imperial Beach Blvd.  
Imperial Beach, CA 91932**

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### **NOTICE TO THE PUBLIC**

**SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.**

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### **AMERICANS WITH DISABILITIES ACT**

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Tina Barclay at (619) 628-1356, as far in advance of the meeting as possible.

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#### **1.0 CALL TO ORDER**

Roll call of members: Nakawatase, Bowman, Lopez, Phelps, Schaaf

#### **2.0 CONSENT CALENDAR**

*All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately. **Roll Call Vote Required.***

#### **2.1 MOTION TO APPROVE THE MINUTES OF THE JULY 18<sup>TH</sup>, 2013 MEETING**

#### **3.0 PUBLIC COMMENTS**

*The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. There will be no discussion, and the Board may only request that an item be placed on a future agenda.*

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.



**DRAFT**

**MINUTES**

**CITY OF IMPERIAL BEACH  
DESIGN REVIEW BOARD COMMITTEE**

**REGULAR MEETING OF THE DESIGN REVIEW BOARD OF  
THE CITY OF IMPERIAL BEACH  
City Council Chambers  
825 Imperial Beach Blvd.  
Imperial Beach, CA 91932**

**THURSDAY, JULY 18, 2013**

**4:00 P.M.**

*In accordance with City policy, all Design Review Board meetings are recorded on tape in their entirety and the tapes are available for review in the City of Imperial Beach, City Clerk's Office. These minutes are a brief summary of action taken.*

**1.0 CALL TO ORDER**

CHAIR NAKAWATASE called the meeting to order at 4:06 p.m.

**ROLL CALL**

BOARD MEMBERS:

Shirley Nakawatase - Chair  
Janet Bowman  
Daniel Lopez  
Harold Phelps  
Tom Schaaf

**PRESENT:** Nakawatase,, Lopez, Schaaf

**ABSENT:** Bowman, Phelps

**STAFF PRESENT:** Greg Wade, Assistant City Manager/Community Development Director  
Tyler Foltz, Associate Planner  
Tina Barclay, Recording Secretary

**2.0 CONSENT CALENDAR**

**VOTE TO APPROVE CONSENT CALENDAR ITEM NO. 2.1.**

**AYES:** Nakawatase, Lopez, Schaaf

**ABSTAIN:** None

**NOES:** None

**ABSENT:** Bowman, Phelps

**3.0 BUSINESS FROM THE PUBLIC:** None

**ITEM#3.0**

#### **4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT**

##### **4.1 DESIGN REVIEW BOARD HEARING: MONUMENT SIGNAGE FOR THE PIER SOUTH HOTEL LOCATED AT 800 SEACOAST DRIVE IN THE C-2 ZONE (SEACOAST COMMERCIAL) ZONE. MF661**

###### **Staff Report:**

Staff Foltz gave staff report. Two monument signs to locate at 800 Seacoast Drive. Northeast and Southeast corners of property. Site plans have always shown monuments. Proposed design 8 feet in height with base. Glass backing with brushed metal exterior. Within sign will have Pier South in brushed metal. The restaurant will have their name and will paint the aluminum to match their colors. Corrugated glass encased in a brush stainless steel frame. LED strip lighting would be provided. Sign will be 8 feet above the average grade that had been approved. Originally reviewed with photo simulations. Showed a wave shape to match roof and colors and match building. Applicants are proposing what they are today because feel more modern for today and will match the glass and water elements in the design of the entry area.

Staff recommends design and approval of project as presented.

**PUBLIC COMMENTS:** None

Applicant Present for Questions: Allison Rolfe, Pacifica Companies

###### **QUESTIONS TO APPLICANT:**

Nakawatase: Design could be jazzed up a little and could be a little more consistent with the hotel.

Rolfe: Held up because design issues between Marriott and Pacifica's designers. Sign was a collaborative effort. Did get some feedback and has been good. Glass will be illuminated with LED lights.

Nakawatase: My concern is with graffiti. Also, painted letters – whatever materials you use can they be cleaned? Would hate to see it defaced and permanently damaged.

Rolfe: Good concern. I will pass that comment on. Make sure those materials can be cleaned.

Nakawatase: I have to clean my properties a lot for tagging. But I don't want to delay this hotel any further, especially if you have design issues. As long as we are agreeing and want to move ahead, can always change the sign out later down the road – as long as meeting the height requirement, etc.

**ITEM # 4.1**

Rolfe: Yes, we opened a hotel in Del Mar and have already changed the signage.

Nakawatase: Tyler, can you confirm this.

Foltz: Yes, we just look for standards to be met.

Lopez: Maybe a bit further back in the planter, but if you have to replace it, ok.

Rolfe: Maintenance crews will be working. What grows well or doesn't may have to change. Official date is November 1, 2013 for grand opening.

**PUBLIC COMMENT:** Closed

**DISCUSSION:** None

**Motion by Schaaf to approve as presented by staff. Second by Lopez. Unanimously approved.**

**5.0 INFORMATIONAL ITEMS/REPORTS:** None

**6.0 NEW BUSINESS**

Schaaf: Bikeway Village project: Didn't come to us.

Foltz: Probably because of time constraints with funding.

Nakawatase & Schaaf: We should have been notified.

Wade: Permit was through Coastal Commission.

Foltz: Has been approved by Coastal Commission and City Council.

Wade: We are meeting with architect week of August 5<sup>th</sup> – submitting design changes to patio. Agreement we reached with them for redevelopment funding, this will be redefined. When we get this package re-done, we can bring this to DRB before Successor Agency. Council only really looked at site plan.

Nakawatase: I am making a formal request to have an explanation as to why it didn't come to DRB.

Wade: We will have to look into it.

Lopez: Great location, home run. See more 2 wheel traffic.

Nakawatase: Old Palm lane narrowing. That never came before us.

Foltz: We will have to consult Public Works.

Nakawatase: We saw Palm Avenue Commercial Corridor and 3<sup>rd</sup> and 7<sup>th</sup> and Rainbow. But we never finalized anything. Liking the rock element and surfboard. But don't like bougainvillea. Just getting the feeling that we didn't hear about some things and they just got done.

## 7.0 ADJOURNMENT

Chair Shirley Nakawatase adjourned the meeting at 4:28 p.m. on, July 18, 2013.

Approved

\_\_\_\_\_  
Shirley Nakawatase, DRB Chairperson

Attest

\_\_\_\_\_  
Tina Barclay, Recording Secretary

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**STAFF REPORT  
CITY OF IMPERIAL BEACH**

**TO:** DESIGN REVIEW BOARD  
**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT

**MEETING DATE:** NOVEMBER 21, 2013  
**ORIGINATING DEPT.:** COMMUNITY DEVELOPMENT DEPARTMENT  
GREG WADE, ASSISTANT CITY MANAGER/COMMUNITY DEVELOPMENT DIRECTOR  
JIM NAKAGAWA, AICP, CITY PLANNER  
TYLER FOLTZ, SENIOR PLANNER

**SUBJECT:** HABITAT FOR HUMANITY (APPLICANT); DESIGN REVIEW (DRC 120005) FOR THE CONSTRUCTION OF A NEW AFFORDABLE HOUSING COMPLEX CONSISTING OF SIX NEW ATTACHED CONDOMINIUM UNITS AT 776 10<sup>TH</sup> STREET (APN 626-282-12-00). MF 1086.

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**PROJECT DESCRIPTION/BACKGROUND:**

This is an application (MF 1086) for an Administrative Coastal Permit (ACP 120004), Design Review Case (DRC 120005), Site Plan Review (SPR 120006), and Tentative Map (TPM 120007) for the construction of a new affordable housing complex consisting of six new attached condominium units at 776 10<sup>th</sup> Street (APN 626-282-12-00), which is located in the C-1



(General Commercial) Zone. The project is subject to design review by the Design Review Board because it will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC)19.83.020).

**PROJECT EVALUATION/DISCUSSION:**

The project site includes two and a half lots that would be combined into one 10,097 square foot lot fronting 10<sup>th</sup> Street and Donax Avenue (northwest corner of 10<sup>th</sup> Street and Donax Avenue) in the C-1 Zone. Projects located in the C-1 Zone typically require a commercial component on the first floor, but the applicant is requesting to exclude the commercial component as an incentive for building an affordable housing project as allowed by IBMC Chapter 19.65. The

surrounding land uses are residential in character, though the properties to the north, east, and west are commercially zoned.

**DESIGN REVIEW:** The proposed project fronts along 10<sup>th</sup> Street and Donax Avenue and the overall design should contribute positively in making an architectural statement along the commercial corridor that transitions into residential zones to the south. The unit fronting both 10<sup>th</sup> Street and Donax Avenue extends across most of the 10<sup>th</sup> Street frontage to meet accessibility requirements, which requires one unit to meet accessibility standards. It is staff's opinion that the proposed design conforms to the intent and purpose of the design standards outlined in IBMC 19.83.010. The applicant's design provides varied rooflines, building projections, and varied building materials such as wood fascia and trim, cement siding, and metal roofing. In addition, photo voltaic panels would be provided on the roof for energy efficiency.



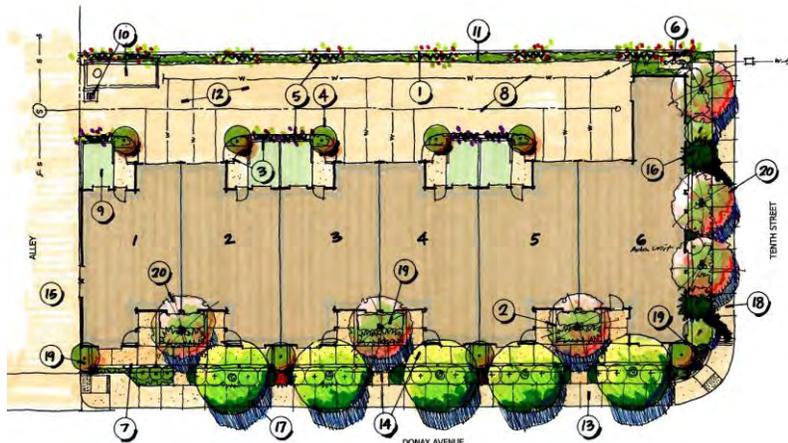
Tenth Street  
EAST ELEVATION  
1/8" = 1'-0"



Alley  
WEST ELEVATION  
1/8" = 1'-0"

Though the project should provide aesthetic appeal, staff would recommend lengthening the roof eaves and incorporating pergolas or other architectural around the larger second-story windows facing Donax Avenue (see Attachment 3 for an example of window pergolas).

The 10,097 square foot site would require 1,514 square feet of landscaping to meet the 15% on-site landscaping requirement. The project proposes 2,016 square feet of landscaping totaling 20% of the project site. However, staff is requesting clarification from the applicant to determine if the landscape calculations include off-site landscaping, which would not count toward



the landscape requirements. The project would have to request an additional development incentive if the on-site landscaping does not meet the minimum 15% landscape requirement. Landscaping would be provided on the north, east and south property lines, and would also be provided near the front door entry areas and public right-of-way. The proposed landscaping would include shrubs and trees, which would provide screening and a buffer between the public sidewalk and the building.

The proposed building orientation provides pedestrian access off of Donax Avenue. Vehicular ingress and egress occurs through a drive aisle located off of the alley on the west portion of the project site behind the building. Per IBMC 19.48.030, one and a half parking spaces are required per residential dwelling unit in the C-1 Zone, which would typically require nine parking spaces for the six residential units.

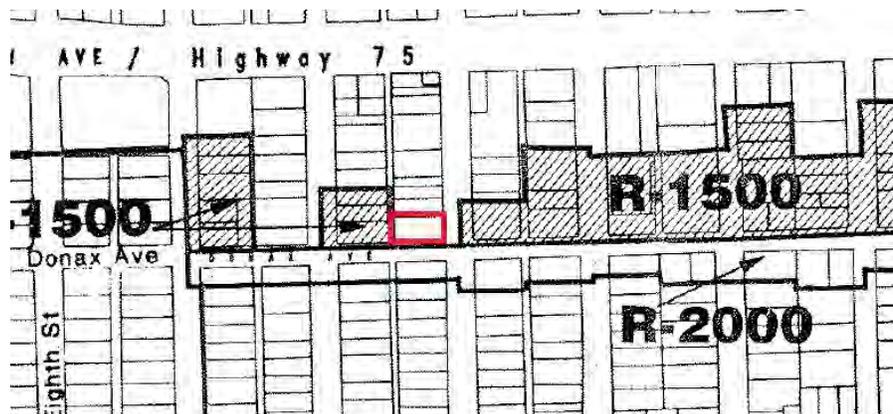


However, the Municipal Code states that the City Council may make exceptions to the off-street parking requirements as an incentive for constructing affordable housing developments (IBMC 19.65.060). The applicant is proposing six enclosed parking spaces and is requesting that reduced parking be considered as one of the development incentives. It should be noted that the applicant proposes to improve the 10th Street right-of-way adjacent to the east property line. These improvements would include new sidewalks, parking spaces, and landscaping subject to proposed 10th Street improvement plans that are still in the conceptual design phase.

Projects proposing more than four residential units typically require a trash and recycling enclosure. The applicant is proposing to exclude the trash and recycling enclosure requirement as an affordable housing development incentive. The project proposes to locate trash and recycling carts in the rear courtyards that locate off the drive aisle. Each residence would be required to transport the carts from the drive aisle and alley to Donax Avenue. Staff recommends that the project allow for cart transportation access in the “utility yard” located at the northeast corner of the property, particularly for the eastern three units.

**GENERAL PLAN/ ZONING CONSISTENCY:**

The proposed development is subject to C-1 (General Commercial) zoning requirements. The purpose of the C-1 Zone is to provide areas for business to meet the local demand for commercial goods and services. It is intended that the dominant type of



commercial activity in the C-1 Zone will be community and neighborhood serving retail and office uses (IBMC 19.26.010). However, the Municipal Code also establishes policies which facilitate the development of affordable housing to serve a variety of economic needs within the City. A residential project within a commercial zone may be allowed with incentives provided by IBMC Chapter 19.65.

STANDARDS	PROVIDED/PROPOSED
There are no front, side and rear yard setbacks in the C-1 zone (Section 19.26.040).	The structure maintains a one foot setback from the east and south property lines, approximately five foot setback from the north property line, and 0 setback on the west property line.
Minimum lot size of 3,000 square-feet (Section 19.26.050).	Two and a half lots will be combined into one 10,097 square foot lot.
Minimum street frontage of 30 feet (Section 19.26.060).	10 <sup>th</sup> Street frontage of 72.5 feet. Donax Avenue frontage of 139 feet.
Maximum building height of four stories or 40 feet (Section 19.26.070).	28-foot building height.
Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.040).	Total amount of landscaping is under review.
Required parking spaces for residential units in the C-1 Zone: One and a half spaces per dwelling unit (IBMC 19.48.030).	Nine spaces would be required; six parking spaces proposed.  The City Council may make exceptions to the off-street parking requirements as an incentive for constructing affordable housing developments (IBMC 19.65.060).

**Surrounding Land Use and Zoning**

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C-1 (General Commercial)	Residential
South	R-2000 (Medium Dens. Res.)	Residential
East	R-1500/MU-1 (Mixed Use Overlay)	Residential
West	R-1500/MU-1 (Mixed Use Overlay)	Residential

**Drainage**

The City requires new development to conform to state water quality/urban runoff requirements. The applicant has submitted the required documents/plans which must be approved by the City Engineer prior to project approval. These plans/reports demonstrate how storm water will be directed to landscaped areas (bioswales) or filters before being discharged into the city’s storm drains or to the beach.

**ENVIRONMENTAL IMPACT:**

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 as a Class 32 project (In-Fill Development Projects).

**COASTAL JURISDICTION:**

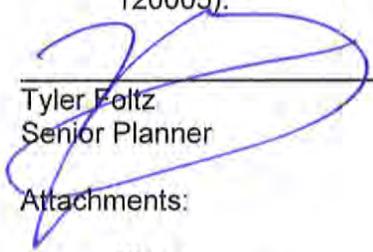
The project is located in the Non-Appealable area of the California Coastal Commission, as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map, and, as such, is not appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code.

**FISCAL ANALYSIS:**

The applicant has deposited \$7,500.00 in Project Account Number (120003) to fund the processing of this application.

**DEPARTMENT RECOMMENDATION:**

1. Consider the design of the project.
2. Recommend conditional approval of project as presented with recommendations provided by the Design Review Board to the City Council for Design Review (DRC 120005).



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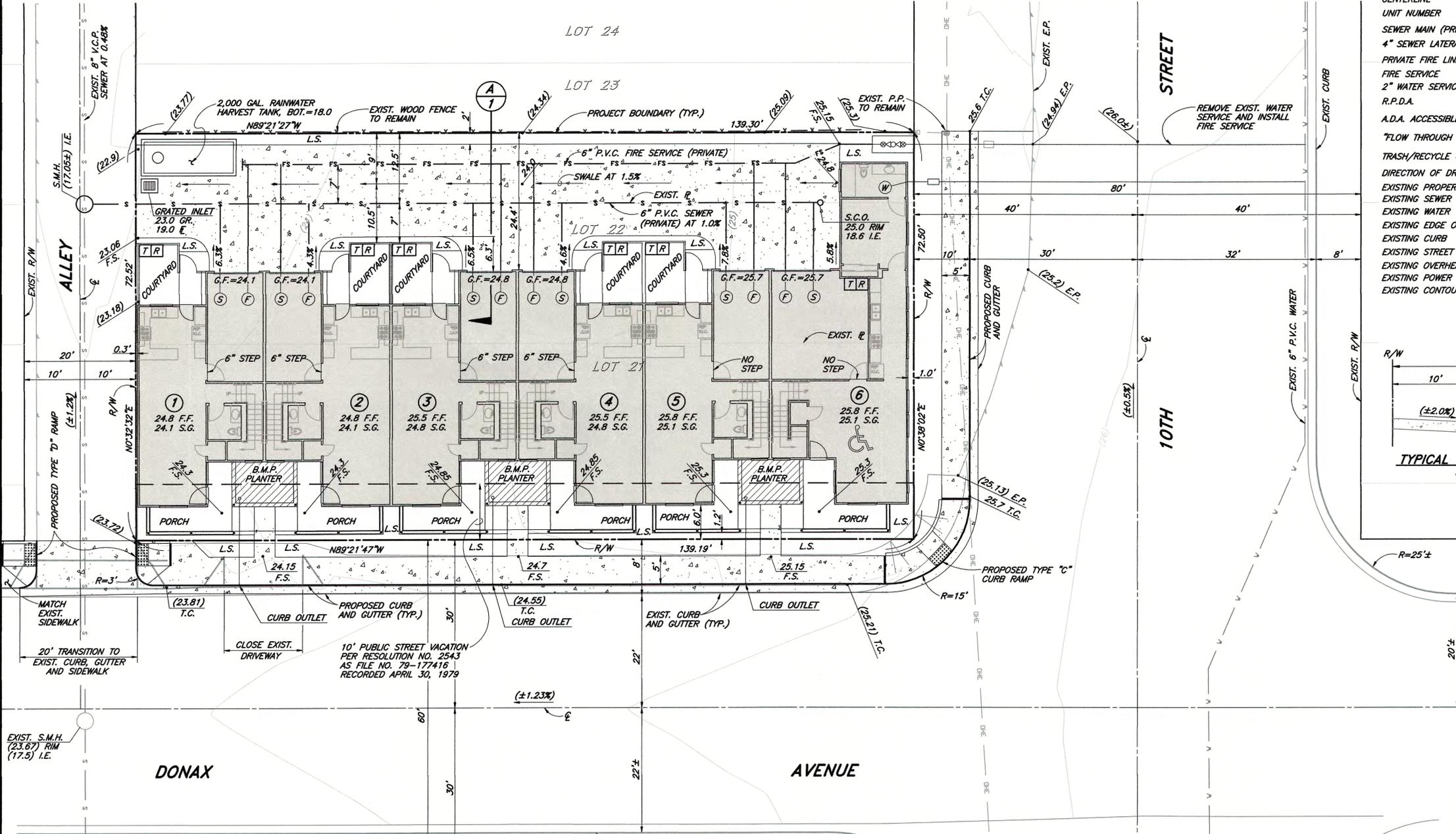
Tyler Foltz  
Senior Planner

Attachments:

1. Plans
  2. Colored Plans
  3. Pergola Examples
- c: file MF 1086

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# TENTATIVE MAP/SITE PLAN/COASTAL PERMIT FOR: TENTH STREET AND DONAX AVENUE



### LEGEND

- SUBDIVISION BOUNDARY CENTERLINE
- UNIT NUMBER
- SEWER MAIN (PRIVATE) AND MANHOLE
- 4" SEWER LATERAL
- PRIVATE FIRE LINE
- FIRE SERVICE
- 2" WATER SERVICE WITH 1.5" METER
- R.P.D.A.
- A.D.A. ACCESSIBLE UNIT
- "FLOW THROUGH PLANTER" B.M.P.
- TRASH/RECYCLE CONTAINERS
- DIRECTION OF DRAINAGE
- EXISTING PROPERTY LINE
- EXISTING SEWER
- EXISTING WATER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING STREET LIGHT
- EXISTING OVERHEAD ELECTRIC LINES
- EXISTING POWER POLE
- EXISTING CONTOUR

### LEGAL DESCRIPTION

LOTS 21 AND 22, AND THE SOUTH HALF OF LOT 23 OF MAP NO. 497.

### APPLICANT

HABITAT FOR HUMANITY SAN DIEGO  
10222 SAN DIEGO MISSION ROAD  
SAN DIEGO, CA 92108  
(619) 283-4663

### OWNER

THE HOUSING AUTHORITY OF IMPERIAL BEACH  
825 IMPERIAL BEACH BOULEVARD  
IMPERIAL BEACH, CA 91932

### GENERAL NOTES

1. EXISTING LOTS: 3.
2. PROPOSED LOTS: 1.
3. FEMA: ZONE "X" - AREA OUTSIDE 500-YEAR FLOOD ZONE.
4. ASSESSOR PARCEL NUMBER: 626-282-12.
5. ZONING: C-1.
6. PROPOSED USAGE: RESIDENTIAL CONDOMINIUM.
7. EARTHWORK: CUT = 50 C.Y.  
FILL = 50 C.Y.  
IMPORT = 0 C.Y.
8. DOWNSPOUT DRAINS SHALL BE DESIGNED TO DISCHARGE TO PRIVATE P.C.C. DRIVEWAY (REAR) OR TO B.M.P. PLANTERS (FRONT).
9. 10TH STREET PUBLIC IMPROVEMENTS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S "10TH STREET CONCEPT PLAN".
10. THE FINISHED FLOOR ELEVATION OF ALL UNITS SHALL BE GREATER THAN 12 INCHES ABOVE THE GUTTER FLOWLINE OF ALL ADJACENT PUBLIC STREETS.

### SOURCE OF TOPOGRAPHY

FIELD SURVEY PERFORMED BY SB&O, INC. ON APRIL 24, 2013.

### BENCH MARK

BRASS PLUG AT 14TH AND DONAX - DESCRIPTION: SWBP IN CURB INLET PER CITY OF SAN DIEGO BENCHMARK LISTING. ELEVATION = -11.932 MSL NGVD 1929.

### CONDOMINIUM NOTE

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350, ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS TO BE FILED PURSUANT TO THE SUBDIVISION MAP ACT. THIS PROJECT PROPOSES 6 RESIDENTIAL CONDOMINIUMS.

### PARKING

6 COVERED SPACES.

### AREA

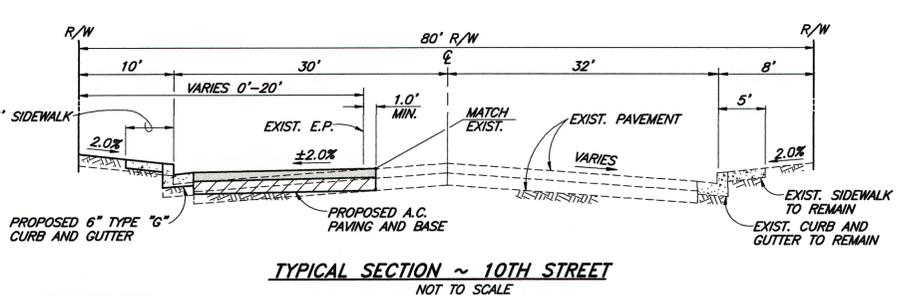
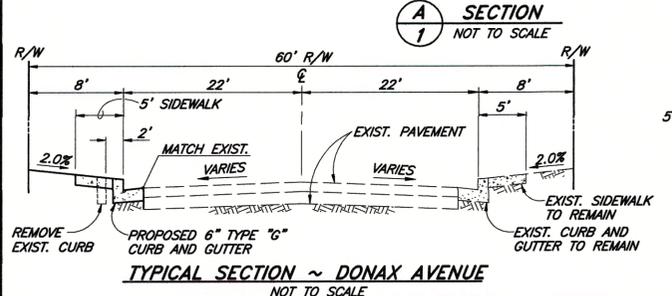
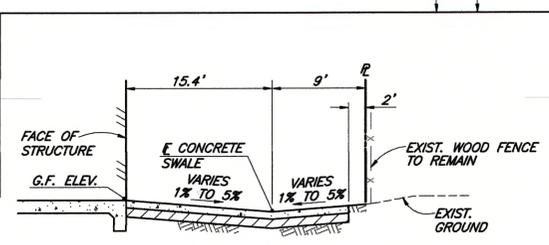
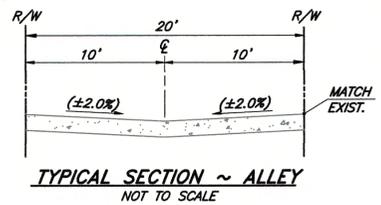
GROSS AREA = 0.232 AC. (10,097 S.F.).

### LOW INCOME HOUSING INCENTIVES

1. REDUCE PARKING TO 6 ON-SITE SPACES.
2. ELIMINATE COMMERCIAL COMPONENT OF BUILDING.
3. NO REQUIREMENTS FOR COMMON TRASH ENCLOSURE.

### LIST OF ABBREVIATIONS

EXIST.	EXISTING
R/W	RIGHT-OF-WAY
(TYP.)	TYPICAL
AC.	ACRE
P	PROPERTY LINE
EL	CENTERLINE
E	FLOWLINE
A.P.N.	ASSESSOR'S PARCEL NUMBER
I.E.	INVERT ELEVATION
S.D.C.O.	STORM DRAIN CLEANOUT
S.M.H.	SEWER MANHOLE
C.O.S.D.	COUNTY OF SAN DIEGO
S.F.	SQUARE FEET
F.G.	FINISHED GRADE
T.C.	TOP OF CURB
F.F.	FINISHED FLOOR
MIN.	MINIMUM
P.P.	POWER POLE
S.G.	SUBGRADE ELEVATION
F.H.	FIRE HYDRANT
S.B.	SETBACK
E.P.	EDGE OF PAVEMENT
G.F.	ELEVATION OF GARAGE SLAB AT LIP
L.S.	LANDSCAPE
F.S.	FINISHED SURFACE
BOT.	BOTTOM

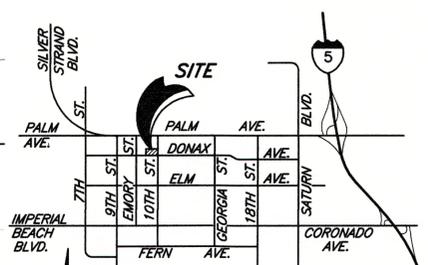


**SB&O INC.**  
PLANNING ENGINEERING SURVEYING  
3990 Ruffin Road, Suite 120  
San Diego, Ca. 92123  
858-560-1141  
858-560-6157 Fax

*Aaron Parker*  
10-31-13  
DATE

### VICINITY MAP

NOT TO SCALE



Prepared By: SB&O INC.

Name: SB&O INC.

Address: 3990 RUFFIN ROAD, SUITE 120  
SAN DIEGO, CALIFORNIA 92123

Phone #: (858) 560-1141

Project Address: 776 10TH STREET  
IMPERIAL BEACH, CALIFORNIA

Project Name: TENTH STREET AND DONAX AVENUE

Sheet Title: TENTATIVE MAP/SITE PLAN/COASTAL PERMIT

Revision 14: \_\_\_\_\_

Revision 13: \_\_\_\_\_

Revision 12: \_\_\_\_\_

Revision 11: \_\_\_\_\_

Revision 10: \_\_\_\_\_

Revision 9: \_\_\_\_\_

Revision 8: \_\_\_\_\_

Revision 7: \_\_\_\_\_

Revision 6: \_\_\_\_\_

Revision 5: \_\_\_\_\_

Revision 4: \_\_\_\_\_

Revision 3: \_\_\_\_\_

Revision 2: 10-31-13

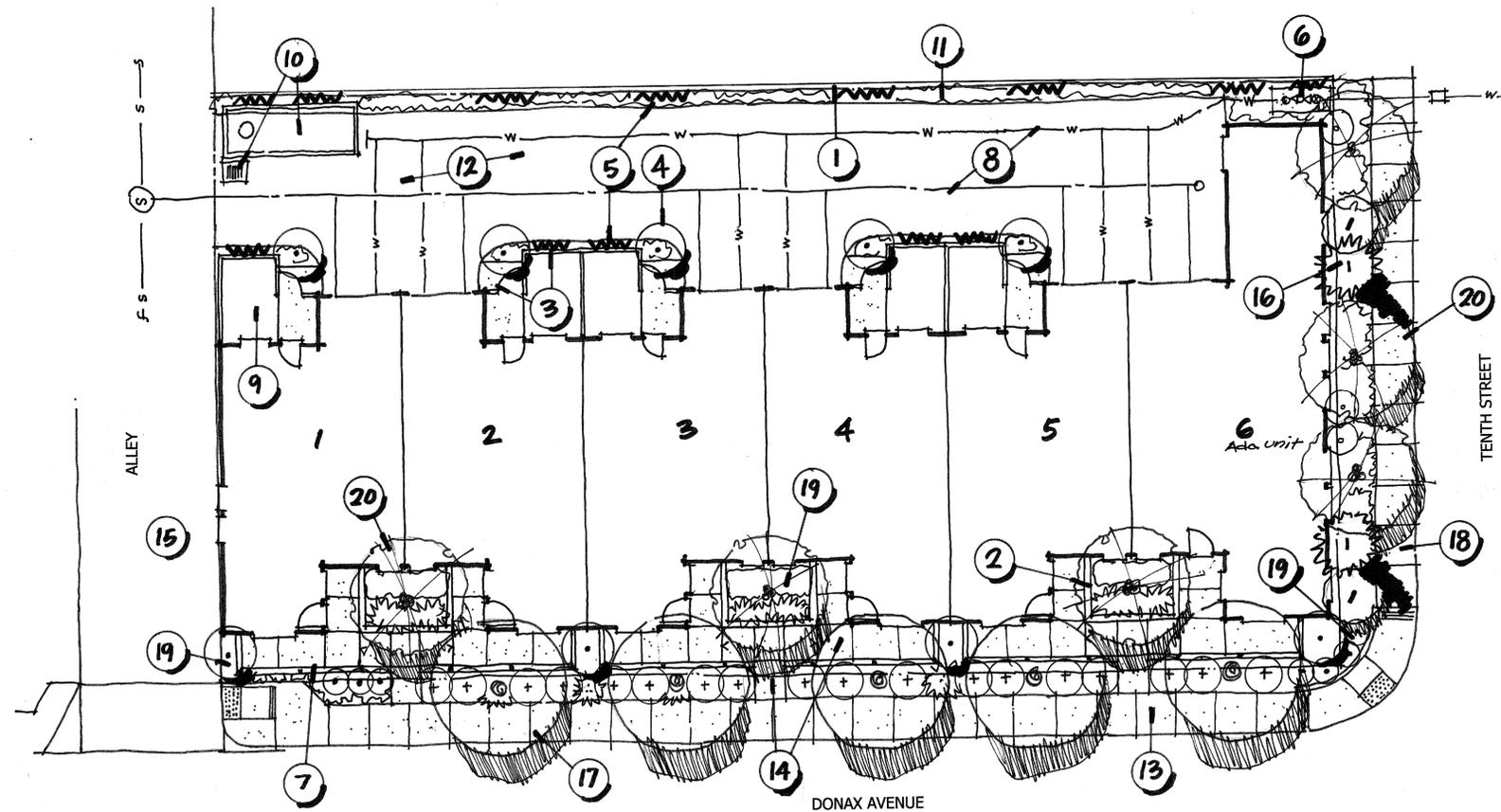
Revision 1: 8-14-13

Original Date: 7-31-13

Sheet: 1 of 1

**GENERAL NOTES**

1. ALL PLANTING, IRRIGATION & CONSTRUCTION SHALL CONFORM TO THE CITY'S MUNICIPAL CODE SECTIONS FOR LANDSCAPE IMPROVEMENTS, MSWP-ORDER 2001-01 AND ALL OTHER DESIGN GUIDELINES AND STANDARDS. PROJECT SHALL FULLY COMPLY WITH THE IMPERIAL BEACH HOUSING AUTHORITY PER THE RECOMMENDATION DATED MARCH 2012.
2. THE LANDSCAPING PROPOSED IS TO BE PRIMARILY OF A READILY AVAILABLE LOW WATER USE/ DROUGHT TOLERANT TYPE OF MATERIAL WITH A SMALL AMOUNT OF NATIVES. THE IRRIGATION SYSTEM WILL CONSIST OF STATE OF THE ART DRIP AND LOW VOLUME SPRAY EQUIPMENT. THE SYSTEM WILL BE CONTROLLED BY AN ET BASED "SMART" CLOCK FOR MAXIMUM WATERING EFFICIENCY.
3. ALL LANDSCAPE AREAS INCLUDING GRASS AND MULCH AREAS MUST BE IMPROVED (AMENDED) TO CONSIST OF AT LEAST 12" OF LOAMY SOIL IN ORDER TO MAXIMIZE THE WATER ABSORPTION DURING WET WEATHER CONDITIONS AND MINIMIZE IRRIGATION RUN-OFF.
4. ALL PLANTER AREAS SHALL BE TOPDRESSED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH MATERIAL.
5. ALL LANDSCAPE AND REAR YARD/ PATIO AREAS SHALL SLOPE AWAY FROM THE UNITS A MIN. OF 1% WITH SURFACE FLOW PER CIVIL GRADES. ALL SITE WATER COLLECTED FROM THE DRIVE LANES WILL FLOW THRU GRAVEL/ VEGETATED SWALES WHENEVER POSSIBLE AND INTO THE ON-SITE BASIN BEFORE EXITING THE SITE. THE REMAINDER OF THE SITE WATER FROM DOWNSPOUTS WILL DRAIN THRU THE VEGETATED SWALE OR THE ADJACENT LANDSCAPE AREAS BEFORE EXITING THE SITE.

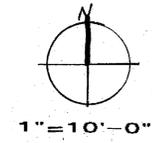


**PROPOSED PLANT PALETTE**

TREES		
	CUPRESSUS S. TINY TOWER	24" BOX
	LAGERSTROEMIA SPP. - MULTI	24" BOX
	ERIOBOTRYA 'COPPERTONE' - STD.	24" BOX
	STREET TREE (PODOCARPUS G.)	24" BOX
	(OR MATCH EXISTING ST. TREE ON BOTH STREETS)	
	PRUNUS C. BRIGHT 'N TIGHT- SHRUB	24" BOX
SHRUBS (NO SYMBOL)		
BACKGROUND (5 / 15 GAL.)		
BOTANICAL NAME	COMMON NAME	
JUNIPERUS C. 'SEA GREEN'	JUNIPER VAR.	
LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	TEXAS RANGER VAR.	
XYLOSMA COMPACTA	XYLOSMA VAR.	
FOREGROUND (5 GAL.)		
BOTANICAL NAME	COMMON NAME	
BACCHARIS CENTENIAL	BACCHARIS VAR.	
CONVOLVULUS CNEORUM	BUSH MORNING GLORY	
LAVANDULA DENTATA	LAVENDER VAR.	
PEROVSKIA 'BLUE SPIRE'	RUSSIAN SAGE VAR.	
RHAPHIDOLEPS SPP.	INDIAN HAWTHORN VAR.	
SALVIA MARASHINO	SAGE VAR.	
GROUND COVER / SPREADERS (1 GAL. / PLATS / POTS)		
BOTANICAL NAME	COMMON NAME	
ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	
LANTANA 'YELLOW'	LANTANA VAR.	
HYPOPHORUM PROSTRATUM 'PINK'	HYPOPHORUM VAR.	
MULCH / GRAVEL		
DECOMPOSED GRANITE	COLOR / LOCATION	
3/8" MINUS GRAVEL	TAN, SIDEYARDS (2" DEPTH)	
	TAN, FRONT PLANTER AREAS ONLY (2" DEPTH)	

**SITE FEATURES KEY**

- 1 NEW 6' WOOD FENCE AT NORHT P.L. - PAINT TO MATCH UNITS - TYP.
- 2 LANDSCAPE FILTRATION PLANTERS -DRAINS TO CURB CORE PER ARCHITECTURE PLANS-TYP OF (3).
- 3 5' HT TAN VINYL FENCE + MATCHING 3' GATE - TYP. AT ALLEY SIDE PRIVATE YARDS.
- 4 TALL VERTICAL ACCENT SHRUB - TYP.
- 5 VINES TO SOFTEN FENCING - TYP.
- 6 PROPOSED BLDG. WATER/ FIRE SERVICE + BACKFLOW PER CIVIL PLANS.
- 7 CONCRETE LOW WALL AT PORCH -TYP. PER ARCHITECTURE PLANS.
- 8 PROPOSED UNIT SEWER AND WATER LINES PER CIVIL PLANS.
- 9 PRIVATE YARD AT REAR ENTRANCE - TYP.
- 10 FILTRATION TANK AND ALLEY DRAIN INLET BOX PER CIVIL PLANS.
- 11 VEGETATED SWALE ALONG NORTH P.L. PER CIVIL PLAN
- 12 CONCRETE DRIVE LANE PER CIVIL PLANS (PERMEABLE PAVERS OR APPROVED EQUAL)
- 13 PROPOSED SIDE WALK + CORNER RAMP ALONG DONAX AVENUE PER CIVIL PLANS.
- 14 PRODUCTION CONCRETE ENTRY WALK + PORCH - TYP. PER ARCHITECTURE PLANS.
- 15 EXISTING ALLEY - TYP.
- 16 EVERGREEN SCREEN TREES - TYP.
- 17 CANOPY STREET TREES - TYP (24" BOX MIN)
- 18 PROPOSED 5' CONCRETE SIDE WALK ALONG TENTH ST. (SEE CITY TENTH ST. MASTER PLAN TO CONFIRM)
- 19 HOA MAINTAINED PRODUCTION LANDSCAPE TYP. (ALL AREAS NOT WITHIN PRIVATE FENCED YARDS) NOTE: PARKWAY/ R.O.W. LANDSCAPE (MAINTAINED BY HOA) REQUIRES A 75% PER CITY'S COMMUNITY DEVELOPMENT DEPT.
- 20 FLOWERING ACCENT TREE - TYP.



**LANDSCAPE CONCEPT PLAN**  
**776 TENTH STREET - 6 UNIT DEVELOPMENT**

CITY OF IMPERIAL BEACH, CA

**HABITAT FOR HUMANITY**

776 TENTH STREET  
 IMPERIAL BEACH, CALIFORNIA

*Wair*  
 12-001  
 5.17.13  
 rev. 7.30.13 rev. 10.21.13 NEW SITE PLAN  
 New printout / Site plan

SAN DIEGO HABITAT FOR HUMANITY

**L.1**

WEILAND ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTURE - CONSTRUCTION MANAGEMENT  
 8075 BLUE LAKE DRIVE - SAN DIEGO, CA 92119  
 (619) 444-1100  
 EMAIL: JOMALLEY@WAI.INC.COM

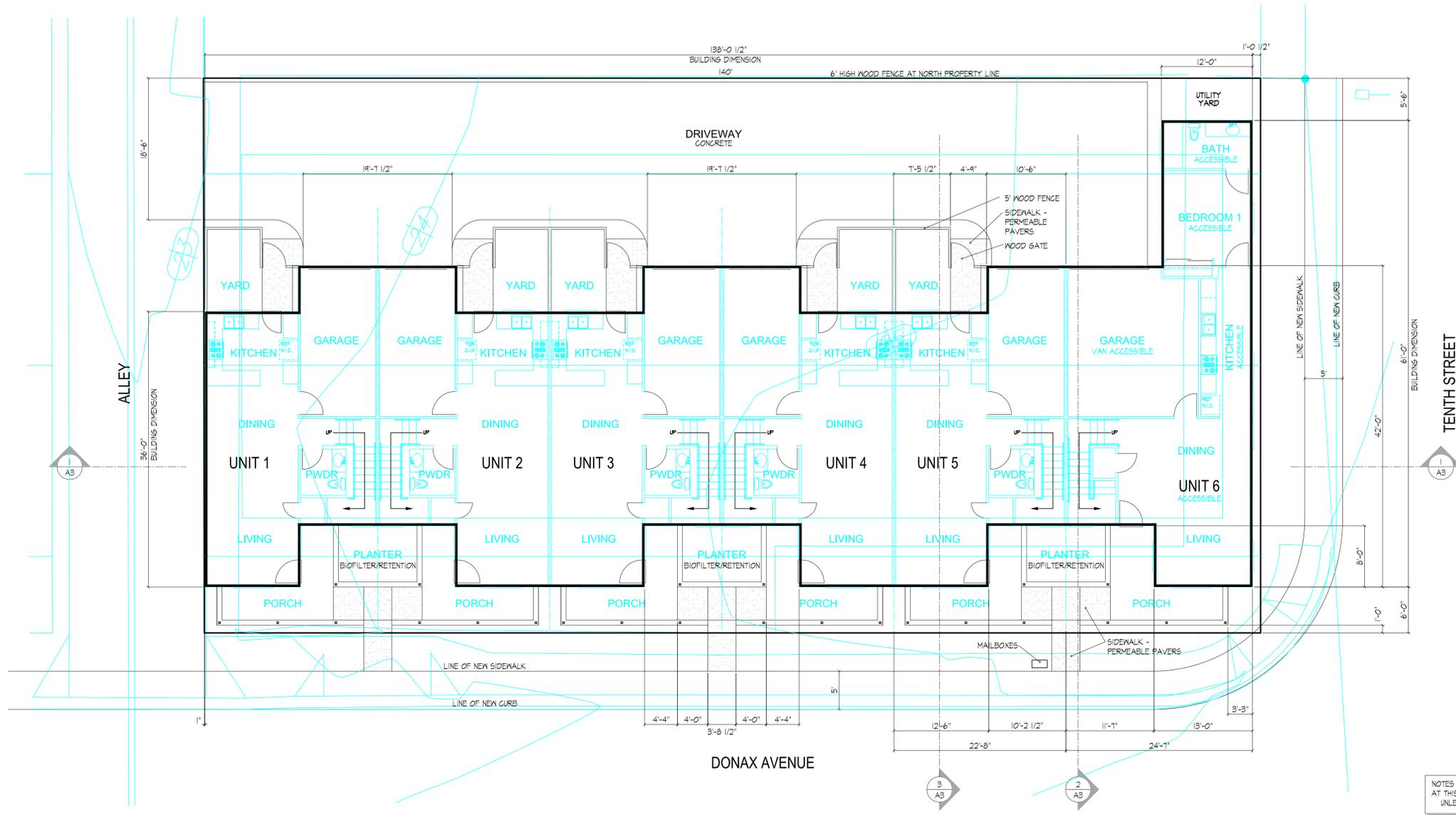




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REVISIONS

PERMIT SUBMITTAL -  
BID -  
FOR CONSTRUCTION -



SITE FLOOR PLAN  
1/8" = 1'-0"

NOTES AND DIMENSIONS SHOWN AT THIS UNIT TYPICAL THRU OUT UNLESS NOTED OTHERWISE

EXCEPTIONS TO BE USED FOR SETBACKS, PARKING & TRASH

Project Data

BUILDING AREAS	PER UNIT	BUILDING TOTALS
SITE AREA		10,050 SF
GROUND FLOOR LIVING AREA (UNITS 1-5)	588 SF	2,940 SF
SECOND FLOOR LIVING AREA (UNITS 1-5)	612 SF	3,060 SF
GROUND FLOOR LIVING AREA (UNIT 6)	821 SF	821 SF
SECOND FLOOR LIVING AREA (UNIT 6)	420 SF	420 SF
TOTAL LIVING AREA		7,541 SF
GARAGE AREA	209 SF	1,042 SF
TOTAL GROUND FLOOR AREA (COVERAGE)	743 SF	3,513 SF
TOTAL BUILDING AREA	1,956 SF	8,493 SF
TOTAL PORCH AREA		678 SF
FLOOR AREA RATIO	0.893 / 10,050 = 08.94%	
LOT COVERAGE	5,153 / 10,050 = 49.08%	
LANDSCAPE AREA	2,016 SF	19.20% SF
PARKING	6 SPACES (GARAGES)	2,653 SF

HABITAT  
FOR  
HUMANITY

776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA

PROJECT NUMBER  
12344  
PLOT DATE  
30 OCT 2013  
SHEET CONTENTS  
SITE PLAN  
SHEET NUMBER

A0.1



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REVISIONS

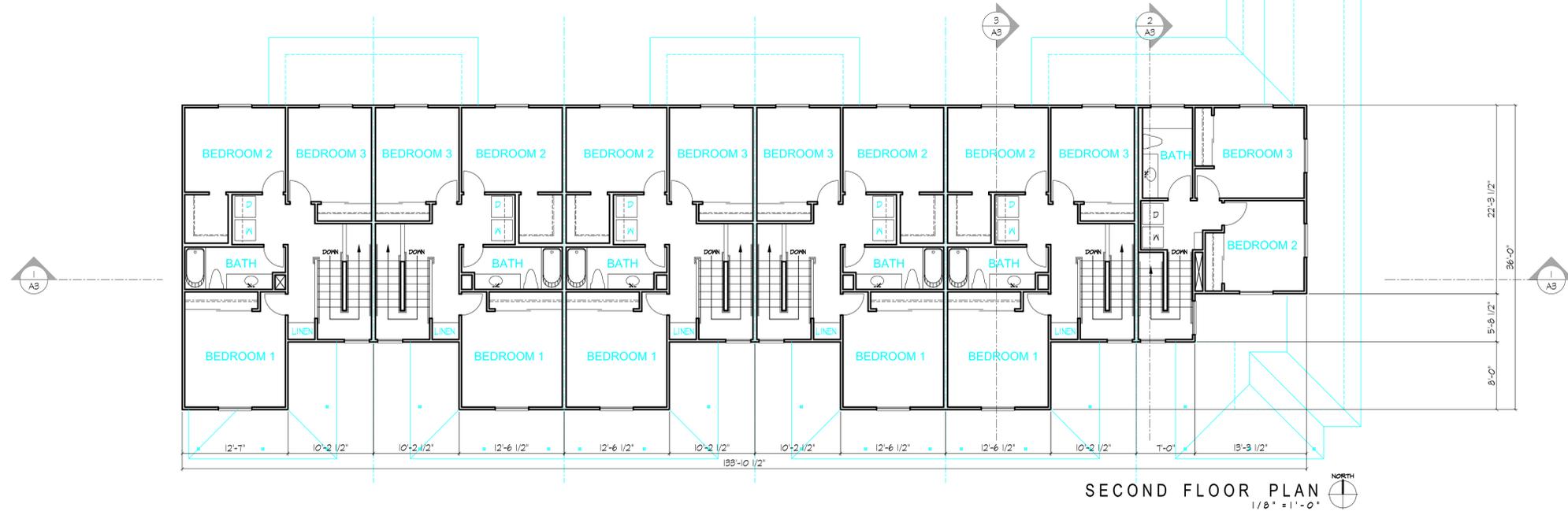
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BID -  
FOR CONSTRUCTION -

HABITAT  
FOR  
HUMANITY

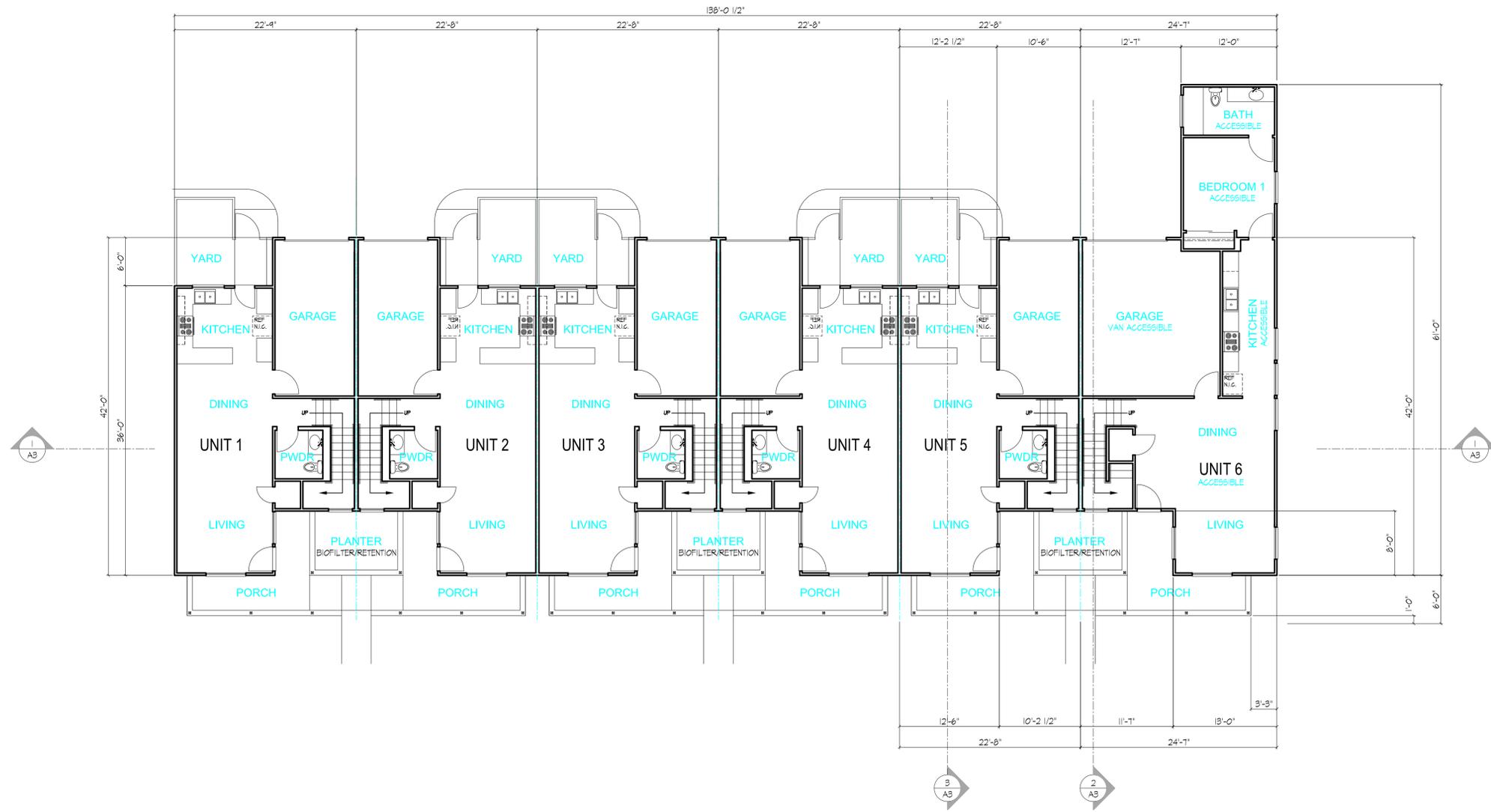
776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA

PROJECT NUMBER  
12344  
PLOT DATE  
30 OCT 2013  
SHEET CONTENTS  
FLOOR PLANS  
SHEET NUMBER

A.1



SECOND FLOOR PLAN  
1/8" = 1'-0"



GROUND FLOOR PLAN  
1/8" = 1'-0"



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HABITAT  
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HUMANITY

776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA

PROJECT NUMBER

12344

PLOT DATE

30 OCT 2013

SHEET CONTENTS

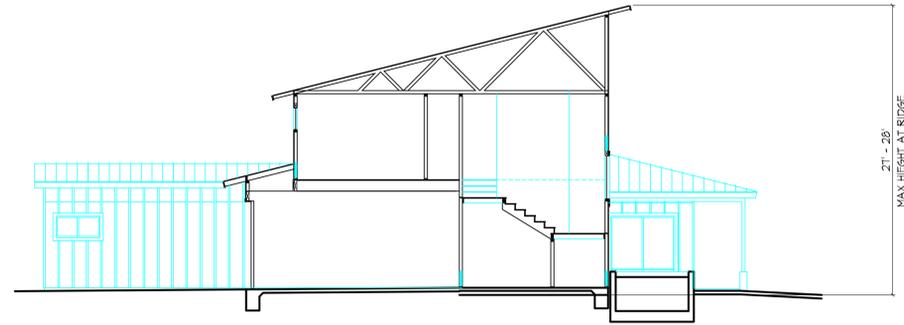
SCHEMATIC ELEVATIONS

SHEET NUMBER

A.3

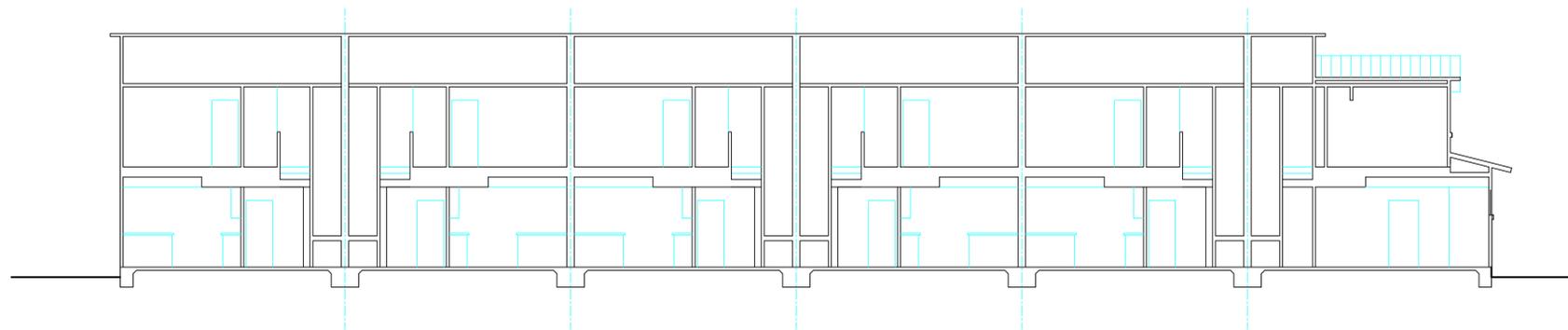


Transverse at Living  
BUILDING SECTION ③  
1/8" = 1'-0"



Transverse at Stair/Garage  
BUILDING SECTION ②  
1/8" = 1'-0"

21'-08"  
MAX. HEIGHT AT RIDGE  
VARIES WITH SLOPE OF LOT



Longitudinal  
BUILDING SECTION ①  
1/8" = 1'-0"



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REVISIONS

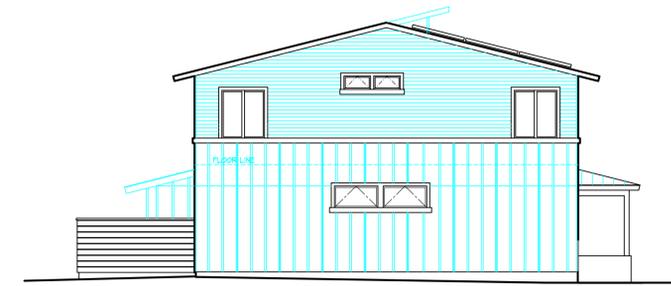
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FOR CONSTRUCTION -

HABITAT  
FOR  
HUMANITY

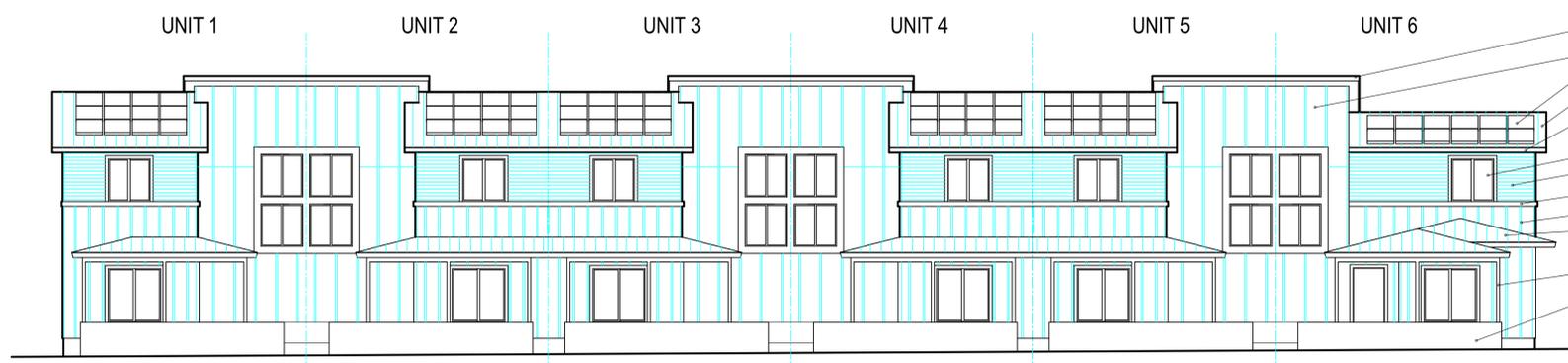
776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA



Driveway  
NORTH ELEVATION  
1/8" = 1'-0"



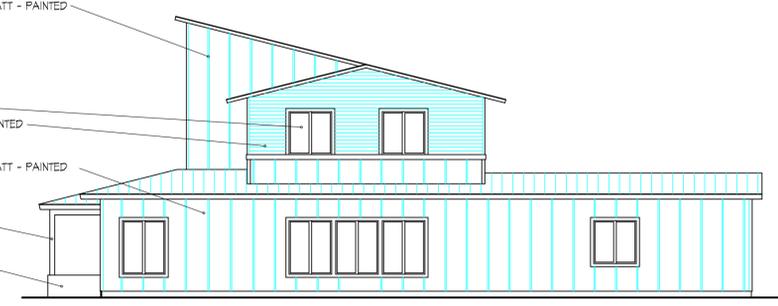
Alley  
WEST ELEVATION  
1/8" = 1'-0"



Donax Avenue  
SOUTH ELEVATION  
1/8" = 1'-0"

- WOOD FASCIA - PAINTED
- FIBER CEMENT BOARD 4 BATT - PAINTED
- PHOTO VOLTAIC PANELS
- METAL ROOFING
- WOOD FASCIA - PAINTED
- DUAL GLAZED WINDOWS
- FIBER CEMENT SIDING - PAINTED
- WOOD TRIM - PAINTED
- FIBER CEMENT BOARD 4 BATT - PAINTED
- METAL ROOFING
- WOOD POSTS - PAINTED
- CONCRETE WALL

NOTE:  
NOTES SHOWN AT THIS ELEVATION  
ARE TYPICAL UNLESS NOTED  
OTHERWISE



Tenth Street  
EAST ELEVATION  
1/8" = 1'-0"

PROJECT NUMBER  
12344  
PLOT DATE  
30 OCT 2018  
SHEET CONTENTS  
EXTERIOR ELEVATIONS  
SHEET NUMBER



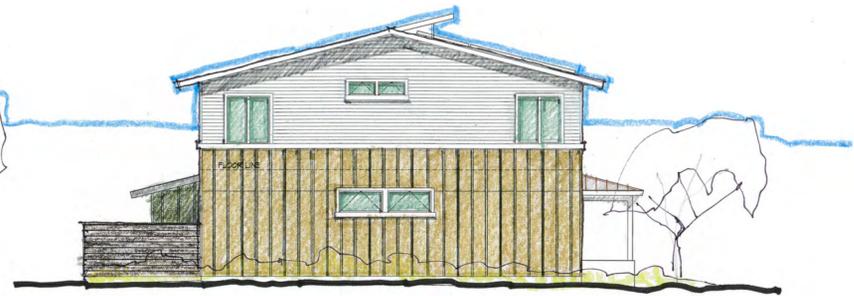
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Driveway  
NORTH ELEVATION  
1/8" = 1'-0"



Alley  
WEST ELEVATION  
1/8" = 1'-0"



Donax Avenue  
SOUTH ELEVATION  
1/8" = 1'-0"



Tenth Street  
EAST ELEVATION  
1/8" = 1'-0"

HABITAT  
FOR  
HUMANITY

776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA

PROJECT NUMBER  
12344

PLOT DATE

30 OCT 2013

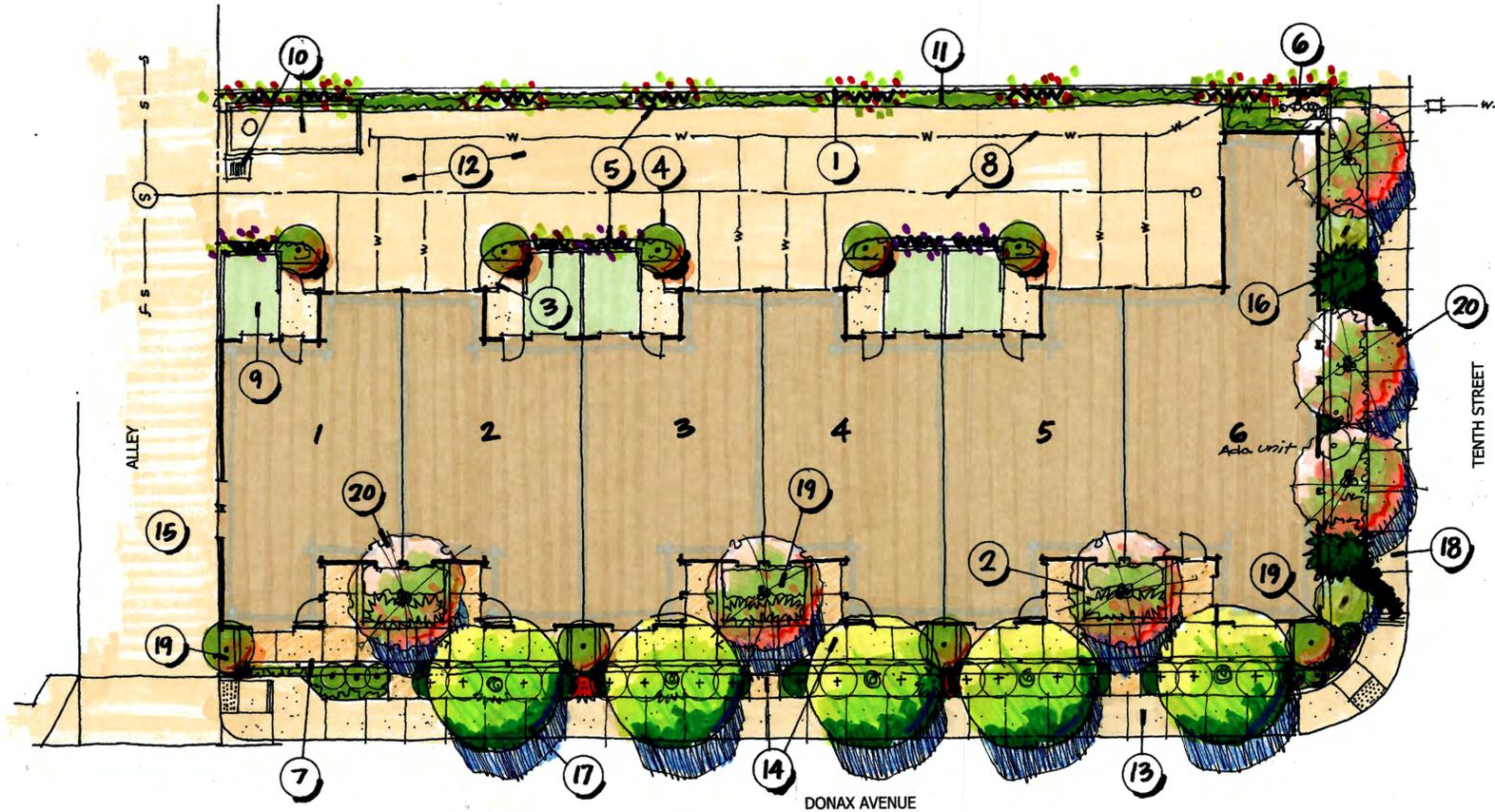
SHEET CONTENTS

EXTERIOR ELEVATIONS

SHEET NUMBER

**GENERAL NOTES**

1. ALL PLANTING, IRRIGATION & CONSTRUCTION SHALL CONFORM TO THE CITY'S MUNICIPAL CODE SECTIONS FOR LANDSCAPE IMPROVEMENTS, MSWP-ORDER 2001-01 AND ALL OTHER DESIGN GUIDELINES AND STANDARDS. PROJECT SHALL FULLY COMPLY WITH THE IMPERIAL BEACH HOUSING AUTHORITY PER THE RECOMMENDATION DATED MARCH 2012.
2. THE LANDSCAPING PROPOSED IS TO BE PRIMARILY OF A READILY AVAILABLE LOW WATER USE/ DROUGHT TOLERANT TYPE OF MATERIAL WITH A SMALL AMOUNT OF NATIVES. THE IRRIGATION SYSTEM WILL CONSIST OF STATE OF THE ART DRIP AND LOW VOLUME SPRAY EQUIPMENT. THE SYSTEM WILL BE CONTROLLED BY AN EL. BASED "SMART" CLOCK FOR MAXIMUM WATERING EFFICIENCY.
3. ALL LANDSCAPE AREAS INCLUDING GRASS AND MULCH AREAS MUST BE IMPROVED (AMENDED) TO CONSIST OF AT LEAST 12" OF LOAMY SOIL IN ORDER TO MAXIMIZE THE WATER ABSORPTION DURING WET WEATHER CONDITIONS AND MINIMIZE IRRIGATION RUN-OFF.
4. ALL PLANTER AREAS SHALL BE TOPRESSED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH MATERIAL.
5. ALL LANDSCAPE AND REAR YARD/ PATIO AREAS SHALL SLOPE AWAY FROM THE UNITS A MIN. OF 1% WITH SURFACE FLOW PER CIVIL GRADES. ALL SITE WATER COLLECTED FROM THE DRIVE LANES WILL FLOW THRU GRAVEL/ VEGETATED SWALES WHENEVER POSSIBLE AND INTO THE ON-SITE BASIN BEFORE EXITING THE SITE. THE REMAINDER OF THE SITE WATER FROM DOWNSPOUTS WILL DRAIN THRU THE VEGETATED SWALE OR THE ADJACENT LANDSCAPE AREAS BEFORE EXITING THE SITE.

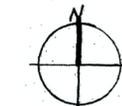


**PROPOSED PLANT PALETTE**

TREES		
	CUPRESSUS S. TINY TOWER	24" BOX
	LAGERSTROEMIA SPP. - MULTI	24" BOX
	ERIBOTRYA 'COPPERTONE' - STD.	24" BOX
	STREET TREE (PODOCARPUS G.) (OR MATCH EXISTING ST. TREE ON BOTH STREETS)	24" BOX
	PRUNUS C. BRIGHT 'N' TIGHT-SHRUB	24" BOX
SHRUBS (NO SYMBOL)		
BACKGROUND (5 / 15 GAL.)		
BOTANICAL NAME	COMMON NAME	
PRUNUS C. 'SEA GREEN'	JUNBER VAR.	
LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	TEXAS RANGER VAR.	
XYLOSMA 'COMPACTA'	XYLOSMA VAR.	
FOREGROUND (5 GAL.)		
BOTANICAL NAME	COMMON NAME	
BACCHARIS CENTENIAL	BACCHARIS VAR.	
CONVOLVULUS CHEIRIDUM	BUSH MORNING GLORY	
LAMARCKIA DENTATA	LAMARCK VAR.	
PEROVSKIA 'BLUE SPIRE'	RUSSIAN SAGE VAR.	
RHAPHIOLEPIS SPP.	INDIAN HAWTHORN VAR.	
SALVIA MARACINDO	SAGE VAR.	
GROUND COVER / SPREADERS (1 GAL. / FLATS / POTS)		
BOTANICAL NAME	COMMON NAME	
ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	
LANTANA 'YELLOW'	LANTANA VAR.	
MYOPORUM PROSTRATUM 'PINK'	MYOPORUM VAR.	
MULCH / GRAVEL		
DECOMPOSED GRANITE	COLOR / LOCATION	
3/8" PLUS GRAVEL	TAN, SIDEYARDS (2" DEPTH)	
	TAN, FRONT PLANTER AREAS ONLY (2" DEPTH)	

**SITE FEATURES KEY**

1. NEW 6' WOOD FENCE AT NORTH P.L. - PAINT TO MATCH UNITS - TYP.
2. LANDSCAPE FILTRATION PLANTERS - DRAINS TO CURB CORE PER ARCHITECTURE PLANS-TYP OF (3).
3. 5' HT TAN VINYL FENCE + MATCHING 3' GATE - TYP. AT ALLEY SIDE PRIVATE YARDS.
4. TALL VERTICAL ACCENT SHRUB - TYP.
5. VINES TO SOFTEN FENCING - TYP.
6. PROPOSED BLDG. WATER/ FIRE SERVICE + BACKFLOW PER CIVIL PLANS.
7. CONCRETE LOW WALL AT PORCH - TYP. PER ARCHITECTURE PLANS.
8. PROPOSED UNIT SEWER AND WATER LINES PER CIVIL PLANS.
9. PRIVATE YARD AT REAR ENTRANCE - TYP.
10. FILTRATION TANK AND ALLEY DRAIN INLET BOX PER CIVIL PLANS.
11. VEGETATED SWALE ALONG NORTH P.L. PER CIVIL PLAN
12. CONCRETE DRIVE LANE PER CIVIL PLANS (PERMEABLE PAVERS OR APPROVED EQUAL)
13. PROPOSED SIDE WALK + CORNER RAMP ALONG DONAX AVENUE PER CIVIL PLANS.
14. PRODUCTION CONCRETE ENTRY WALK + PORCH - TYP. PER ARCHITECTURE PLANS.
15. EXISTING ALLEY - TYP.
16. EVERGREEN SCREEN TREES - TYP.
17. CANOPY STREET TREES - TYP (24" BOX MIN)
18. PROPOSED 5' CONCRETE SIDE WALK ALONG TENTH ST. (SEE CITY TENTH ST. MASTER PLAN TO CONFIRM)
19. HOA MAINTAINED PRODUCTION LANDSCAPE TYP. (ALL AREAS NOT WITHIN PRIVATE FENCED YARDS) NOTE: PARKWAY R.O.W. LANDSCAPE (MAINTAINED BY HOA) REQUIRES A 75% PER CITY'S COMMUNITY DEVELOPMENT DEPT.
20. FLOWERING ACCENT TREE - TYP.



1" = 10'-0"

**LANDSCAPE CONCEPT PLAN**

**776 TENTH STREET - 6 UNIT DEVELOPMENT**

CITY OF IMPERIAL BEACH, CA

**HABITAT FOR HUMANITY**

776 TENTH STREET  
IMPERIAL BEACH, CALIFORNIA

*Wai*  
12-001  
5-17-13  
REV. 7-30-13 REV. 10-31-13 NEW SITE PLAN  
New printout / Site plan

SAN DIEGO HABITAT FOR HUMANITY

**L.1**

WELLS ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE + CONSTRUCTION MANAGEMENT  
9075 BLUE LAKE DRIVE SAN DIEGO, CA 92119  
TEL: 619-444-8888 FAX: 619-444-8889  
EMAIL: JOURNAL@WELLS-INC.COM





1260 Calla Street  
SOUTH BAY COMMUNITY SERVICES

option 2 west



1260 Calla Street

SOUTH BAY COMMUNITY SERVICES • MAY 4, 2005

option 2: south



1360 Hemlock Street  
SOUTH BAY COMMUNITY SERVICES • MAY 4, 2005

unflom JA2 west



**STAFF REPORT  
CITY OF IMPERIAL BEACH**

**TO:** DESIGN REVIEW BOARD  
**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT

**MEETING DATE:** NOVEMBER 21, 2013  
**ORIGINATING DEPT.:** COMMUNITY DEVELOPMENT DEPARTMENT  
 GREG WADE, ASSISTANT CITY MANAGER/COMMUNITY DEVELOPMENT DIRECTOR  
 JIM NAKAGAWA, AICP, CITY PLANNER  
 TYLER FOLTZ, SENIOR PLANNER

**SUBJECT:** MCDONALDS (APPLICANT); DESIGN REVIEW (DRC 130002) PROPOSING TO SIGNIFICANTLY DEMOLISH AND REMODEL AN EXISTING MCDONALDS RESTAURANT AT 1135 PALM AVENUE (APN 626-301-18-00 & 626-301-31-00). MF 1107.

**PROJECT DESCRIPTION/BACKGROUND:**

This is an application (MF 1107) for an Administrative Coastal Permit (ACP 130001), Design Review Case (DRC 130002), and Site Plan Review (SPR 130003) to significantly demolish and remodel an existing McDonalds restaurant at 1135 Palm Avenue (APNs

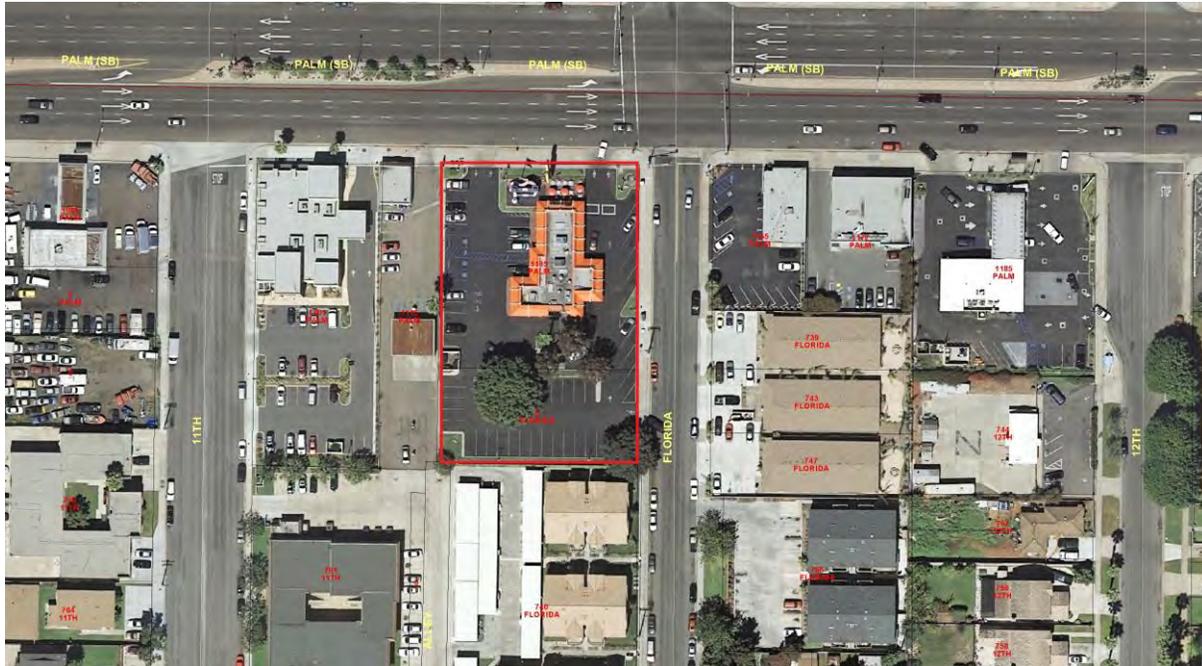


North - Front Elevation

626-301-18-00 and 626-301-31-00), which is located in the C-1 (General Commercial) Zone. The project is subject to design review by the Design Review Board because the project proposes substantial commercial alterations on a design review corridor and will require site plan review by the Planning Commission (Imperial Beach Municipal Code (IBMC) 19.83.020).

**PROJECT EVALUATION/DISCUSSION:**

The project site is composed of two parcels totaling 38,392 square feet of lot area fronting Palm Avenue and Florida Street (southwest corner of Palm Avenue and Florida Street) in the C-1 Zone. The properties to the north, east, and west are located in the C-1 Zone and consist of commercial uses. The property to the south is located in the R-1500 Zone (with an MU-1 Overlay) and consists of a multi-unit residential condominium complex.



**DESIGN REVIEW:** The project initially proposed to completely demolish the existing building and construct a new building in the same location and provide the play yard within the building, provide a new drive aisle in front of the building along Palm Avenue, and add a new drive-thru island with two order-points behind the building. It was staff's opinion that the proposed design was heavily oriented to automobile customers and ran contrary to Imperial Beach's and regional objectives to make business districts pedestrian-friendly. Staff recommended that the project locate the building along Palm Avenue and Florida Street, activating the corner and allowing for increased pedestrian path of travel from Palm Avenue and Florida Street. Staff also requested that the applicant remove the proposed drive-aisles that would locate in front of the building, and remove the eastern curb-cut on Palm Avenue. In addition, staff informed the applicant that pole signs are no longer allowed within Imperial Beach and that the existing pole sign located along Palm Avenues and partially extending into the Caltrans right-of-way may have to be removed or perhaps relocated.



East - Drive Thru Elevation

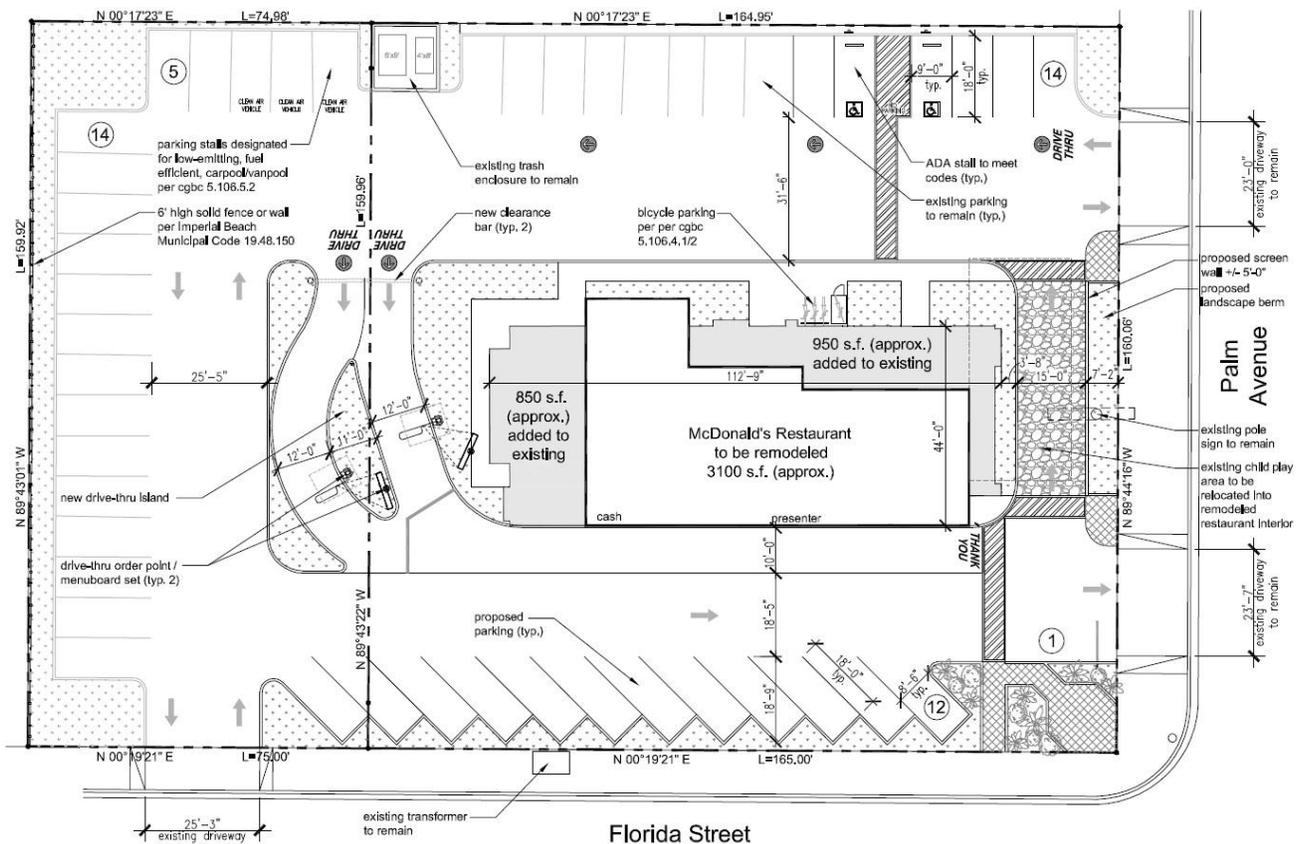


West - Non D/T Elevation

Staff recommended that the project locate the building along Palm Avenue and Florida Street, activating the corner and allowing for increased pedestrian path of travel from Palm Avenue and Florida Street. Staff also requested that the applicant remove the proposed drive-aisles that would locate in front of the building, and remove the eastern curb-cut on Palm Avenue. In addition, staff informed the applicant that pole signs are no longer allowed within Imperial Beach and that the existing pole sign located along Palm Avenues and partially extending into the Caltrans right-of-way may have to be removed or perhaps relocated.

Staff met with the applicant to discuss potential project designs and staff recommended the applicant consider the concept plan shown in Attachment 4 that would relocate the building to the corner of Palm Avenue and Florida Street. At a later meeting the applicant proposed to remodel the existing building and provide a new drive-aisle in front of the building along Palm Avenue since a majority of the businesses customers are within vehicles. Though staff continued to recommend against providing a new drive-aisle along Palm Avenue and creating a greater setback from the Palm Avenue frontage, staff suggested it would review and consider the proposal and recommended that the applicant provide a canopy over the drive-aisle, provide a screening wall with a significant amount of landscaping adjacent to the drive-aisle, and provide decorative paving to minimize impacts from Palm Avenue. In addition, staff recommended the corner of Palm Avenue and Florida Street be enhanced to encourage pedestrian access and visual appeal.

The applicant then submitted the plans as shown in the staff report and attachments (Attachments 1, 2, and 3) that propose to demolish significant portions of the existing building and provide 1,800 square feet of new building area. The proposed remodel/addition would locate the play area within the building, add a drive-aisle in front of the building along Palm Avenue, provide a new drive aisle in front of the building along Palm Avenue, and add a new drive-thru island with two order-points behind the building. The project also proposes to provide enhanced pedestrian pathways from Palm Avenue and Florida Street, particularly on the corner of Palm Avenue and Florida Street where it would provide increased landscaping to the corner. The proposed drive-aisle that would locate in front of the building along Palm Avenue would provide decorative paving to improve the aesthetics of the drive-aisle with an option of providing a screening wall five feet in height along the drive aisle (Attachment 2 shows the elevations with the screening wall, and Attachment 3 is without the screening wall).



Upon reviewing the proposed remodel and additions staff determined that the project proposed a virtual demolition of the existing building and that the applicant should consider staff's original request to locate the building along Palm Avenue and Florida Street, allowing for a pedestrian path of travel from Palm Avenue and Florida Street. Staff recognizes that the proposed façade alterations should enhance the aesthetic appeal of the building; however, the City recently revised all commercial zones to encourage pedestrian-oriented designs for commercial development, and requires a minimum of 60% of the Palm Avenue frontage to provide active commercial uses. It is staff's opinion that the project is proposing a virtual demolition that would decrease pedestrian accessibility, and could relocate the building to activate the Palm Avenue and Florida Street frontages while maintaining vehicular flow behind the building. The applicant claims that the building could not locate along Palm Avenue because the business does not want to lose the pole sign, which is important for the business, and because the orientation proposed by staff is not feasible. Imperial Beach Municipal Code Chapter 19.83 states that the intent of design review is to improve the general standards of orderly development in the City and promote and enhance good design, site relationships and other aesthetic considerations for all development. Staff believes an adequate design and orientation can be provided, and would consider relocation of the sign subject to review by the Design Review Board and approval by the City Council.

Following the most recent submittal, staff advised the applicant that the project would be scheduled for review by the Design Review Board for further evaluation.

**GENERAL PLAN/ ZONING CONSISTENCY:** The proposed development is subject to C-1 (General Commercial) zoning requirements. The purpose of the C-1 Zone is to provide areas for business to meet the local demand for commercial goods and services. It is intended that the dominant type of commercial activity in the C-1 Zone will be community and neighborhood serving retail and office uses (IBMC 19.26.010). The proposed project would provide an expansion of a fast food restaurant, meeting the intent of the land use designation.

The 38,392 square foot site would require 5,759 square feet of landscaping to meet the 15% on-site landscaping requirement. The project proposes 5,210 square feet of landscaping totaling 13.6% of the project site. The project would be required to provide additional landscaping to meet the minimum 15% requirement. Staff has recommended that drought tolerant landscaping be provided throughout the site. The applicant has stated that new landscaped areas would provide drought tolerant landscaping and the existing landscaping, a majority of which is grass, would continue to be maintained.

Vehicular ingress and egress occurs through two drive-aisles on Palm Avenue and one drive-aisle on Florida Street. The applicant proposes to maintain the existing curb-cut locations, though staff has recommended relocating the building which would require the eastern curb-cut on Palm Avenue be removed. Per IBMC 19.48.050.F, one parking space for every seventy-five square-feet of net floor area, plus one space per two employees at the highest work shift, would be required. The project proposes 1,900 square feet of net floor area and 12 employees at the highest work shift, which would require 31 parking spaces. The project proposes 46 parking spaces meeting the parking requirements

STANDARDS	PROVIDED/PROPOSED
There are no front, side and rear yard setbacks in the C-1 zone (Section 19.26.040).	North: 26' setback. East: 49' setback. West: 60' setback. South: 100' setback.

Minimum lot size of 3,000 square-feet (Section 19.26.050).	Two parcels consisting of nine and a half lots totaling 38,392 sq. ft. The lots already exist and would not be modified.
Minimum street frontage of 30 feet (Section 19.26.060).	Palm Avenue frontage of 160 feet. Florida Street frontage of 240 feet.
Maximum building height of four stories or 40 feet (Section 19.26.070).	21'-11" building height.
Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.040).	13.6% total amount of landscaping is proposed. The applicant has stated that 15% would be provided, though some revisions to the plans or calculations would be required.
Required parking spaces for food establishments: one space for every 75 square-feet of net floor area, plus one space per two employees (Section 19.48.050.F).	31 spaces would be required; 46 parking spaces are proposed.

### **Surrounding Land Use and Zoning**

<b>Surrounding Areas</b>	<b>Surrounding Zoning</b>	<b>Surrounding Land Use</b>
<b>North</b>	<b>C-1 (General Commercial)</b>	<b>Commercial</b>
<b>South</b>	<b>R-1500/MU-1 (Mixed Use Overlay)</b>	<b>Residential</b>
<b>East</b>	<b>C-1 (General Commercial)</b>	<b>Commercial</b>
<b>West</b>	<b>C-1 (General Commercial)</b>	<b>Commercial</b>

### **Drainage**

The City requires development to conform to state water quality/urban runoff requirements. The applicant will be required to submit the required documents/plans which must be approved by the City Engineer prior to project approval.

### **ENVIRONMENTAL IMPACT:**

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 as a Class 2 project (Replacement or Reconstruction Projects).

### **COASTAL JURISDICTION:**

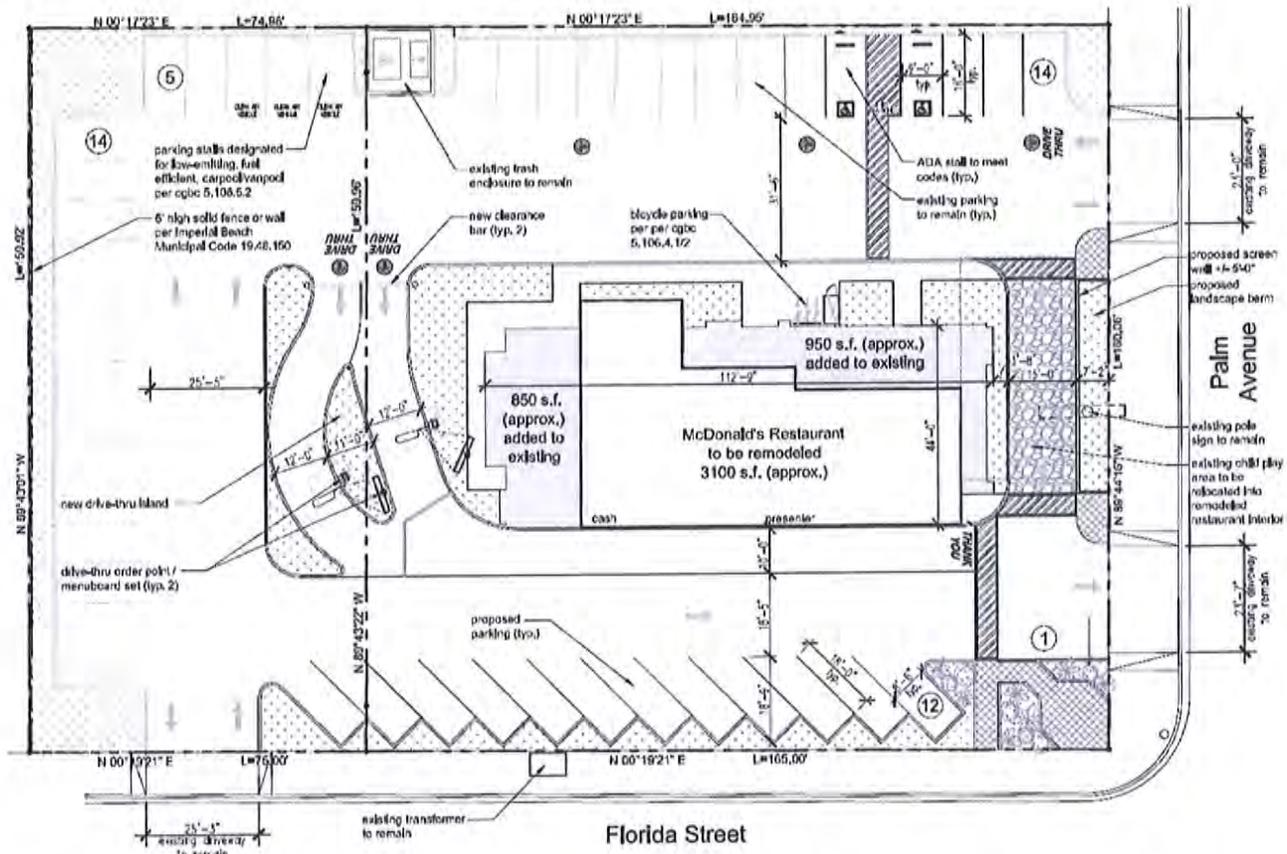
The project is located in the Non-Appealable area of the California Coastal Commission, as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map, and, as such, is not appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code.

### **FISCAL ANALYSIS:**

The applicant has deposited \$6,000.00 in Project Account Number (120003) to fund the processing of this application.

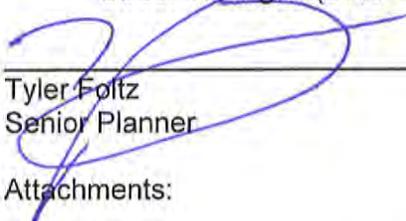
Staff met with the applicant to discuss potential project designs and staff recommended the applicant consider the concept plan shown in Attachment 4 that would relocate the building to the corner of Palm Avenue and Florida Street. At a later meeting the applicant proposed to remodel the existing building and provide a new drive-aisle in front of the building along Palm Avenue since a majority of the businesses customers are within vehicles. Though staff continued to recommend against providing a new drive-aisle along Palm Avenue and creating a greater setback from the Palm Avenue frontage, staff suggested it would review and consider the proposal and recommended that the applicant provide a canopy over the drive-aisle, provide a screening wall with a significant amount of landscaping adjacent to the drive-aisle, and provide decorative paving to minimize impacts from Palm Avenue. In addition, staff recommended the corner of Palm Avenue and Florida Street be enhanced to encourage pedestrian access and visual appeal.

The applicant then submitted the plans as shown in the staff report and attachments (Attachments 1, 2, and 3) that propose to demolish significant portions of the existing building and provide 1,800 square feet of new building area. The proposed remodel/addition would locate the play area within the building, add a drive-aisle in front of the building along Palm Avenue, provide a new drive aisle in front of the building along Palm Avenue, and add a new drive-thru island with two order-points behind the building. The project also proposes to provide enhanced pedestrian pathways from Palm Avenue and Florida Street, particularly on the corner of Palm Avenue and Florida Street where it would provide increased landscaping to the corner. The proposed drive-aisle that would locate in front of the building along Palm Avenue would provide decorative paving to improve the aesthetics of the drive-aisle with an option of providing a screening wall five feet in height along the drive aisle (Attachment 2 shows the elevations with the screening wall, and Attachment 3 is without the screening wall).



**DEPARTMENT RECOMMENDATION:**

1. Consider the design of the project.
2. Consider testimony from the applicant.
3. Recommend the project revise the site and building configuration to provide more pedestrian friendly design moving the building closer to the Palm Avenue and Florida Street frontages (DRC 120005).



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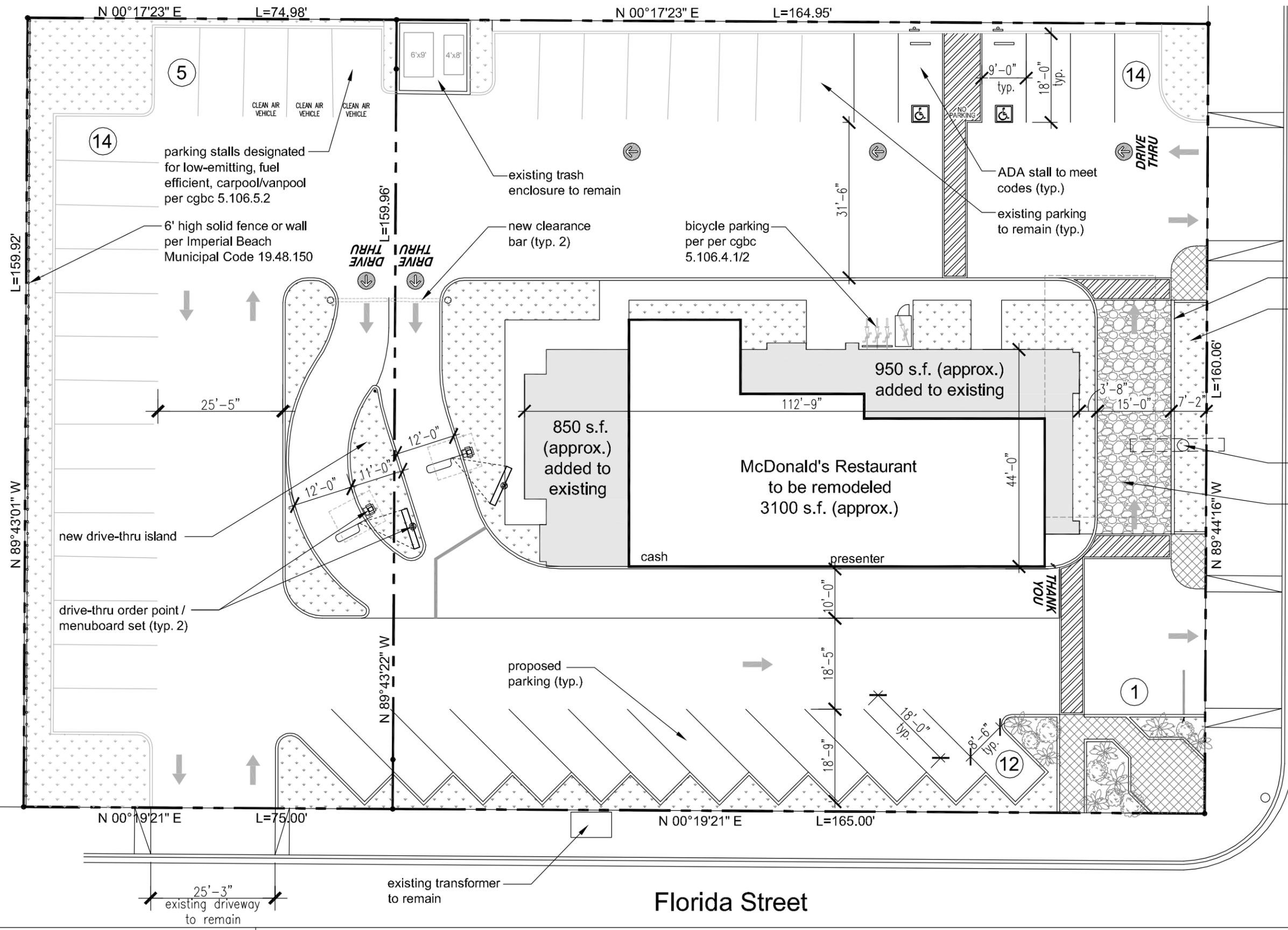
Tyler Foltz  
Senior Planner

Attachments:

1. Plans
  2. Colored elevations with screening wall on Palm
  3. Colored elevations without screening wall on Palm
  4. Conceptual layout provided by City staff
- c: File MF 1107

[Return to Agenda](#)





**Owner:**  
 McDonald's USA, LLC  
 Southern California Region  
 3800 Kilroy Airport Drive, Suite 200  
 Long Beach, California 90806  
 Contact: John Lueken  
 Director of Development  
 (562) 753-2038

**Site Info:**  
 Site Area: 38,392 sf  
 Site Coverage:  
 Landscape:  
 existing landscaping to remain and new to match, be drought resistant  
 Existing: 4,654 sf (12.1%)  
 Proposed: 5,210 sf (13.6%)  
 Hardscape/Paved:  
 Existing: 30,638 sf (79.8%)  
 Proposed: 28,282 sf (73.6%)  
 Zoning: Commercial Planned Development  
 Building Information:  
 Occupancy Rating: A-3  
 Existing McDonald's: 3,100 sf  
 Remodeled McDonald's: 4,900 sf  
 Customer Area: 1,900 sf  
 Non-Customer Area: 3,000 sf  
 Floor Area Ratio:  
 Existing: .081 (8.1%)  
 Remodeled: .128 (12.8%)

**Parking:**  
 Parking req'd per city (Table 19.48.050.F.1 of M.Code):  
 [(1 stall for each 75 sf of net floor area, plus 1 stall per two employees at largest work shift)]  
 Existing: 53 stalls  
 Required: [1900 sf/75 sf] + [6] = 32 stalls  
 Provided: 46 stalls (2 accessible)

**Legend**  
 — McDonald's existing restaurant  
 — remodel addition  
 [Decorative Paving Symbol] decorative paving  
 [Walkway Pavers Symbol] walkway pavers

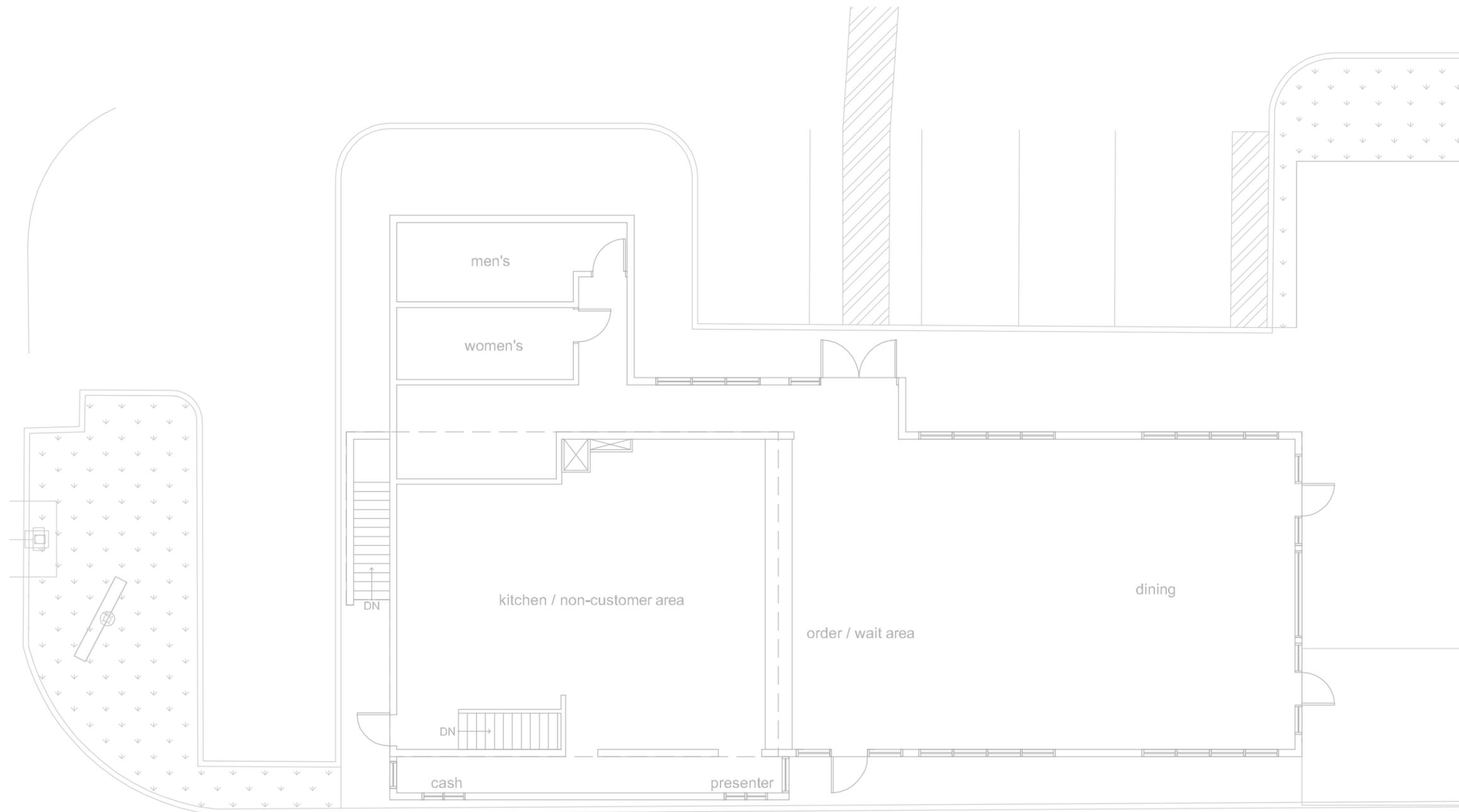


# McDonald's 004-0286

1135 Palm Avenue  
 Imperial Beach, California

*Project Architect:*  
**BICKEL UNDERWOOD**  
 JAMES S. BICKEL, JR., ARCHITECT  
 A CALIFORNIA CORPORATION  
 3600 Birch Street, Suite 120, Newport Beach, CA 92660  
 949-757-0411 architecture@bickelunderwood.com

**Remodel Site Plan**  
 Scale: 1" = 20'  
 September 3, 2013  
 R:\12\12A280 - McD Imperial Beach\Design\Site\004-0286 Site Plan.dwg  
 Site Plan.dwg



**Legend**

--- existing basement footprint



*Project Architect:*

**BICKEL UNDERWOOD**  
 JAMES S. BICKEL, JR., ARCHITECT  
 A CALIFORNIA CORPORATION  
 3600 Birch Street, Suite 120, Newport Beach, CA 92660  
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# McDonald's 004-0286

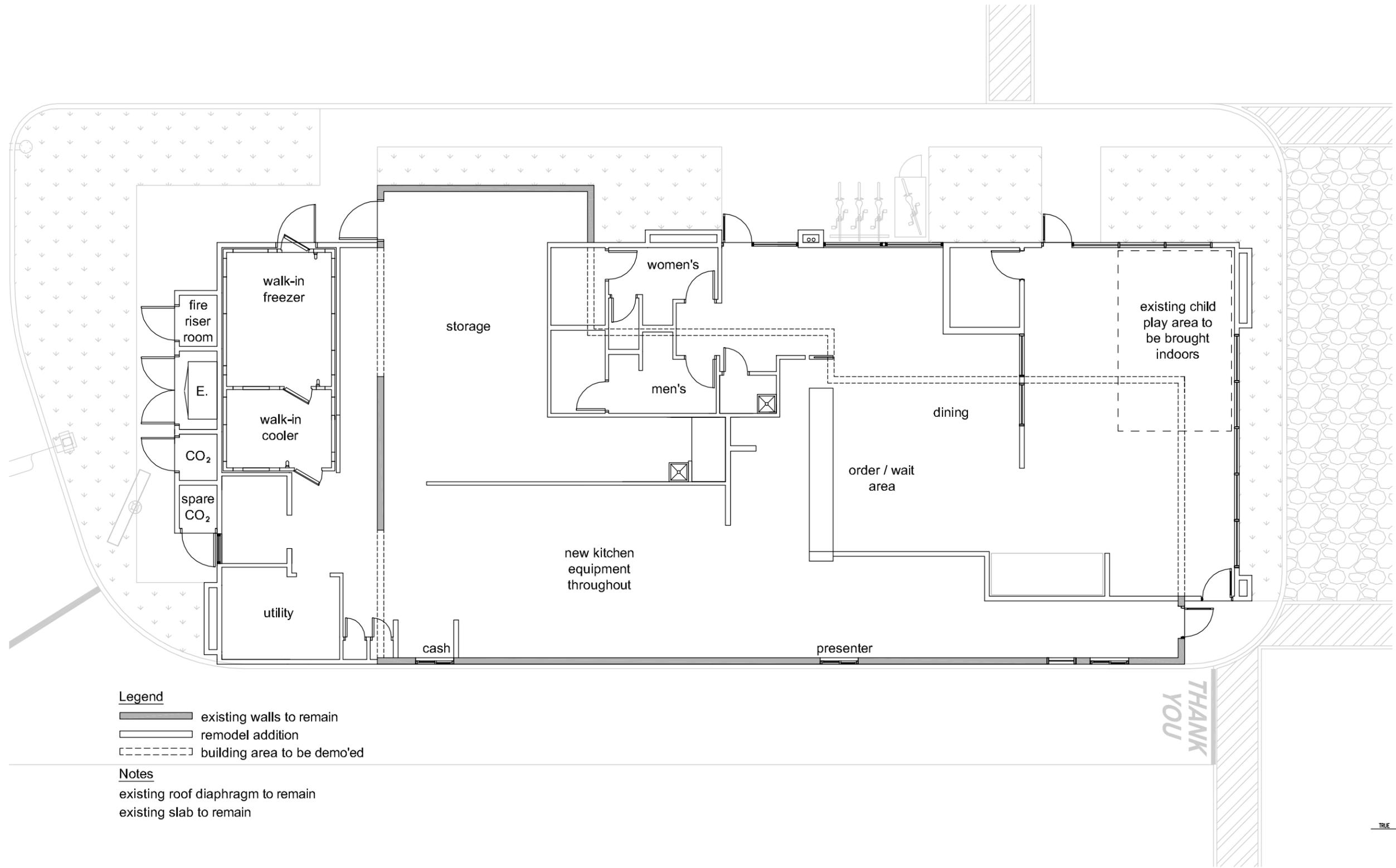
1135 Palm Avenue  
 Imperial Beach, California

**Existing Floor Plan**

Scale: 3/32" = 1'  
 September 3, 2013

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 Floor Plan.dwg

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**Legend**

- existing walls to remain
- remodel addition
- building area to be demo'd

**Notes**

- existing roof diaphragm to remain
- existing slab to remain

Project Architect:

**BICKEL UNDERWOOD**  
 JAMES S. BICKEL, JR., ARCHITECT  
 A CALIFORNIA CORPORATION  
 3600 Birch Street, Suite 120, Newport Beach, CA 92660  
 949-757-0411 architecture@bickelunderwood.com

# McDonald's 004-0286

1135 Palm Avenue  
 Imperial Beach, California

**Remodel Floor Plan**

Scale: 3/32" = 1'  
 September 3, 2013

FA\12\12A250 - McD Imperial Beach\Design\Site\004-0286  
 Floor Plan.dwg

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*Proposed Remodel Elevations*  
 1135 Palm Ave.  
 Imperial Beach, California  
 004-0286  
 Scale: 3/32"=1'

Coyote Brown Color Scheme

Materials Legend

- Plaster - Benjamin Moore - BM-1224 - "Coyote Trail"
- Plaster - Benjamin Moore - BM-2212-70 - "Snow White"
- Canopies (Metal) - Pantone 123
- Aluminum Trellis
- Metal (Coping)



North - Front Elevation



East - Drive Thru Elevation



West - Non D/T Elevation

**Coyote Brown Color Scheme**

**Materials Legend**

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- Plaster - Benjamin Moore - BM-2212-70 - "Snow White"
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South - Rear Elevation

*Proposed Remodel Elevations*  
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West - Non D/T Elevation

**Coyote Brown Color Scheme**

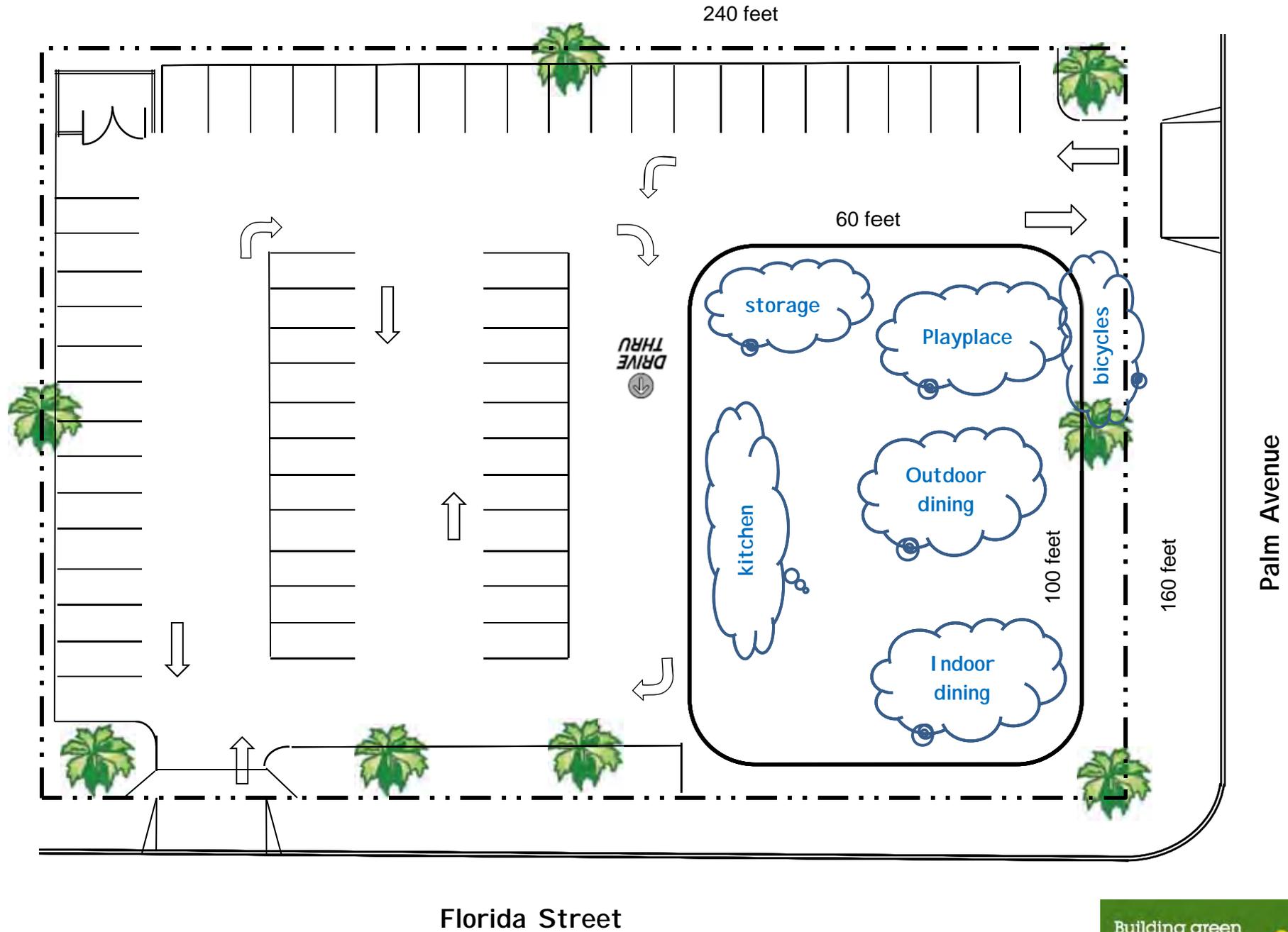
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- Aluminum Trellis
- Metal (Coping)



South - Rear Elevation

Conceptual Site Plan



Florida Street

