



AGENDA

CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD REGULAR MEETING



THURSDAY, OCTOBER 20, 2016 – 4:00 P.M.

Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Larissa Richards at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll Call: Nakawatase, Pamintuan, Bowman, Smith, Voronchihin

2.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. In accordance with State law, the Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to staff or placed on a future agenda.

3.0 CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board Member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately.

3.1 NONE.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: IB RESORT; CONSIDERATION OF A DESIGN REVIEW CASE (DRC 150036) TO CONSTRUCT A NEW HOTEL (H-1 TYPE) CONSISTING OF 100 ROOMS, RESTAURANT, VIEW BAR, COMMERCIAL SPACE, MEETING ROOMS, AND PUBLIC SPACES AT 1060 SEACOAST DRIVE (APNs 625-380-27-00). MF 1166.

5.0 INFORMATIONAL ITEMS/REPORTS

NONE.

6.0 ADJOURNMENT

/S/
LARISSA RICHARDS
ADMINISTRATIVE ASSISTANT

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.



AGENDA ITEM NO. 4.1

**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD

FROM: COMMUNITY DEVELOPMENT DEPARTMENT 

MEETING DATE: OCTOBER 20, 2016

ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: REPORT: IB RESORT; CONSIDERATION OF A DESIGN REVIEW CASE (DRC 150036) TO CONSTRUCT A NEW HOTEL (H-1 TYPE) CONSISTING OF 100 ROOMS, RESTAURANT, VIEW BAR, COMMERCIAL SPACE, MEETING ROOMS, AND PUBLIC SPACES AT 1060 SEACOAST DRIVE (APNs 625-380-27-00). MF 1166.

EXECUTIVE SUMMARY:

The property owner of a 37,817 square foot site located at 1060 Seacoast Drive has initiated the process to construct a new hotel (H-1 Type) consisting of 100 rooms, restaurant, view bar, patio dining, pool, commercial space, meeting rooms, rooftop garden, new seawall, and landscaping. Staff is recommending that the Design Review Board consider the proposed project and provide recommendations on the design to the City Council.

FISCAL ANALYSIS:

The Applicant has deposited \$22,000.00 to fund processing of the application.

RECOMMENDATION:

That the Design Review Board consider the project to construct 100 rooms, restaurant, view bar, patio dining, pool, commercial space, meeting rooms, rooftop garden, new seawall, and landscaping at 1060 Seacoast Drive (APNs 625-380-27-00) and recommend approval of the project's design to the City Council.

OPTIONS

In addition to receiving this report and adopting staff's recommendations, the Design Review Board can:

- Recommend approval of the project's design to the City Council with additional conditions provided by the Design Review Board; or
- Recommend design revisions and request further consideration at a future Design Review Board meeting.

BACKGROUND/ANALYSIS:

The application, originally submitted to the City on April 4, 2016, proposes a Lot Consolidation (BA 150034), Coastal Development Permit (CP 150035), Design Review Case (DRC 150036), Environmental Initial Assessment (EIA 150037), and Site Plan Review (SPR 150038) demolish an existing duplex and construct a new hotel (H-1 Type) consisting of 100 rooms, restaurant, view bar, patio dining, pool, commercial space, meeting rooms, rooftop garden, new seawall, and landscaping at 1060 (previously 1046) Seacoast Drive (APN 625-380-27-00) in the C/MU-2 (Seacoast Commercial & Mixed-Use) and Seacoast Mixed-Use/Residential Overlay Zone.

The project site measures 37,817 square feet on the northwest corner of Seacoast Drive and Imperial Beach Boulevard and is surrounded by commercial uses to the east and residential uses to the north and south. The beach is located to the west.

The site for the proposed hotel was previously comprised of six apartment buildings, some of which were located on, or encroached beyond, the property line. Fencing and parking spaces for the development also encroached into the public right-of-way. Five of the buildings were demolished in May 2015. A single-story duplex was rehabbed and remains on the site for housing of onsite security and property management. The duplex would be removed as part of the proposal for the new hotel. Following the demolition of the five apartment buildings, the property owner installed a wrought iron fence and offers its use for the display of local art.

On November 19th 2015, a public open house was held to introduce the project and receive feedback from community members. Comment cards were made available to be filled out and requests and other informal comments have been incorporated into the final design.



Project Description

The project consists of the demolition of the remaining duplex apartment, and the construction of a new four-story hotel consisting of 100 rooms, restaurant, view bar, patio dining, pool, meeting rooms, rooftop gardens (green roof) new seawall and landscaping. The new seawall would locate along the west property line and per plans fully within the property boundaries, and all associated development would locate east of the seawall. Currently a rock revetment exists which extends below the beach and encroaches westward beyond the property line. Upon completion of the new sea wall, no portion of the rock revetment would remain and no structure would encroach beyond the property line.

The hotel would be set back from Seacoast Drive approximately 15 feet to provide a public arcade/plaza area and new bus stop. The arcade/plaza would include landscaping, bench seating, bike parking, and access to the commercial spaces and hotel lobby. The building would be "U" shaped with a two story entry lobby providing a see-through view to the ocean. Guest rooms include angled glass walls that maximize ocean views from every location and offer privacy for neighboring properties. The angled walls add to the fenestration and complex shadows on the exterior building facade. The retail spaces would locate on the northeast and southeast corners with access from the public arcade and adjacent sidewalks.

A curved driveway would provide access to the front of the hotel with two driveway openings on Seacoast Drive. A subsurface parking garage with a total of 93 parking spaces, four of which would be equipped with electric vehicle charging stations, would be available for guests as well as the general public. Access to the garage would locate in the approximate location of the existing driveway on Imperial Beach Boulevard. The ramp access to the parking garage would begin approximately 13'-8" into the Imperial Beach Boulevard public right-of-way, with decorative wave guardrails to ensure pedestrians remain on the sidewalk. The sidewalk would be widened to at least six feet with planters for aesthetic interest. Other street improvements on Imperial Beach Boulevard,



Ebony Avenue, and Seacoast Drive would include enhanced permeable paving, accessible ramps, and landscaping. Existing curb cuts on Seacoast Drive would be removed and replaced with three on-street parking spaces, a bike plaza, and porte cochere access. Curb cuts would also be removed from Ebony Avenue, allowing for approximately five on-street parking spaces instead of the two that exist today. The eight existing parking spaces on the north side of Imperial Beach Boulevard would be replaced with new permeable pavers and restriped to allow for trash/recycling access. No parking spaces would be removed, and the width of the spaces would be a minimum of nine feet in width. The project would also provide public stairway access from the hotel deck area to a walkway along Imperial Beach Boulevard with a new, exterior public rinse-off shower on the hotel deck.

Hotel Components

The hotel lobby features a two story atrium that affords a see-through view to the ocean upon entry. Within the atrium is a staircase leading to the 2nd level which takes advantage of ocean vistas during ascent. Along Seacoast Drive, the exterior hotel massing extends above the second floor level for the lobby and adjacent retail components. The atrium lobby area would be on the east side. The lobby would include offices, reception desk, luggage storage, business center and separate elevators for floor levels and parking garage access. Interior access to the retail, which is accessible from the exterior public arcade/plaza, is also planned.

The first floor includes the lobby, meeting rooms, public serving amenities such as the restaurant and cocktail lounge, kitchen/storage/employee's area, hotel laundry, administration area, restrooms, retail space and five guestrooms. A spa/fitness room also looks out over and has immediate access to the pool and deck area. The interior facade of the hotel overlooks the patio and pool area with direct views to the ocean. The upper three floors would each contain guest rooms and suites plus an additional cocktail "Vista Lounge" on the 4th floor. The 4th floor, centrally located, "Vista Lounge" would be open to the public while access to the adjacent guestroom corridors would be restricted. Each room would have a private outdoor



deck or balcony accessible from the suite, and no guest rooms would include cooking facilities/kitchenettes.

The hotel proposes a fully accessible public use green roof/deck that would provide gardens and seating/observation amenities. Views would be focused toward the ocean and the estuary to the southwest. Access to the green roof/deck would be by stairs or elevators, each of which would have enclosures. Four mechanical areas on the roof would be screened from view.

Building Height

The project proposes a building height of 40 feet, with roof structures for the housing of stairways and an elevator, equipment screening, and parapet walls exceeding the height limit. The maximum allowable building height for an H-1 hotel with a Specific Plan is 40 feet; however, the Municipal Code allows some features to exceed the height limit, as follows (IBMC 19.40.020):

- Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;
- Fire or parapet walls required by law;
- Skylights chimneys, smokestacks or utility towers;
- Flagpoles, antennas, radio masts, risers and similar structures.

The proposed parapet walls (low protective wall or railing along the edge of a raised structure such as a roof or balcony) would be 42" (3.5') in height, the mechanical equipment screening would be 48" (4'), solar panels would be 72" (6') in height, ventilation fans would be 96" (8') in height, stairway enclosures would be 144" (12') in height, and the elevator enclosure would be 188" (15'-8") in height. Public, non-structural, amenities such as landscaping and seating are also proposed to locate on the roof deck.

Pursuant to Section 19.27.150, the City Council may approve a specific plan for an H-1 hotel allowing for deviations related to building heights (provided that a height deviation may not exceed four stories or forty feet), building setback/stepback requirements, and parking requirements. The project is proposing reduced setbacks for the western portion of the property located in the Seacoast Mixed-Use/Residential Overlay Zone, which requires a 10 foot setback from Ocean Boulevard (the beach) and 15 foot side yard setbacks. The project proposes side yard setbacks that vary from zero to five feet, and a 10 foot setback for Ocean Boulevard for the massing of the building, although balconies and roof overhangs project near the property line in some areas. The project is also proposing a varied commercial floor-to-ceiling measurement from ranging from 11 feet for the commercial spaces to 20 feet though a central two-story public lobby providing see-through views to the ocean rather than a static 15 feet floor-to-ceiling measurement. The applicant believes the appropriate specific findings can be met for these deviations.

It is staff's opinion that the project's design would contribute positively the Seacoast Drive and Imperial Beach Boulevard intersection, as significant improvements to the existing conditions of the site are proposed. The public would benefit from the expanded public amenities, which include a restaurant, view bar, outdoor patio, commercial uses, conference rooms, rooftop viewing area, rinse-off area, wider ADA compliant sidewalks/ramps, outdoor seating, landscaping, new on-street parking spaces, and new bicycle parking.

General Plan Consistency:

C/MU-2 (General Commercial and Mixed-use) Zone: The purpose of the C/MU-2 Zone is to provide land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who use the beach area. It is intended that the dominant type of commercial activity in the C/MU-2 Zone will be visitor-serving retail such as specialty stores, surf shops, restaurants, and hotels and motels. Mixed-use and multiple family residences are also permitted in the C/MU-2 Zone and in the Seacoast Mixed Use/Residential Overlay Zone. The development standards of the C/MU-2 Zone encourage pedestrian activity through the design and location of building frontages and parking provisions (IBMC Section 19.27.010). The proposed hotel project meets the purpose and intent of the C/MU-2 land use designation because mixed-use buildings are permitted in the C/MU-2 Zone and the project would encourage pedestrian activity through the design, location, and use of the building frontage and would provide commercial goods and services required by the tourist population and local residents.

C/MU-2 STANDARDS	PROVIDED/PROPOSED
<p>Yard requirements for the C/MU-2 zone are as follows (Section 19.27.040):</p> <p>A. On property fronting on Seacoast Drive, the front of each building shall be set on the front property line. For purposes of this requirement an arcade is considered a part of the building.</p>	<p>A. The project fronts Seacoast Drive with the porte cochere and arcade/patio.</p> <p>In addition, the City Council may approve a specific plan that allows deviations from certain setback regulations for an H-1 hotel.</p>
<p>Stepback requirements for the C/MU-2 Zone are as follows (Section 19.27.041):</p> <p>A. On property with a side or rear yard abutting a residential zone, the second-floor stepback shall be a minimum of five feet from the abutting residential property line and the third-floor stepback shall be a minimum of ten feet from the abutting residential property line.</p> <p>B. Stepbacks are not required where the ten-foot setback is required or observed for at least fifty percent of the property line abutting residential property.</p> <p>C. On properties fronting Seacoast Drive, an upper-story setback of five to ten feet is required for a minimum of fifty percent of street-facing facades along Seacoast Drive.</p>	<p>A. The side or rear yards do not abut residential zones.</p> <p>B. The property lines do not abut residential property. As such, stepbacks are not required. However, the exterior walls provide various projections and recessions to provide articulation.</p> <p>C. The property fronts Seacoast Drive and the upper-stories of the building are setback more than ten feet of the Seacoast Drive street-facing facade.</p> <p>In addition, the City Council may approve a specific plan that allows</p>

	deviations from certain regulations for an H-1 hotel.
Minimum lot size of 3,000 square-feet (Section 19.27.050).	The lot size measures 37,817 square feet.
Minimum street frontage of 30 feet (Section 19.27.060).	The Seacoast Drive frontage is approximately 210 feet and the Ebony Avenue and Imperial Beach Boulevard frontages are each approximately 180 feet.
<p>Maximum height of three stories or thirty feet, whichever is less, except as follows (Section 19.27.070(A)):</p> <p>Hotel, as defined in Section 19.04.410 as an H-1 type hotel, shall have a height limit not to exceed forty feet as part of an approved Specific Plan pursuant to Section 19.27.150.</p> <p>Exceptions to the height limit as follows (Section 19.40.020):</p> <p>A. Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;</p> <p>B. Fire or parapet walls required by law;</p> <p>C. Skylights chimneys, smokestacks or utility towers;</p> <p>D. Flagpoles, antennas, radio masts, risers and similar structures.</p>	<p>The project is proposing an H-1 hotel with a building height of 40', with parapet walls/railings, structures to house/screen mechanical equipment and elevator and stairway enclosures, ventilation fans, and solar panels.</p> <p>The project is proposing the following projections above the 40' height limit: 42" (3.5') parapet walls (low protective wall or railing along the edge of a raised structure such as a roof or balcony), 48" (4') screening for mechanical equipment, 72" (6') solar panels, 96" (8') ventilation fans, 144" (12') stairway enclosures, 188" (15'-8") elevator enclosure.</p> <p>Public, non-structural, amenities such as landscaping and seating are also proposed for the roof deck.</p>
All commercial spaces on the ground floor shall have a minimum fifteen-foot vertical floor-to-ceiling dimension; and single-story commercial buildings shall have a minimum building height of twenty feet (Section 19.27.070(B)).	The project is proposing an H-1 hotel and is proposing a specific plan with deviations from typical building height regulations. The proposed floor-to-ceiling dimension for the first floor is approximately 10'-10'-6".
No buildings shall be located less than five feet from any other building on the same lot. (Section 19.27.080)	Only one building is located on the lot.
Required parking spaces for hotels without cooking facilities is 1 space per guest room. A 25% reduction may be allowed for vertical mixed-use (Section 19.48.035).	100 guest rooms without cooking facilities are proposed. A 25% reduction for the vertical mixed-use project requires 75 parking spaces. 93 parking spaces are proposed. Each use for the hotel are not separately

	<p>calculated, as an H-1 hotel is defined as incorporating a variety of uses, such as guest rooms, conference/meeting/public facilities, and a full-service restaurant.</p> <p>It should be noted that a cooking facility is different from a restaurant, in that a cooking facility would be a kitchenette where a guest may cook within the room, whereas a restaurant is a separately defined use available to the public that is specifically required for H-1 hotels. The proposed hotel guest rooms would not have kitchenettes/cooking facilities.</p>
<p>Commercial landscape requirements are as follows (Section 19.50.030):</p> <p>A. Not less than fifteen percent of the total site shall be landscaped and permanently maintained.</p> <p>B. There shall be a five-foot-wide landscape area between any parking area and any public street right-of-way.</p> <p>C. A portion of a property not used for buildings, parking, walkways, loading or storage areas shall be landscaped.</p> <p>D. There shall be a minimum three-foot by fifteen-foot, or forty-five square foot, landscaped area within the parking area (not including perimeter area landscaping) for every three parking spaces or the equivalent. A minimum width of three feet is required. A four-foot by fifteen-foot area may be permitted for every four spaces, five-foot-wide for five spaces, etc.</p>	<p>A. 37,817 sq. ft. site requires a minimum of 5,673 sq. ft. of landscaping. 7,687 sq. ft. of landscaping is proposed throughout the project, not including decorative hardscaped areas that could also be tabulated as landscaping.</p> <p>B. There shall be a five-foot-wide landscape area between any parking area and any public street right-of-way.</p> <p>C. A portion of a property not used for buildings, parking, walkways, loading or storage areas shall be landscaped.</p> <p>D. There shall be a minimum three-foot by fifteen-foot, or forty-five square foot, landscaped area within the parking area (not including perimeter area landscaping) for every three parking spaces or the equivalent. A minimum width of three feet is required. A four-foot by fifteen-foot area may be permitted for every four spaces, five-foot-wide for five spaces, etc.</p>

<p>E. Prior to issuance of any building permits, a complete landscaping plan shall be submitted to the Community Development Department for approval. Such approval shall be subject to appeal in the manner set forth in Sections 19.84.070 through 19.84.090.</p> <p>F. Landscaping and required watering system shall be installed prior to the use of the premises. All landscaping material in required landscaping areas shall be permanently maintained in a growing and healthy condition, including trimming, as appropriate to the landscaping material.</p> <p>G. A permanent irrigation system shall be installed to serve all landscaped areas. (Ord. 94-884; Ord. 723 §§ 2, 3, 1987; Ord. 635 § 8, 1984; Ord. 601 § 1, 1983)</p>	<p>E. Prior to issuance of any building permits, a complete landscaping plan shall be submitted to the Community Development Department for approval. Such approval shall be subject to appeal in the manner set forth in Sections 19.84.070 through 19.84.090.</p> <p>F. Landscaping and required watering system shall be installed prior to the use of the premises. All landscaping material in required landscaping areas shall be permanently maintained in a growing and healthy condition, including trimming, as appropriate to the landscaping material.</p> <p>G. A permanent irrigation system shall be installed to serve all landscaped areas. (Ord. 94-884; Ord. 723 §§ 2, 3, 1987; Ord. 635 § 8, 1984; Ord. 601 § 1, 1983)</p>
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SMU/RO (Seacoast Mixed-Use Residential Overlay) Zone (the base zone is C/MU-2, Seacoast Commercial & Mixed Use): The area located between Ocean Boulevard on the west, Ocean Lane on the east, and between Imperial Beach Boulevard on the south and Palm Avenue on the north is designated as the Seacoast Mixed-Use Residential Overlay Zone. The purpose of this transition zone is to allow for the gradual commercial expansion in an area which is generally used for residential purposes while preserving opportunities for the continuation of single-family residential uses (IBMC Section 19.27.140). The proposed hotel project meets the purpose and intent of the SMU/RO land use designation because all uses in the C/MU-2 Zone are permitted in the SMU-RO Zone, which includes hotels.

SMU/RO STANDARDS	PROVIDED/PROPOSED
The SMU/RO Zone allows for single-family residential, or any use listed in Section 19.27.020 as permitted in the C/MU-2 Zone.	Hotels are listed as permitted uses in Section 19.27.020 for the C/MU-2 Zone, meeting the requirements.
Yard requirements for residential uses in the SMU/RO Zone are as follows (Section 19.27.140): <ol style="list-style-type: none"> 1. Commercial uses: <ol style="list-style-type: none"> a. Ocean Lane: 0' b. Side yard: 15' c. Ocean Boulevard (Beach): 10' 	<ol style="list-style-type: none"> a. Ocean Lane: 0' b. Side yard: 0' to 5' c. Ocean Boulevard (Beach): 0'-10'
*The City Council may approve a specific plan that allows deviations from certain regulations for an H-1 hotel, including building heights specified in Section 19.27.070.	*The project is proposing an H-1 hotel and is proposing a specific plan with deviations from typical building height regulations.

<p>Properties within the Seacoast Residential Overlay Zone are subject to a reduced single-family residential building height of two stories or twenty-six feet, whichever is less (Section 19.27.070(A)(1)).</p> <p>*The City Council may approve a specific plan that allows deviations from certain regulations for an H-1 hotel, including building heights specified in Section 19.27.070.</p> <p>Exceptions to the height limit as follows (Section 19.40.020):</p> <p>A. Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;</p> <p>B. Fire or parapet walls required by law;</p> <p>C. Skylights chimneys, smokestacks or utility towers;</p> <p>D. Flagpoles, antennas, radio masts, risers and similar structures.</p>	<p>The project proposes a building height of 40', with parapet walls/railings, structures to house/screen mechanical equipment and elevator and stairway enclosures, ventilation fans, and solar panels.</p> <p>*The project is proposing an H-1 hotel and is proposing a specific plan with deviations from typical height regulations.</p> <p>The project is proposing the following projections above the 40' height limit: 42" (3.5') parapet walls (low protective wall or railing along the edge of a raised structure such as a roof or balcony), 48" (4') screening for mechanical equipment, 72" (6') solar panels, 96" (8') ventilation fans, 144" (12') stairway enclosures, 188" (15'-8") elevator enclosure.</p> <p>Public, non-structural, amenities such as landscaping and seating are also proposed for the roof deck.</p>
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Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 & SMU/RO (Seacoast Comm. & Mixed-Use & Seacoast Mixed-Use/Residential Overlay)	Residential
South	R-1500 (High Density Residential)	Residential
East	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial & Residential
West	PF (Public Facility)	Beach

ENVIRONMENTAL DETERMINATION:

The Applicant for this project is in the process of preparing environmental studies to support a Mitigated Negative Declaration that address any potential environmental impacts that would satisfy the California Environmental Quality Act (CEQA). The Mitigated Negative Declaration will need to be circulated through the State Clearinghouse for a 30 day public review prior to scheduling the project for a formal City Council hearing.

COASTAL JURISDICTION:

The project is located in the Appeal Jurisdiction of the California Coastal Commission as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map and, as such, is appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code and IBMC Section 19.87.160.

Attachments:

1. Plans
 2. Design Review Checklist
- c: file MF 1166

A. Architectural Graphic Exhibits

1. Exterior Material Finish Palette
2. Exterior Renderings
3. Context Renderings
4. Site Plan
5. Floor / Roof Plans
6. Elevations
7. Encroachment / Site Public Use Plan
8. Colored Use Plans by Floor

1. Color Palette



C - Typical Glazing
PPG Ideascapes "Atlantica"
Solarban 60

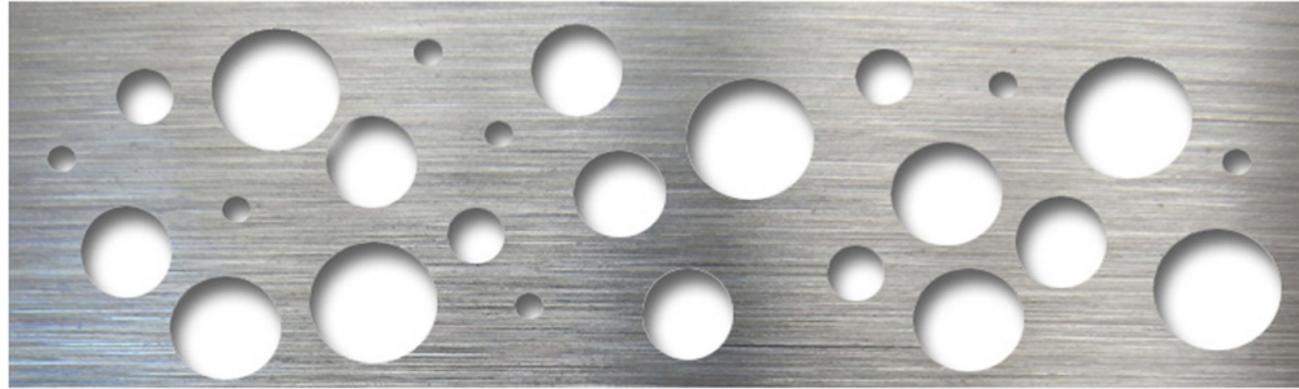


D - Spandrel Glazing
F - Glass Acent
PPG Ideascapes "Atlantica"



E - Guardrailing
PPG Ideascapes "Starphire"
Ultra Clear Glazing

A - Field
J - Painted Steel Doors
Sherwin Williams SW-6063
"Nice White"



K - Stainless Steel "Bubble" panel

B - Accent
Sherwin Williams SW-7066
"Gray Matters"

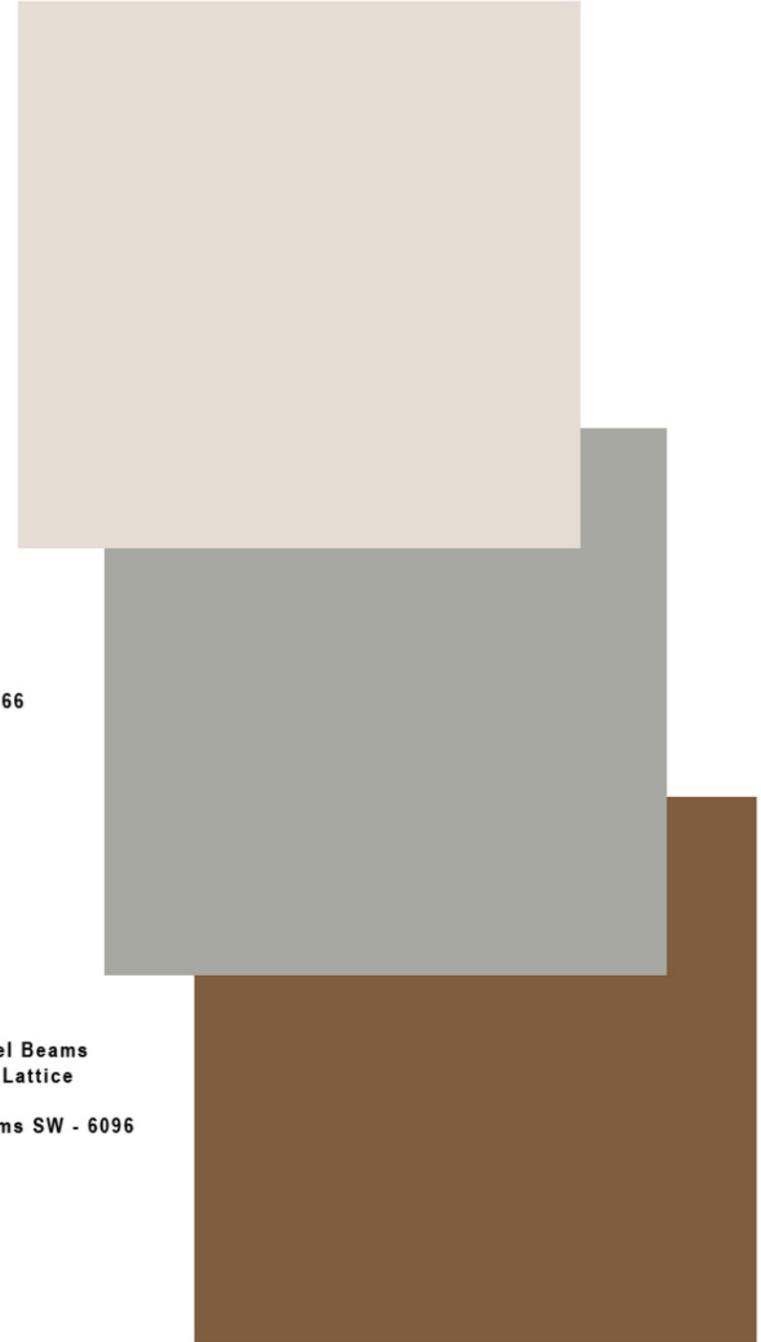


H - Metal Fascia
Alucobond Brilliant Silver

I - Painted Steel Beams
O - Landscape Lattice
P - Masonry
Sherwin Williams SW - 6096
"Jute Brown"



M - Wood Panels - Prodema Rustik
N - Wood Cladding - Prodema Rustik



EXTERIOR MATERIAL FINISH PALLETTE
Imperial Beach Resort

1060 Seacoast Drive, Imperial Beach California

LAMBARCHITECTS

7114 east stetson drive
suite 350
scottsdale, arizona 85251
480-994-5262



2. Exterior Renderings













3. Context Renderings



SEACOAST DRIVE LOOKING SOUTH





IMPERIAL BEACH BLVD. LOOKING WEST



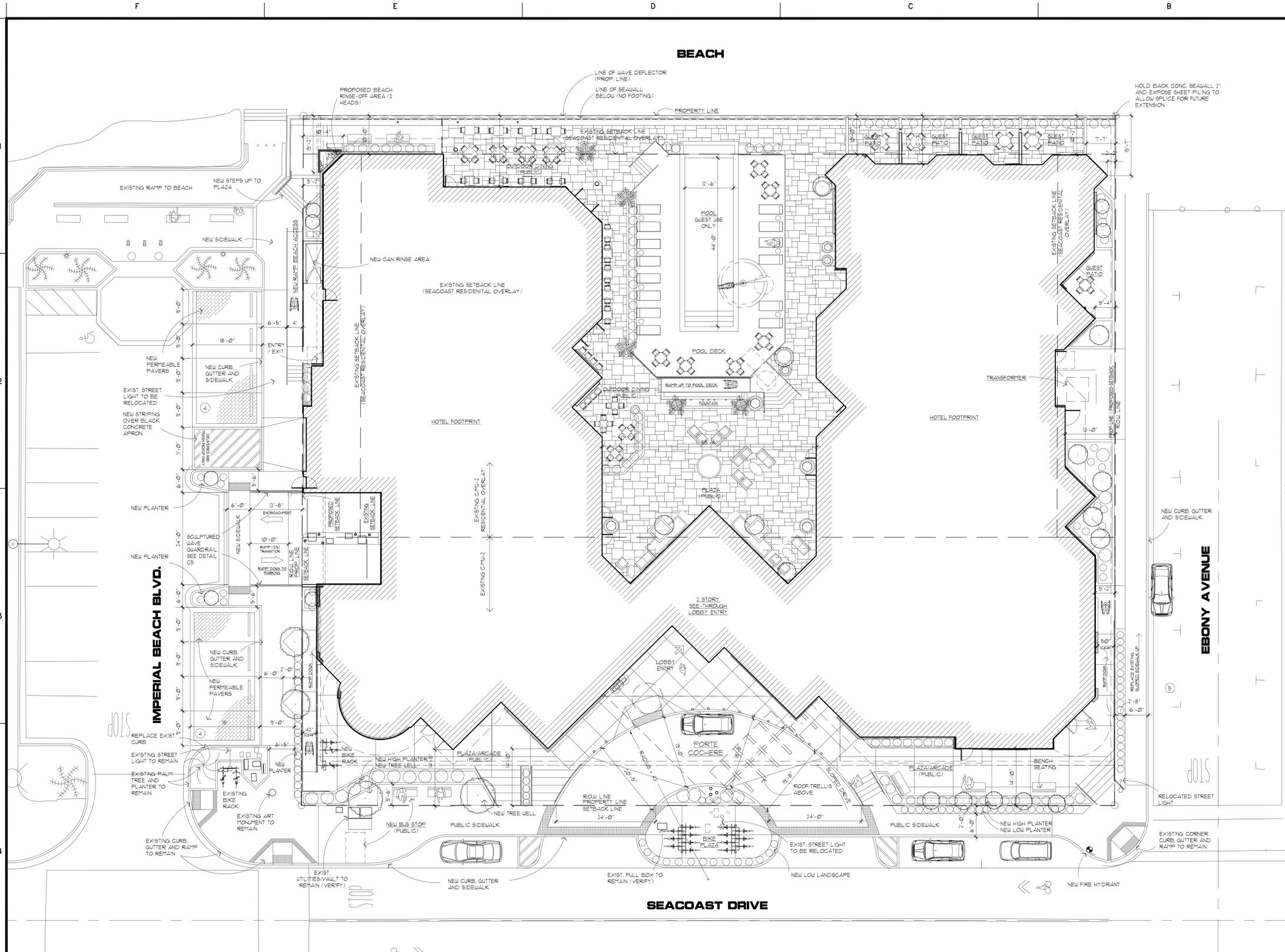
LAMB ARCHITECTS



SEACOAST DRIVE LOOKING NORTH



4. Site Plan



PROJECT INFORMATION

ADDRESS: 1060 SEACOAST DRIVE
IMPERIAL BEACH, CA 91932

PARCEL: 625-380-27-00

GROSS SITE AREA: +/- 37,817 S.F., +/- 0.869 ACRES

PARCEL 1: 0.379 ACRES
PARCEL 2: 0.076 ACRES
PARCEL 3: 0.076 ACRES
PARCEL 4: 0.338 ACRES
TOTAL: 0.869 ACRES

LEGAL DESCRIPTION

PARCEL 1:
LOTS 1 THROUGH 5 INCLUSIVE IN BLOCK 1 OF SOUTH SAN DIEGO BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1071, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 06, 1907.

PARCEL 2:
LOT 6 IN BLOCK 1 OF SOUTH SAN DIEGO BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1071, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 06, 1907.

PARCEL 3:
LOT 7 IN BLOCK 1 OF SOUTH SAN DIEGO BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1071, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 06, 1907.

PARCEL 4:
LOTS 8 THROUGH 11, INCLUSIVE, IN THE BLOCK 1 OF SOUTH SAN DIEGO BEACH, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1071, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 06, 1907.

SITE COVERAGE:

GROSS SITE AREA: 37,817 S.F. = 0.869 ACRES (100%)

(A) FIRST FLOOR BUILDING FOOTPRINT: 22,534 S.F. = 0.517 ACRES (60%)

(B) HARDSCAPE AREA: 13,663 S.F. = 0.31 ACRES (36%)

(C) LANDSCAPE AREA (ON-SITE ONLY): 1,748 S.F. = 0.037 ACRES (0.4%)

(D) GREEN ROOF LANDSCAPE AREA: 5,939 S.F. = 0.14 ACRES (16%)

(DOES NOT INCLUDE PAVES, WALKWAYS, ETC)

TOTAL ON-SITE LANDSCAPE AREA (C+D): 7,687 S.F. = 0.18 ACRES (20%)

TOTAL OFF-SITE LANDSCAPE AREA: 381 S.F.

ZONING:

PARCELS 1, 2 & 3 C/MU-2 SEACOAST COMMERCIAL/MIXED USE/RESIDENTIAL OVERLAY

PARCEL 4 C/MU-2 SEACOAST COMMERCIAL/MIXED USE

CODES:

2013 TITLE 24 CALIFORNIA BUILDING CODE
2013 TITLE 24 CALIFORNIA ELECTRICAL CODE
2013 TITLE 24 CALIFORNIA FIRE CODE
2013 TITLE 24 CALIFORNIA MECHANICAL CODE
2013 TITLE 24 CALIFORNIA PLUMBING CODE
2013 TITLE 24 CALIFORNIA GREEN BUILDING STANDARDS CODE

BUILDING AREA:

	HOTEL	BALCONY	MEETING	RETAIL	RESTAURANT	TOTAL
LEVEL 1	12,224 S.F.	776 S.F.	3,593 S.F.	2,034 S.F.	3,795 S.F.	22,422 S.F.
LEVEL 2	20,723 S.F.	2,442 S.F.	-	-	-	23,165 S.F.
LEVEL 3	20,480 S.F.	12,773 S.F.	352 S.F.	-	-	33,614 S.F.
LEVEL 4	18,532 S.F.	2,784 S.F.	191 S.F.	-	-	21,507 S.F.
TOTAL	72,969 S.F.	8,775 S.F.	4,136 S.F.	2,034 S.F.	4,875 S.F.	92,789 S.F.

ROOF PATIO AREA = 8,311 S.F.
UNDERGROUND PARKING GARAGE AREA = 34,013 S.F.
ROOFTOP GARDEN/PLAZA = 14,438 S.F.

QUEST UNITS: 100 TOTAL

ACCESSIBLE GUEST ROOMS REQUIRED: 5

ACCESSIBLE GUEST ROOMS PROVIDED: 5

ROLL-IN SHOWERS REQUIRED/PROVIDED: 1

QUEST ROOMS WITH COMMUNICATION FEATURES REQUIRED/PROVIDED: 9

CONSTRUCTION TYPE OCCUPANCY:

CONSTRUCTION TYPE	AREA	RETAIL	RESTAURANT	TOTAL
HOTEL	72,969 S.F.	R-1	57,506 S.F.	
LOBBY / 1ST FLOOR CIRCULATION	12,224 S.F.	B	7,276 S.F.	
MEETING SPACE GREATER THAN 750 S.F. (300.1.2)	3,593 S.F.	A-3	2,897 S.F.	
MEETING SPACE LESS THAN 750 S.F. (300.1.2)	776 S.F.	B	985 S.F.	
RESTAURANT	4,875 S.F.	A-2	3,796 S.F.	
4TH FLOOR LOUNGE	2,034 S.F.	A-3	816 S.F.	
FITNESS CENTER	2,034 S.F.	A-3	850 S.F.	
RETAIL	2,784 S.F.	M	2,034 S.F.	
PARKING GARAGE	33,084 S.F.	S-2	33,084 S.F.	
ROOFTOP DECK (WALKABLE SURFACE)	8,311 S.F.	N/A	8,311 S.F.	
TRASH ROOM	308 S.F.	S-2	308 S.F.	
ELECTRICAL ROOM	171 S.F.	S-2	171 S.F.	

FIRE PROTECTION: NFPA 13

ALLOWABLE AREA:

BASE ALLOWABLE (2013 CBC TABLE 503): 16,000 S.F./FLOOR X 4 STORIES

ALLOWABLE AREA INCREASE (2013 CBC 506.3): 200%

ALLOWABLE AREA: 16,000 x 200% = 32,000 S.F./FLOOR X 4 STORIES

TOTAL ALLOWABLE AREA: (32,000x4) = 128,000 & 4 STORIES

PARKING: H-1, C/MU-2 ZONE (BMC 19.48.035)

HOTEL H-1 (HOTELS WITHOUT COOKING FACILITIES)

1 SPACE PER GUEST ROOM = 100 SPACES

25% MIXER USE REDUCTION = -24 SPACES

TOTAL PROJECT PARKING REQUIRED: 75 SPACES

PARKING REQUIRED BASED ON PARKING ANALYSIS = 78 SPACES (URBAN CROSSROADS 7/28/2016)

TOTAL PARKING PROVIDED: 78 SPACES

PARKING PROVIDED: (INCLUDING ACCESSIBLE) 93 SPACES

PUBLIC PARKING PROVIDED: 15 SPACES

REQUIRED ACCESSIBLE PARKING: (TABLE 11B-208.2)

TOTAL ACCESSIBLE STALLS REQUIRED: 4 SPACES

VAN ACCESSIBLE STALLS REQUIRED: 1 SPACE

TOTAL ACCESSIBLE PARKING PROVIDED: 4 SPACES

ELECTRIC VEHICLE PARKING: 3 CHARGING STATIONS

STREET PARKING ADJACENT TO PROPERTY BOUNDARY:

IMPERIAL BEACH BLVD PARKING:

EXISTING PARKING: 8 SPACES

PROPOSED PARKING: 8 SPACES

SEACOAST AVENUE PARKING:

EXISTING PARKING: 0 SPACES

PROPOSED PARKING: 4 SPACES

EXISTING PARKING: 2 SPACES

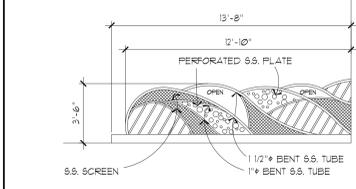
EBONY AVENUE PARKING:

PROPOSED PARKING: 5 SPACES

PRELIMINARY ARCHITECTURAL SITE PLAN

NOTE: ALL OUTDOOR LIGHTING FOR PARKING AREAS SHALL BE SO SHADED AND ADJUSTED THAT LIGHT THEREFROM IS DIRECTED TO FALL ONLY ON THE SAME PREMISES WHERE SUCH LIGHT SOURCE IS LOCATED.

FOR ENCROACHMENT AREA AND PUBLIC USE CALCULATIONS SEE SHEET A1.01



606D001
WAVE GUARDRAIL

PROJECT DIRECTORY

OWNER:
IMPERIAL BEACH RESORT LLC
10405 S. EASTERN AVENUE
SUITE 100
HENDERSON, NV 89052
CONTACT: KENNETH KNUDSON
kenneth.knudson@imbr.com

ARCHITECT:
LAMB ARCHITECTS
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(480) 994-5262
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ggagnepain@lambarchitects.com

CIVIL ENGINEER:
MICHAEL BAKER INTERNATIONAL
9755 CLAIREMONT MESA BOULEVARD
SUITE 100
SAN DIEGO, CA 92124-1324
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CONTACT: RICHARD TOMLINSON, P.E.
rtomlinson@mbakerintl.com

COASTAL ENGINEER:
TORA VISTA CONSULTING GROUP, INC.
3860 MURPHY CANYON ROAD
SUITE 300
SAN DIEGO, CALIFORNIA 92123
PHONE: (858) 573-6900
CONTACT: WALT CRAMPTON, ENGINEER
wrcrampton@toravista.com

ENVIRONMENTAL:
ECORP CONSULTING, INC.
3914 MURPHY CANYON ROAD
SUITE A206
SAN DIEGO, CA 92123
(858) 279-4040
CONTACT: MELISSA WHITTEMORE
mwhittemore@ecorpconsulting.com

TRAFFIC / PARKING:
URBAN CROSSROADS
41 CORPORATE PARK
SUITE 300
IRVINE, CA 92606
(949) 660-1994
CONTACT: HASEEB QURESHI, SENIOR ASSOCIATE
hqureshi@urbanroads.com

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

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IMPERIAL BEACH RESORT
1060 Seacoast Drive
Imperial Beach, CA



PRELIMINARY ARCHITECTURAL SITE PLAN

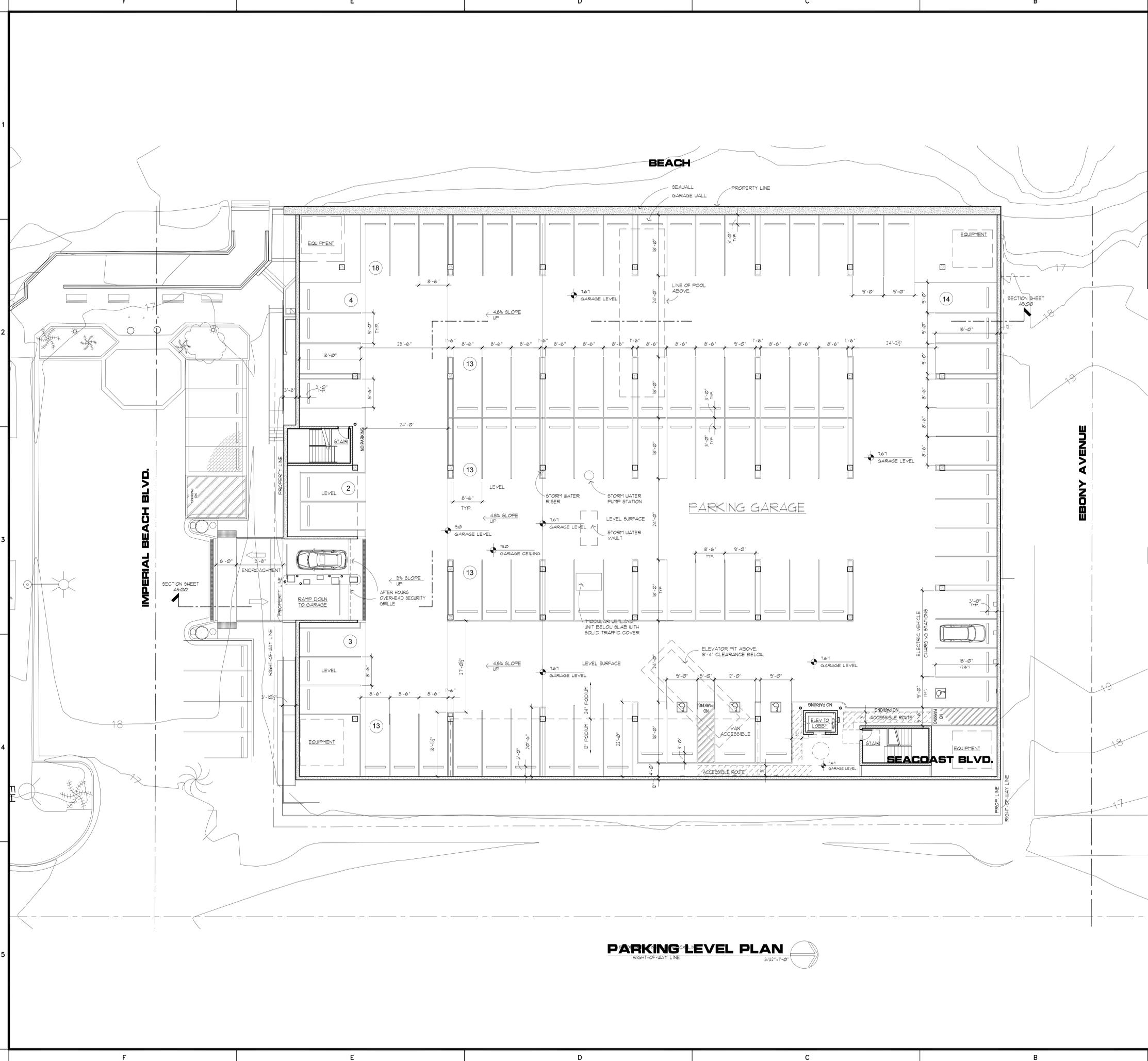
REV: DATE: COMMENTS:

REV	DATE	COMMENTS

PROJECT NO: 606
DATE: 10/12/2016
DRAWN BY:
CHECKED BY:
SHEET NO:

A1.00

5. Floor / Roof Plans



NOTES

- EACH PARKING SPACE SHALL BE CLEARLY MARKED AND STRIPED WITH PAINT OR OTHER MORE DURABLE MATERIALS, CONTRASTING IN COLOR WITH THE SURFACE TO WHICH IT IS APPLIED, SO AS TO DELINEATE THE BOUNDARIES OF SUCH SPACE. MARKINGS SHALL NOT BE REQUIRED WHERE THE BOUNDARIES ARE EVIDENT BECAUSE OF CURBS, TERMINATION OF PAVING, OR SIMILAR REASONS.
- ALL PARKING SPACES ABUTTING BUILDINGS OR STRUCTURES, OR LOCATED SO THAT ACCESS AND EGRESS ARE PROVIDED FROM ONE DIRECTION, SHALL BE PROVIDED WITH CONCRETE CURB OR BUMPER, OR ITS EQUIVALENT, AT LEAST SIX INCHES IN HEIGHT. BUMPERS SHALL BE LOCATED NOT MORE THAN THREE FEET FROM THE FRONT EDGE OF THE PARKING SPACE. BUMPERS SHALL BE ADEQUATELY ANCHORED TO THE GROUND.
- REFER TO CIVIL DRAWINGS FOR DETAILS FOR STORM WATER MANAGEMENT. EQUIPMENT SHOWN ON THIS PLAN FOR GENERAL REFERENCE ONLY.

NOTES

TOTAL SPACES PROVIDED = 93
 INCLUDES:
 ACCESSIBLE SPACES = 4 (1 VAN)
 ELECTRIC VEHICLE CHARGING STATIONS = 3

HOTEL SPACES REQUIRED = 78*
 PUBLIC PARKING SPACE PROVIDED = 15
 * REFER TO PARKING STUDY PREPARED BY URBAN CROSSROADS DATED 1/28/2016

PARKING LEVEL PLAN
 RIGHT-OF-WAY LINE 3/32"=1'-0"

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

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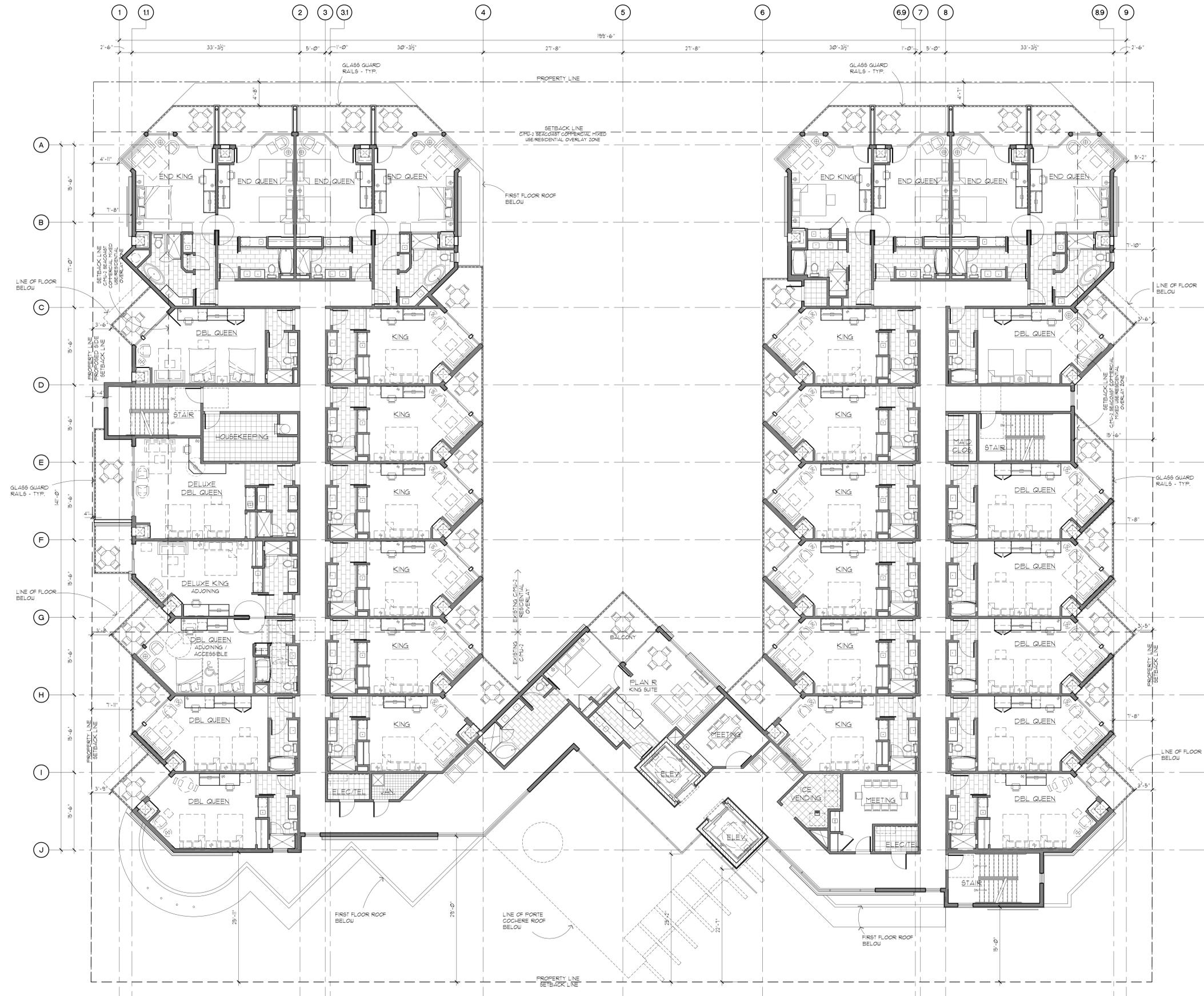
THE Imperial BEACH RESORT

PRELIMINARY PARKING LEVEL PLAN

REV:	DATE:	COMMENTS:

PROJECT NO: 62016
 DATE: 8/29/16
 DRAWN BY:
 CHECKED BY:
 SHEET No.

A2.00



PRELIMINARY
3rd FLOOR PLAN

CENTER DELUXE KING SUITE	1	1/8" = 1'-0"
STANDARD KING	12	
DELUXE KING ADJOINING	1	
ACC DOUBLE QUEEN	9	
DELUXE DOUBLE QUEEN	1	
KING END SUITE	4	
QUEEN END SUITE	4	
TOTAL	33	

PRELIMINARY
NOT FOR REGULATORY
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CONSTRUCTION.

LAMB ARCHITECTS
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Imperial Beach, CA

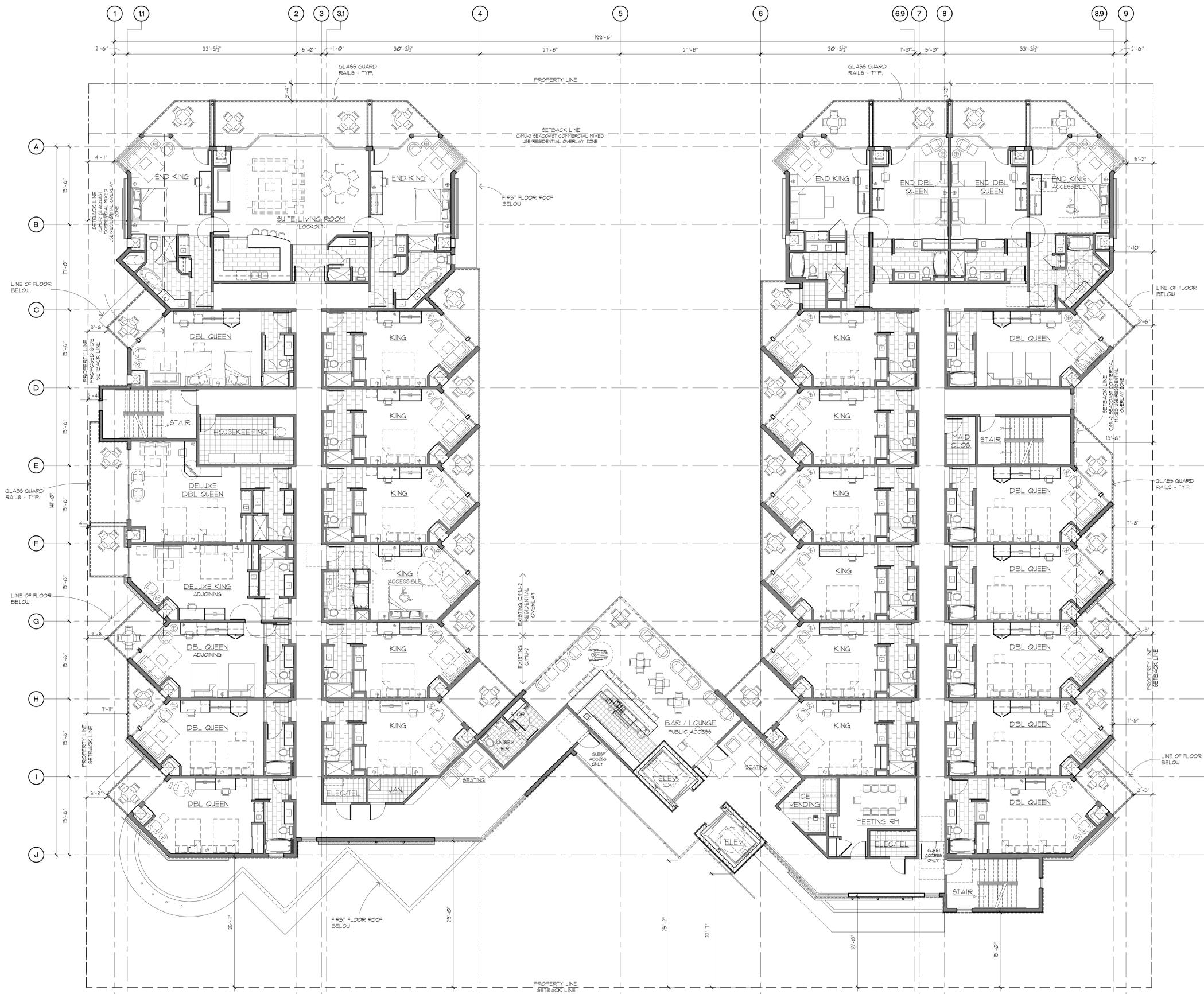
THE Imperial BEACH RESORT

PRELIMINARY
THIRD LEVEL
FLOOR PLAN

REV.	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 8/29/16
DRAWN BY:
CHECKED BY:
SHEET NO.

A2.03



**PRELIMINARY
4th FLOOR PLAN**

1/8" = 1'-0"

KING STANDARD	11
KING STANDARD ACCESSIBLE	1
DELUXE KING ADJOINING	1
DOUBLE QUEEN	9
DELUXE DOUBLE QUEEN	1
DOUBLE QUEEN ADJOINING	1
KING END SUITE	3
KING END ACCESSIBLE SUITE	1
QUEEN END SUITE	2
TOTAL	30

**PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.**

LAMB ARCHITECTS
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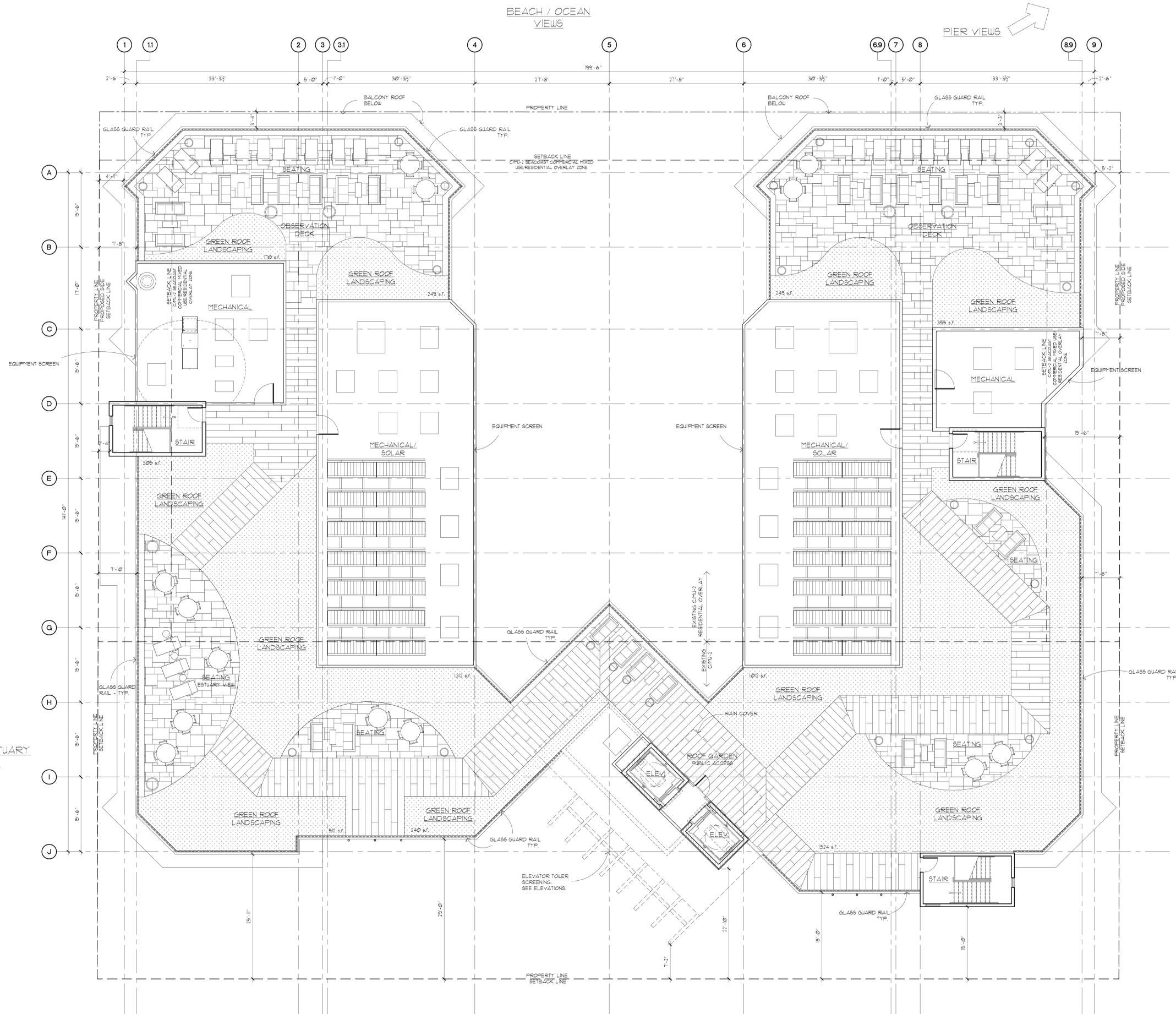
THE Imperial BEACH RESORT

**PRELIMINARY
FOURTH LEVEL
FLOOR PLAN**

REV.	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 8/29/16
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SHEET NO.

A2.04



PRELIMINARY ROOF PLAN

LANDSCAPED AREA = 6,149 SF.
WALKABLE SURFACE = 8,150 SF.

1/8" = 1'-0"

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

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THE Imperial BEACH RESORT

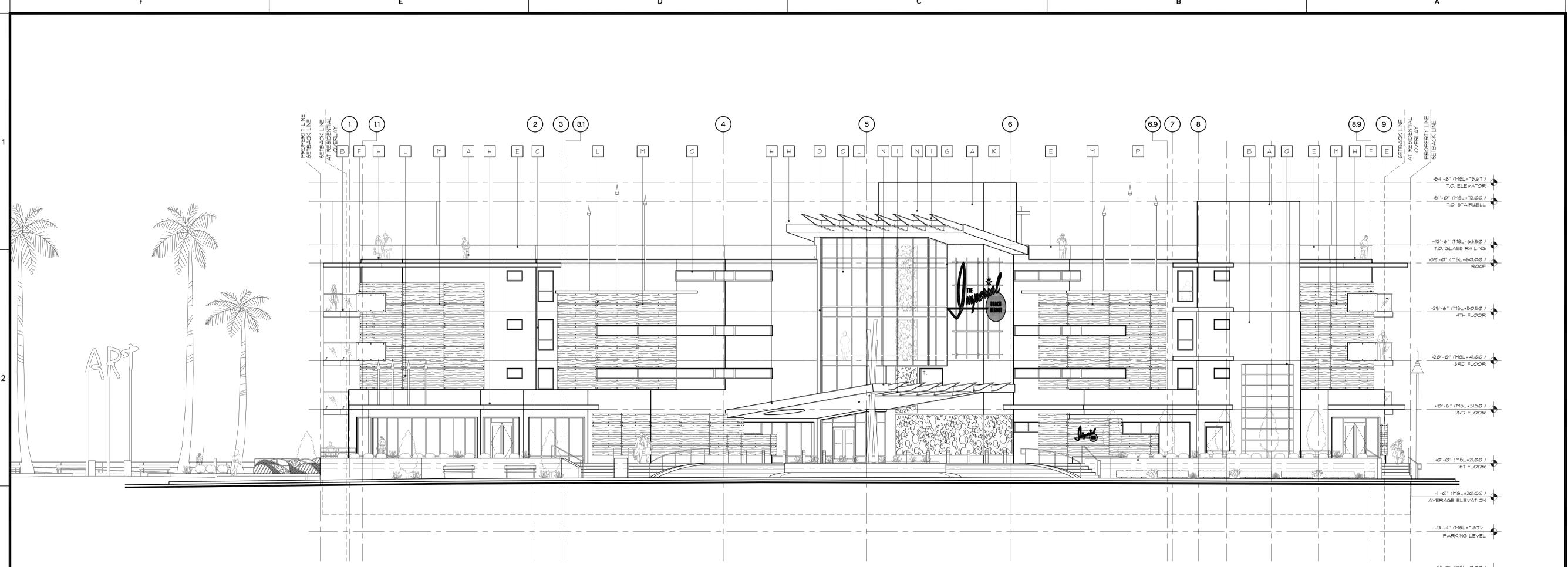
PRELIMINARY ROOF PLAN

REV.	DATE:	COMMENTS:

PROJECT NO: 62016
DATE: 8/23/16
DRAWN BY:
CHECKED BY:
SHEET NO.

A2.05

6. Exterior Elevations



PRELIMINARY EAST ELEVATION
 NOTE: HOTEL NAME AND LOGO SHOWN AS REFERENCE ONLY. ACTUAL NAME AND LOGO MAY VARY.
 1/8"=1'-0"



PRELIMINARY NORTH ELEVATION
 1/8"=1'-0"

MATERIAL / COLOR NOTES	
EIFS	
A.	FIELD - SHERWIN-WILLIAMS SW 6063 'NICE WHITE'
B.	ACCENT - SHERWIN-WILLIAMS SW 7066 'GRAY MATTERS'
GLAZING	
C.	TYPICAL INSULATED GLAZING - PPG IDEASCAPES - 'ATLANTICA' SOLARBAN 60
D.	SPANDREL GLAZING - PPG IDEASCAPES - 'ATLANTICA'
E.	GUARDRAILING - PPG IDEASCAPES - 'STARPHIRE' ULTRA CLEAR
F.	GLASS ACCENT - PPG IDEASCAPES COLOR 'ATLANTICA'
METAL	
G.	MULLIONS - CLEAR ANODIZED ALUMINUM
H.	METAL FASCIA - ALUCOBOND 'BRILLIANT SILVER'
I.	PAINTED STEEL BEAMS - SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
J.	PAINTED STEEL DOOR - SHERWIN-WILLIAMS SW 6063 'NICE WHITE'
K.	PERFORATED ACCENT PANELING - STAINLESS STEEL
L.	ACCENT METAL - CLEAR ANODIZED ALUMINUM
WOOD	
M.	WOOD PANELING - PRODEMA NATURAL WOOD COLOR 'RUSTIK'
N.	WOOD CLADDING - PRODEMA NATURAL WOOD COLOR 'RUSTIK'
LANDSCAPE LATTICE	
O.	SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
MASONRY	
P.	SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
CONCRETE SEAWALL	
Q.	NATURAL COLOR CONCRETE WITH CAST WAVE PATTERN PANELS

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

LAMB ARCHITECTS
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Imperial Beach Resort LLC
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 1060 Seacoast Drive
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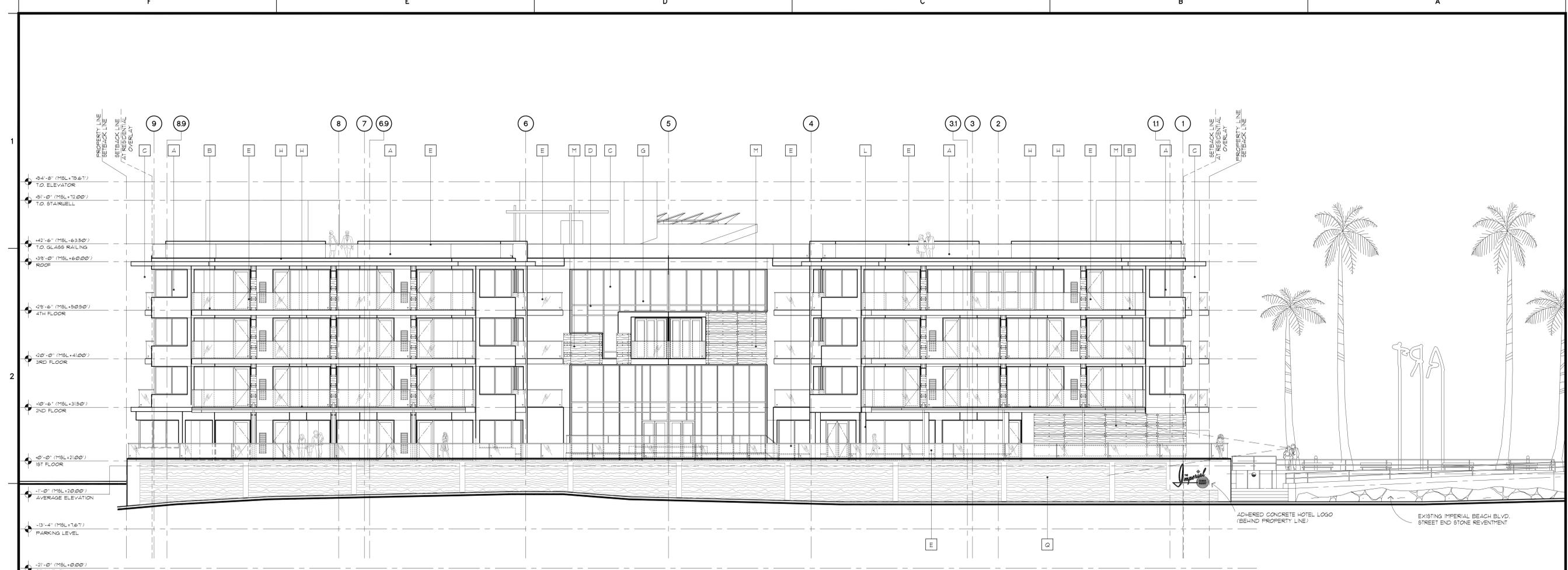
THE Imperial BEACH RESORT

EXTERIOR ELEVATIONS EAST AND NORTH

REV.	DATE	COMMENTS

PROJECT NO: 6/016
 DATE: 8/29/16
 DRAWN BY:
 CHECKED BY:
 SHEET NO.

A4.00



**PRELIMINARY
WEST ELEVATION**

1/8"=1'-0"



**PRELIMINARY
SOUTH ELEVATION**

1/8"=1'-0"

MATERIAL / COLOR NOTES

- ALL FINISHES ARE TYPICAL UNLESS OTHERWISE NOTED
- EIFS
 - A. FIELD - SHERWIN-WILLIAMS SW 6063 'NICE WHITE'
 - B. ACCENT - SHERWIN-WILLIAMS SW 7066 'GRAY MATTERS'
 - GLAZING
 - C. TYPICAL INSULATED GLAZING - PPG IDEASCAPES - 'ATLANTICA' SOLARBAN 60
 - D. SPANDREL GLAZING - PPG IDEASCAPES - 'ATLANTICA'
 - E. GUARDRAILING - PPG IDEASCAPES - 'STARPHIRE' ULTRA CLEAR
 - F. GLASS ACCENT - PPG IDEASCAPES COLOR 'ATLANTICA'
 - METAL
 - G. MULLIONS - CLEAR ANODIZED ALUMINUM
 - H. METAL FASCIA - ALUCOBOND 'BRILLIANT SILVER'
 - I. PAINTED STEEL BEAMS - SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
 - J. PAINTED STEEL DOOR - SHERWIN-WILLIAMS SW 6063 'NICE WHITE'
 - K. PERFORATED ACCENT PANELING - STAINLESS STEEL
 - L. ACCENT METAL - CLEAR ANODIZED ALUMINUM
 - WOOD
 - M. WOOD PANELING - PRODEMA NATURAL WOOD COLOR 'RUSTIK'
 - N. WOOD CLADDING - PRODEMA NATURAL WOOD COLOR 'RUSTIK'
 - LANDSCAPE LATTICE
 - O. SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
 - MASONRY
 - P. SHERWIN-WILLIAMS SW 6096 'JUTE BROWN'
 - CONCRETE SEAWALL
 - Q. NATURAL COLOR CONCRETE WITH CAST WAVE PATTERN PANELS.

**PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION.**

LAMB ARCHITECTS
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IMPERIAL BEACH RESORT
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Imperial Beach, CA

THE Imperial BEACH RESORT

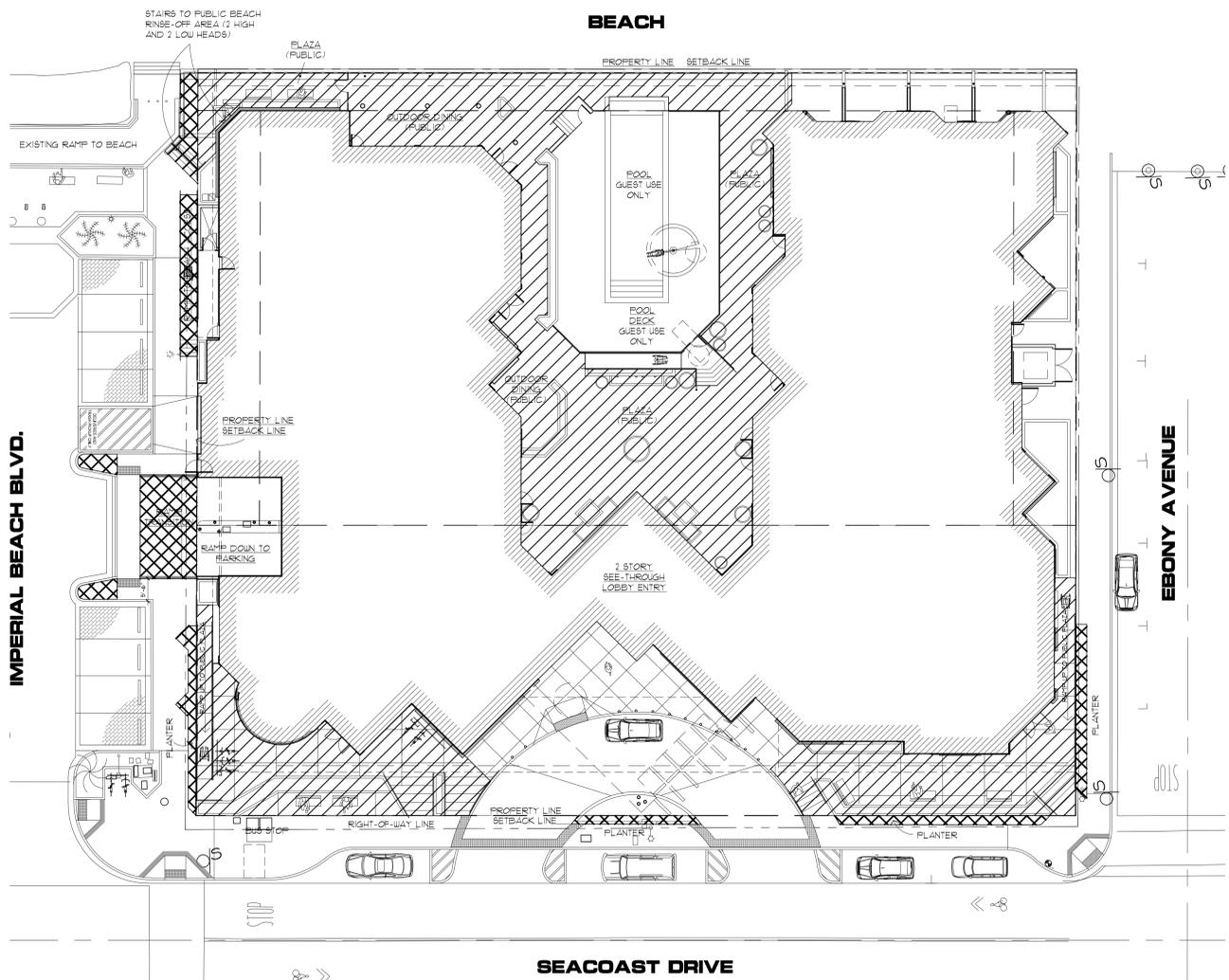
**EXTERIOR ELEVATIONS
WEST AND SOUTH**

REV.	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 8/29/16
DRAWN BY:
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SHEET NO.

A4.01

7. Encroachment & Public Use Plan



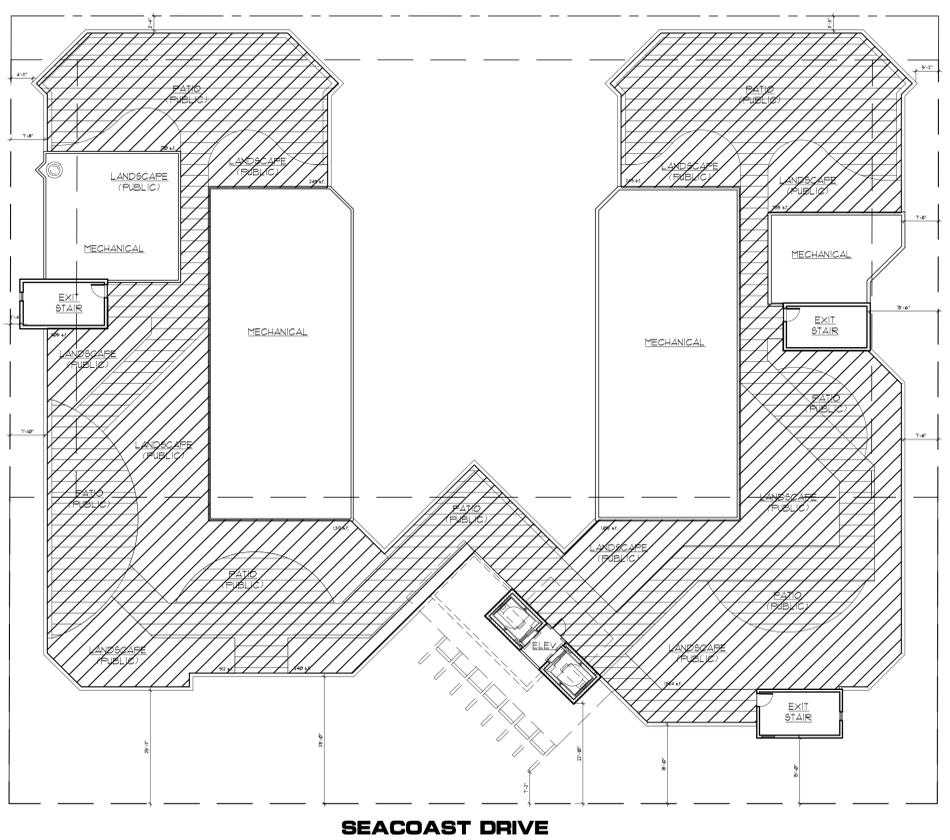
SITE PLAN 1/16"=1'-0"

	PLANTERS = 453 SF.
	PARKING ACCESS RAMP = 338 SF.
	BEACH STEPS / RAMP = 218 SF.
	ENCROACHMENT AREA = 1,069 SF.
	PUBLIC USE AREA = 10,810 SF.

TOTALS

PROPOSED ENCROACHMENT AREA = 1,069 S.F.

PROPOSED OUTDOOR PUBLIC USE AREA ON HOTEL SITE = 25,673 S.F.



ROOF PLAN 1/16"=1'-0"

PUBLIC USE AREA = 14,863 SF.

PRELIMINARY
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CONSTRUCTION.

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IMPERIAL BEACH RESORT
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ENCROACHMENT PUBLIC USE AREA CALCULATIONS

REV:	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 8/29/2016
DRAWN BY:
CHECKED BY:
SHEET NO:

EN1.0

8. Color Use Plans

PRELIMINARY
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APPROVAL, PERMITTING, OR
CONSTRUCTION.

LAMB ARCHITECTS
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SCOTTSDALE, ARIZONA 85251
P: (480) 744-6322 F: (480) 744-9905



Imperial Beach Resort
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Imperial Beach, CA

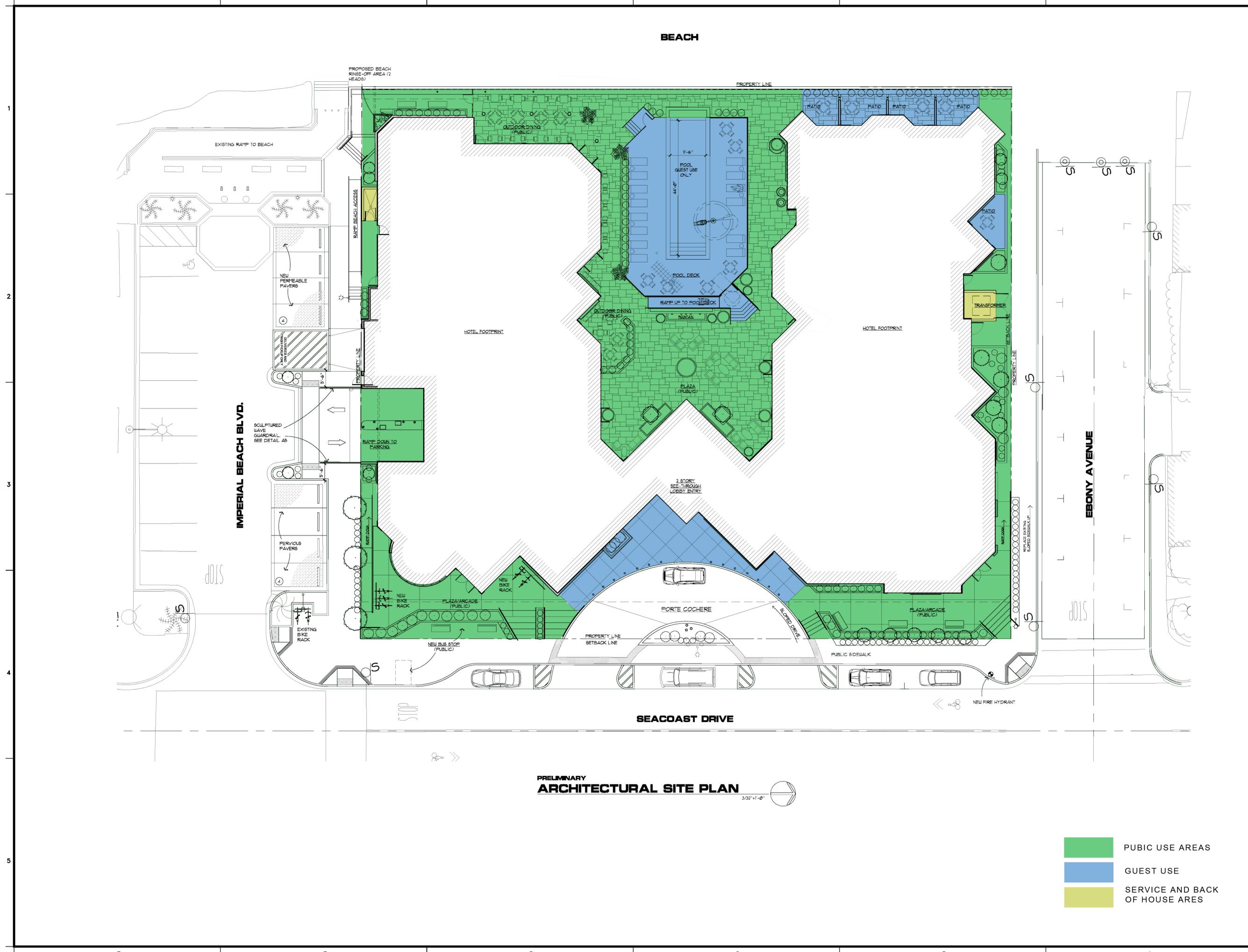
**PRELIMINARY
ARCHITECTURAL
SITE PLAN**

REV:	DATE:	COMMENTS:

PROJECT NO: 606
DATE: 1/26/2016
DRAWN BY:
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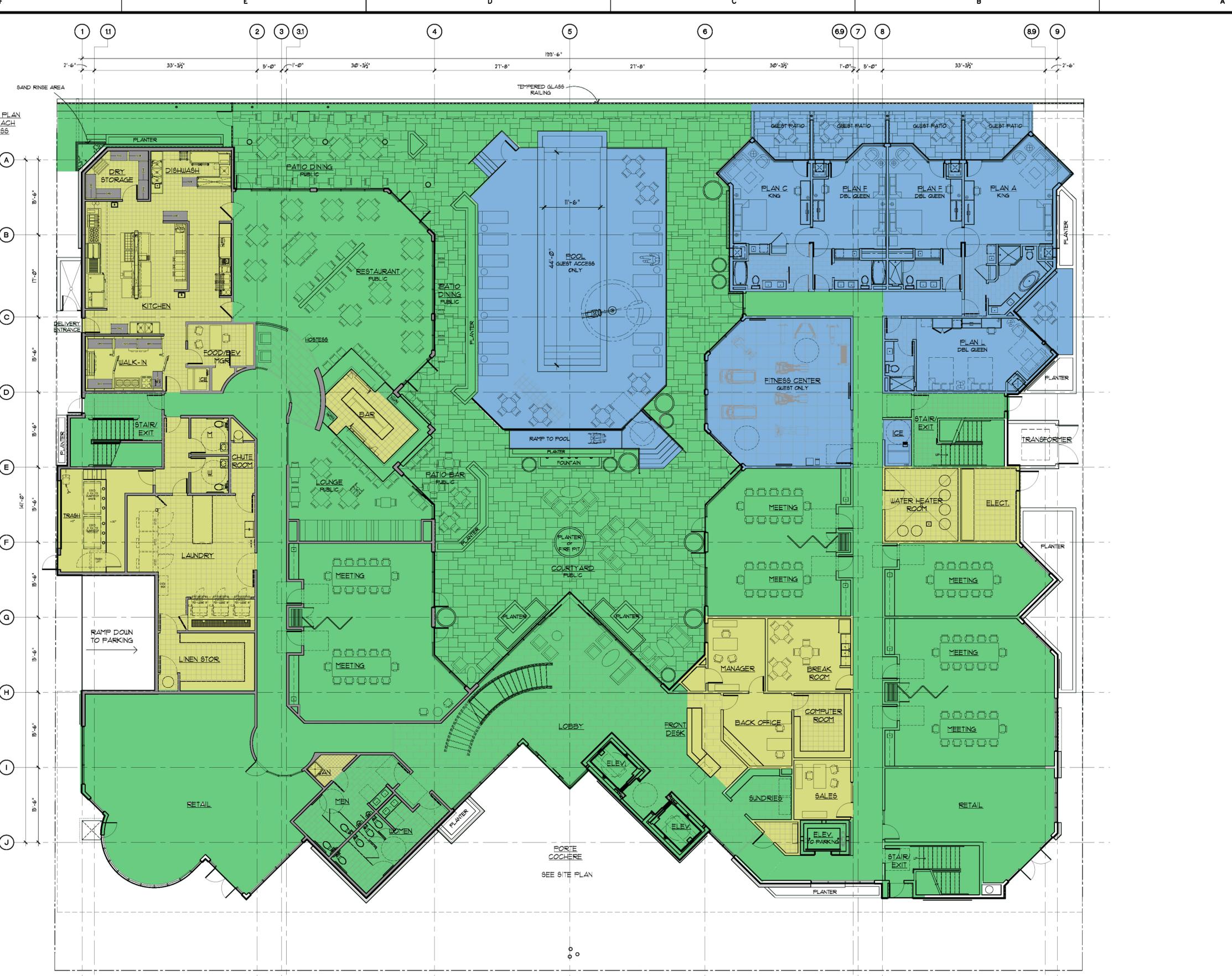
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**PRELIMINARY
ARCHITECTURAL SITE PLAN**
3/32"=1'-0"

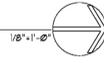
- PUBLIC USE AREAS
- GUEST USE
- SERVICE AND BACK OF HOUSE AREAS



SEACOAST BLVD.

**PRELIMINARY
1st FLOOR PLAN**

GUEST UNITS	1
DOUBLE QUEEN	2
KING END SUITE	2
QUEEN END SUITE	2
TOTAL	5



- PUBLIC USE AREAS
- GUEST USE ONLY
- SERVICE AND BACK OF HOUSE AREAS

**PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.**

LAMB ARCHITECTS
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Imperial Beach Resort
1060 Seacoast Drive
Imperial Beach, CA

**PRELIMINARY
FIRST LEVEL
FLOOR PLAN**

REV.	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 5/20/16
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A2.01

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Imperial Beach Resort
1060 Seacoast Drive
Imperial Beach, CA

PRELIMINARY
SECOND LEVEL
FLOOR PLAN

REV:	DATE:	COMMENTS:

PROJECT NO: 6076
DATE: 5/20/16
DRAWN BY:
CHECKED BY:

SHEET NO.

A2.02



**PRELIMINARY
2nd FLOOR PLAN**

STANDARD KING	12	1/8"=1'-0"
DELUXE KING ADJOINING	1	
DOUBLE QUEEN ADJOINING	1	
DOUBLE QUEEN	10	
KING END SUITE	4	
QUEEN END SUITE	4	
TOTAL	32	

- PUBLIC USE AREAS
- GUEST USE ONLY
- SERVICE AND BACK OF HOUSE AREAS

PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.

LAMB ARCHITECTS
7714 E. STEVEN DRIVE, SUITE 300
SCOTTSDALE, ARIZONA 85251
P: (480) 774-6322 F: (480) 774-9005



Imperial Beach Resort
1060 Seacoast Drive
Imperial Beach, CA

PRELIMINARY
THIRD LEVEL
FLOOR PLAN

REV:	DATE:	COMMENTS:

PROJECT NO: 6076
DATE: 5/20/16
DRAWN BY:
CHECKED BY:

SHEET No.

A2.03

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**PRELIMINARY
3rd FLOOR PLAN**

CENTER DELUXE KING SUITE	1
STANDARD KING	12
DELUXE KING ADJOINING	1
DOUBLE QUEEN	10
DOUBLE QUEEN ADJOINING	1
KING END SUITE	4
QUEEN END SUITE	4
TOTAL	33

- PUBLIC USE AREAS
- GUEST USE ONLY
- SERVICE AND BACK OF HOUSE AREAS

PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.

LAMB ARCHITECTS
7114 E. STERSON DRIVE, SUITE 300
SCOTTSDALE, ARIZONA 85251
P: (480) 774-6324 F: (480) 774-9905



Imperial Beach Resort
1060 Seacoast Drive
Imperial Beach, CA

PRELIMINARY
FOURTH LEVEL
FLOOR PLAN

REV:	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 5/20/16
DRAWN BY:
CHECKED BY:

SHEET NO.

A2.04

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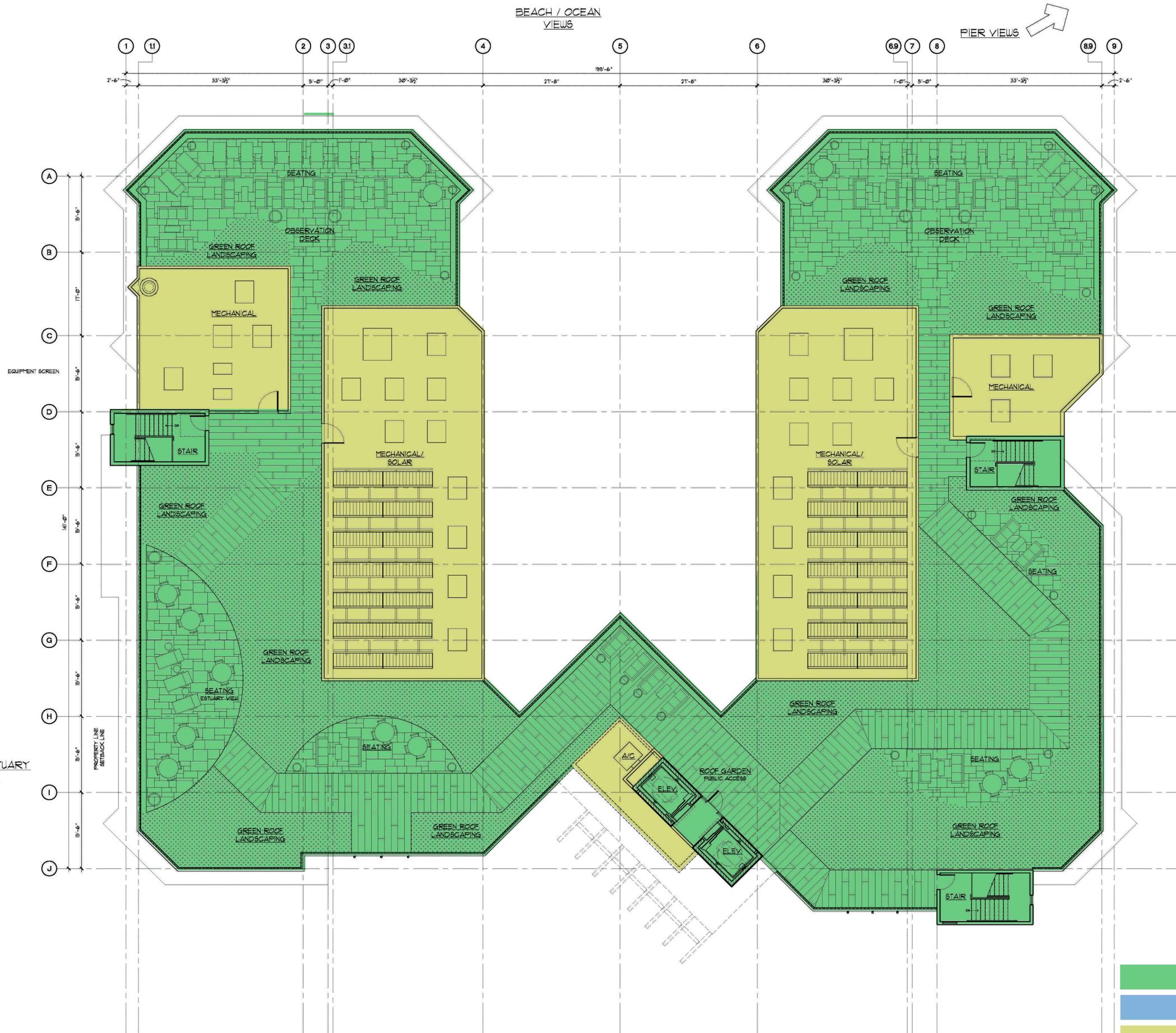
**PRELIMINARY
4th FLOOR PLAN**

STANDARD KING	12
DELUXE KING ADJOINING	1
DOUBLE QUEEN	10
DOUBLE QUEEN ADJOINING	1
KING END SUITE	4
QUEEN END SUITE	2
TOTAL	30

- PUBLIC USE AREAS
- GUEST USE ONLY
- SERVICE AND BACK OF HOUSE AREAS

1
2
3
4
5

F E D C B A
 1 11 2 3 31 4 5 6 69 7 8 89 9
 2'-6" 33'-3/4" 5'-0" 1'-0" 30'-3/4" 21'-8" 21'-8" 30'-3/4" 1'-0" 5'-0" 33'-3/4" 2'-6"



PRELIMINARY ROOF PLAN

1/8" = 1'-0"

- PUBLIC USE AREAS
- GUEST USE ONLY
- SERVICE AND BACK OF HOUSE AREAS

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CONSTRUCTION

LAMB ARCHITECTS
1000 N. GARDEN AVENUE
SCOTTSDALE, ARIZONA 85257
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Imperial Beach Resort LLC
10405 S. Eastern Avenue
Suite 100
Henderson, NV 89052

IMPERIAL BEACH RESORT
1060 Seacoast Drive
Imperial Beach, CA

PRELIMINARY ROOF PLAN

REV.	DATE	COMMENTS

PROJECT NO: 62016

DATE: 8/29/16

DRAWN BY:

CHECKED BY:

SHEET NO:

A2.05

C. Landscape Plans

1. Street Level Landscape Plan
2. Rooftop Landscape Plan

F E D C B A

BEACH

IMPERIAL BEACH BLVD.

EBONY AVENUE

SEACOAST DRIVE

**PRELIMINARY
LANDSCAPE PLAN**

3/32"=1'-0"

PLANT PALETTE:

TREES

MAY INCLUDE, BUT NOT LIMITED TO: BOTANICAL NAME	15 GAL MIN. COMMON NAME
ARBUS 'MARINA'	STRAWBERRY TREE
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE
LAGERSTROEMIA INDICA	GRAPE MYRTLE

SHRUBS & ACCENTS:

MAY INCLUDE, BUT NOT LIMITED TO: BOTANICAL NAME	5 GAL MIN. COMMON NAME
ALOE SPP	ALOE
AGAVE SHAWII	COASTAL AGAVE
BOUTELOUA GRACILIS	BLUE GRAMA
CALLIANDRA ERIOPHYLLA	PINK FAIRY DUSTER
BACCHARIS SPP	BACCHARIS
CELANOTHUS SPP	CALIFORNIA LILAC
ENCELIA CALIFORNICA	COAST SUNFLOWER
EPILOBIUM CANUM	CALIFORNIA FUSCIA
GALVEZIA SPECIOSA	ISLAND BUSH SNAPDRAGON
JUSTICIA CALIFORNICA	CHUPAROSA
ROMNEYA COULTERI	MATILIA POPPY
CONVOLVULUS ONEORUM	BUSH MORNING GLORY
DIETES BICOLOR	DAYLILY
TECOMARIA CAPENSIS	CAPE HONEYSUCKLE
SALVIA SPP	SAGE SPECIES
ROSA SPP	ROSE SPECIES
LANTANA SPP	LANTANA
ROSMARINUS SPP	ROSEMARY

VINES/GROUND COVER:

MAY INCLUDE, BUT NOT LIMITED TO: BOTANICAL NAME	5 GAL MIN. COMMON NAME
DUDLEYA SPP	RED FESCUE
FESTUCA RUBRA 'MOLATE'	HONEYSUCKLE
LONICERA SPP	MYOPORUM
MYOPORUM PARVIFOLIUM	ICE PLANT
DROSANTHEMUM SPP	GAZANIA
GAZANIA SPP	ROSEMARY
ROSMARINUS SPP	

LANDSCAPE DESIGN CONCEPT STATEMENT

THE LANDSCAPE CONCEPT AT THE IMPERIAL BEACH RESORT IS INTENDED TO REFLECT INDIGENOUS SOUTHERN CALIFORNIA NATURAL COASTAL ENVIRONMENT. PLANT MATERIALS NATIVE TO THE AREA WILL BE USED WHEREVER POSSIBLE. WATER CONSERVATION POLICIES WILL BE INCORPORATED THROUGHOUT THE DESIGN.

SUSTAINABLE LANDSCAPE DESIGN FEATURES

- AUTOMATIC IRRIGATION SYSTEMS INCORPORATE LOW VOLUME, LOW ANGLE EMITTERS AND WATER SAVING COMPONENTS SUCH AS
 - RAINS SENSORS
 - MOISTURE SENSORS
 - DRIP LINES AND EMITTERS
- INDIVIDUAL ZONES WITH PROGRAMMED CYCLES BASED ON PLANT MATERIAL, ORIENTATION, AND EXPOSURE.
- THE LANDSCAPE PLAN WILL PRIMARILY UTILIZE PLANT MATERIAL NATIVE TO THE REGION EMPHASIZING LOW WATER USE MATERIALS. USE OF NATIVE, DROUGHT TOLERANT PLANTS WILL ENSURE LOW IRRIGATION WATER DEMAND.
- PLANT MATERIAL WILL BE SELECTED BASED ON SUN EXPOSURE.
- PLANTING BEDS WILL CONTAIN SOILS PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AS WELL AS OPTIMUM MOISTURE RETENTION, DRAINAGE AND MINIMIZE EVAPOTRANSPIRATION.

PRELIMINARY
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CONSTRUCTION.

LAMB ARCHITECTS
7114 E. STATION DRIVE, SUITE 300
IMPERIAL BEACH, CA 92249
P: (405) 934-5242 F: (405) 934-9005



Summers/Murphy & Partners Inc.
LANDSCAPE ARCHITECTS
31877 Pacific Coast Highway, Suite 200 - Dana Point, CA 92629
P: (949) 441-1441 F: (949) 441-1511

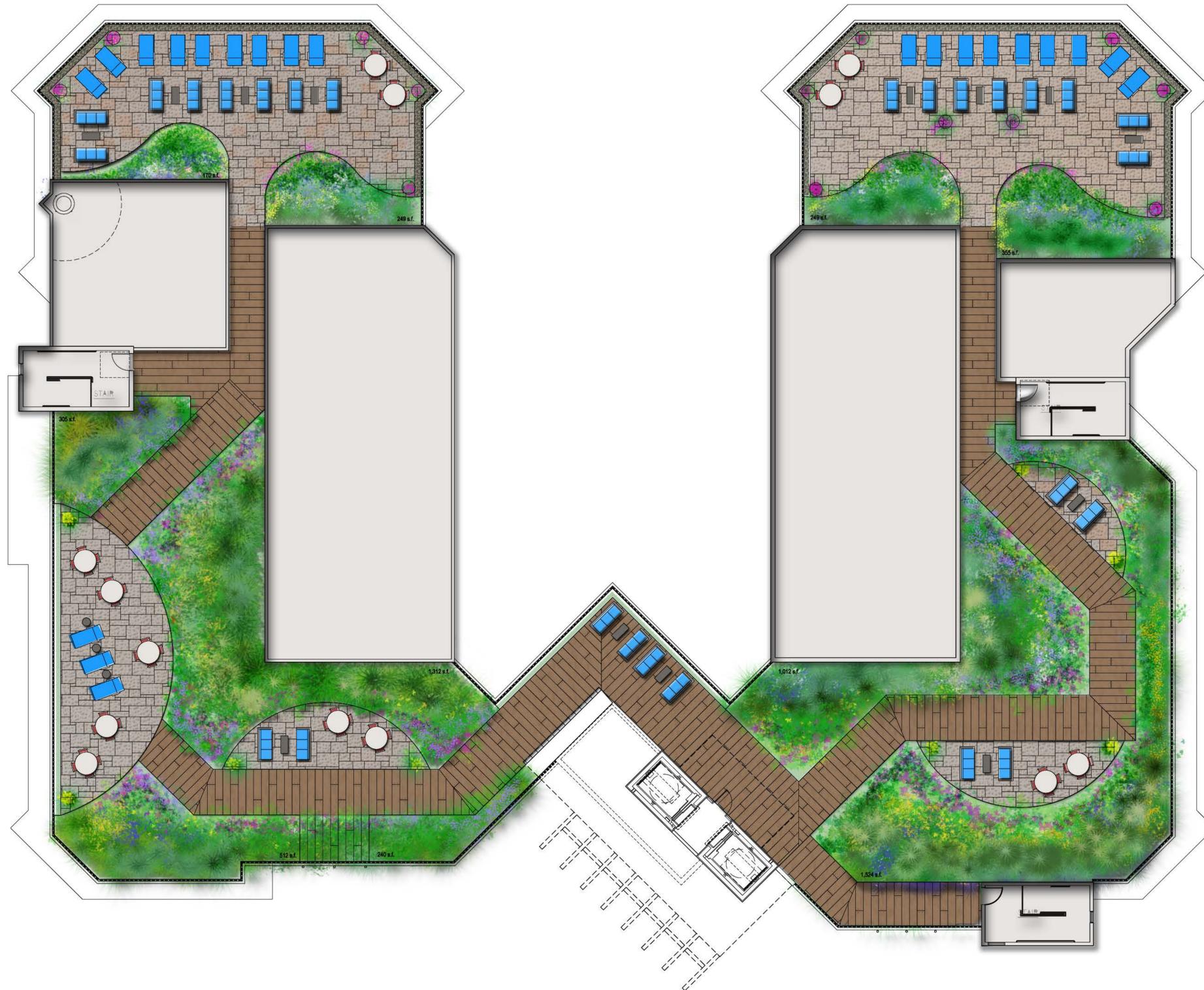
Imperial Beach Resort
1046 Seacoast Drive
Imperial Beach, CA

PRELIMINARY
LANDSCAPE PLAN

REV:	DATE:	COMMENTS:

PROJECT NO: 6016
DATE: 3/23/16
DRAWN BY: JN
CHECKED BY: JG
SHEET NO:
L1.00

F E D C B A

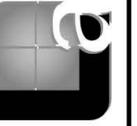


PRELIMINARY
ROOF PLAN

1/8"=1'-0"

PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION

LAMB ARCHITECTS
7114 E. SESTON DRIVE, SUITE 350
SCOTTSDALE, ARIZONA 85251
P: (480) 774-5242 F: (480) 774-7005



Imperial Beach Resort
1046 Seacoast Drive
Imperial Beach, CA

PRELIMINARY
ROOF PLAN

REV: DATE: COMMENTS:

REV:	DATE:	COMMENTS:

PROJECT NO: 8016

DATE: 3/27/18/2/15

DRAWN BY: JN

CHECKED BY: JG

SHEET No:

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TIJUANA ESTUARY VIEWS



DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1166

Applicant IB Resort

Project Address: 1060 Seacoast Dr.

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	N/C	N/A
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A. <u>RELATIONSHIP OF BUILDINGS TO SITE AND SURROUNDING AREA</u>			
1. The site should be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.	X		
2. Site planning should provide landscaped setbacks in scale with buildings, an inviting streetscape, usable open space areas, and buffering between properties.	X		
3. Parking areas should be treated with decorative elements, such as, building wall extensions, plantings, trellises, surface patterns, berms or other innovative means to largely screen parking areas from view from public ways.			X
4. Whenever the natural or existing topography contributes to the amenity and utility of a proposed project, it should be preserved in a manner, which enhances and accentuates the project. Modifications to the topography will be considered only when it can be determined that they will contribute to the amenity and utility of the project.	X		
5. Architectural styles should be made compatible or integrated with adjacent buildings by such means as screens, site breaks, colors and materials.	X		
6. Attractive landscape transition to surrounding properties should be provided.	X		
7. Harmony in design elements, including texture, lines, and masses is required. Monotony shall be avoided. Contrasting design elements should be repeated where appropriate in a harmonious manner. For example, vertical elements contrast with general horizontal lines and should be used where appropriate to make a strong statement.	X		
8. The height, bulk, mass and scale of each building should be compatible with its site and buildings expected to remain or be developed in the surrounding area. Monotony of architectural design is not encouraged.	X		
9. A project proposed in an area deemed to be in a state of decline or blight infestation should be developed in a manner, which will establish and improve the aesthetic quality and character of the area.	X		
B. <u>BUILDING DESIGN, COLORS, AND MATERIALS</u>			
1. Evaluation of appearance of a project shall be based on the quality of its design and relationship to existing or future surroundings. Inappropriate, incompatible designs shall be avoided.	X		
2. Existing and proposed structures on the same project site should be architecturally and functionally integrated.			X
3. Innovative and imaginative design and architecture should be encouraged, and inappropriate and monotonous design should be avoided.	X		
4. Variations of building details, form, line, colors and materials, and setting should be employed to create visual interest.	X		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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Applicant IB Resort

Project Address: 1060 Seacoast Dr.

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5. Monotony of design in single or multiple building projects should be avoided. Variation of detail, form, and siting should be used to provide visual interest. In multiple building projects, variable siting of individual buildings may be used to prevent a monotonous appearance. Variation in wall plan, roof line and direction, materials and color may be used to prevent a monotonous appearance in buildings. Wall plan variation is recommended to reduce scale and bulk and may often be simple provided by building projections, bay windows, and balconies. Color and landscape materials may be used to accent the variation.	X		
6. Window trim, pop-outs, dormers, bay windows, and other features are encouraged to provide exterior variation in wall plan and materials.	X		
7. New building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationship to one another and with wall masses.	X		
8. The architectural theme employed on a particular building should normally be executed on all exterior surfaces.	X		
9. In any design in which the structural frame is exposed to view, materials and finishes should be selected for architectural harmony or enhancements of the theme, as well as aesthetic quality, durability, and ease of maintenance.	X		
10. Exterior colors which are harmonious and contribute to the aesthetic quality of the project should be selected.	X		
11. Colors shall be harmonious yet color contrast or contrasting tone is encouraged to emphasize architectural detail (see examples in Planning Department). Fluorescent paints and garish colors should be avoided.	X		
12. Materials and colors should be varied where appropriate to provide architectural interest. However, material and color combinations should be repeated where necessary to provide contrast and harmony (visual order) to the building. The number of materials should not exceed what is required for contrast and accent or architectural features and may generally be limited to three.	X		
13. Building materials should not stop abruptly at corners but continue from front to side elevations.	X		
14. Parapet walls/mansard roofs should not stop at short distances on side elevations, but should continue to visually unify all building elevations, as appropriate.	X		
15. Blank walls should be avoided by the use of windows, variation of surface plan and materials, and use of shrubbery or trees as landscape screening.	X		
16. Mechanical equipment, including solar collectors and panels, or other utility hardware on roof, ground, or buildings should be screened from public view with materials harmonious with the building, or they should be located so as not to be visible from any public ways.	X		
17. Metal fixtures, trims, and devices, exposed to the ocean environment are subject to abnormally high corrosion and are discouraged.	X		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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Applicant IB Resort

Project Address: 1060 Seacoast Dr.

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	N/C	N/A
18. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, should be conducive to easy maintenance and upkeep.	X		
19. Materials and finishes should be selected for their durability and wear as well as for their beauty. Property measures and devices should be incorporated for protection against the elements, neglect, damage and abuse.	X		
C. LANDSCAPE IMPROVEMENTS AND EXTERIOR LIGHTING Landscape elements included in this criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.			
1. An inviting atmosphere should be created in pedestrian oriented areas through the use of landscaping, walls, fencing, seating, plazas, statues, fountains, and other design features.	X		
2. Grades of walks, parking spaces, terraces, and other paved area should provide an inviting and stable appearance for walking and, if seating is provided, for sitting.	X		
3. Landscape treatment should be provided to enhance architectural features, strengthen vistas and important axis, and provide shade, privacy and buffering, soften large surfaces and paved areas, and accent points of interest. Where practical, existing trees and drought tolerant plants should be preserved and included in the planning and design of the site.	X		
4. Unity of design should be achieved by repetition of certain plant varieties and other materials, and by correlation with adjacent developments, where appropriate.	X		
5. Plant material should be selected for interest in its structure, texture, and color and for its ultimate growth.	X		
6. In locations where plants will be susceptible to injury by pedestrian or motor traffic, or other environmental hazards, they should be protected by appropriate curbs, tree guards, or other devices.	X		
7. Service and storage yards, trash collection areas, exterior work areas, and other places which tend to be unsightly, should be screened by use of walls, fencing, planting, or by combinations of these.	X		
8. In areas where general planting does not prosper, other materials such as fences, walls, trellises and pavings of wood, brick, stone, gravel, and cobbles, should be used. Carefully selected plants should be combined with such materials where possible. Materials should be harmonious with building materials.	X		
9. All plant materials should be selected, arranged, and installed in accordance with sound horticultural and landscape architectural practices per landscape and irrigation plans.	X		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

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Applicant IB Resort

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10. Color and texture of landscape elements should be coordinated with color and texture of building materials. Coarse textures and darker or brighter colors may be used where appropriate to reduce perceived distance and size. Fine textures and light or greyed colors may be used for the opposite effect where appropriate.	X		
11. Miscellaneous structures (i.e., structures other than buildings: sign posts, railings, etc.) and street furniture located on private property should be designed to be integrated with, or harmonious with, the architectural building and landscape design proposed for the site. Materials should be durable and compatible with buildings and surroundings in color and scale.	X		
12. Exterior lighting should be designed to enhance the architecture of the building and landscape and shall be restrained in color and brightness. Light standards and fixtures shall be architecturally compatible and scaled to the buildings with consideration for energy efficiency.	X		
D. SIGN CRITERIA (The same criteria applicable to wall signs shall apply to monument signs.) Project, as conditioned			
1. Signs should be designed as supportive elements to land use. They should be used primarily to identify businesses, professional offices and public and quasi-public facilities.			X
2. Signs should be compatible with the nature, scale, character, and design of the locale and land uses they serve.			X
3. Signs should be part of the architectural concept. Size, color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with approved signs on adjoining buildings. Signs shall have good proportion.			X
4. Colors should be used harmoniously and with restraint. Lighting should be harmonious with the design. If external spot or floodlighting is used, it shall be arranged so that light source is shielded from view.			X
5. Identification and directory signs should manifest a high degree of artistic order and taste, as well as legibility.			X
6. Signs should be characterized by restraint. Where practical and practicable, artistic graphics and fine art displays should be used in lieu of "commercial" signs.			X
7. Signs should place considerable emphasis upon color, harmony, size, shapes, letters, materials and character.			X
E. CIRCULATION AND PARKING			
1. It is recommended that parking areas be screened from view by the use of landscaping, walls, buildings, or other innovative and decorative concepts.	X		

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1166

Applicant IB Resort

Project Address: 1060 Seacoast Dr.

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2. Parking areas and trafficways should be enhanced with landscaped spaces containing trees or tree groupings which shall be adequately irrigated and maintained. Shrubs should be used only where they will not obscure vision.			X
3. The placement of trees in parkways or paved areas is encouraged.	X		
4. Vine covered trellises should be provided where appropriate to provide shading and buffering of open parking areas, particularly where tree planting is not provided.			X
5. Parking bays located between the building and the street should be separated from buildings by landscaped areas or protected walkways.			X
6. The mass of large parking areas should be improved through the employment of landscaping, textural variation, or structural interruption (i.e., walls and trellises). Variation of paving material, texture and color is recommended where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick or granite pavers, exposed aggregate, colored concrete or other methods to divide or improve the effect of large expanses of pavement is encouraged.			X
7. Onsite circulation shall be designed to promote adequate security, police and fire protection; and, to facilitate postal delivery, moving, trash collection and trades services.	X		
8. The layout of offstreet parking areas and onsite circulation systems should place emphasis on:	X		
A) Convenience and proximity to the units served.	X		
B) Safety.	X		
C) Screening and separation of buffering from common uses areas, residential units and recreation areas.	X		
9. Directional signs and graphics should be used to promote public safety and convenience.	X		
10. Loading, unloading, and delivery service operations should be preplanned. Parking layouts should clearly indicate that these operations would not adversely affect customer parking or access.	X		
11. The plans of major commercial centers shall be responsive to the physical requirements of public transportation and should provide the requisite pedestrian ways, bus stops, benches, and shelter.	X		
12. Secure bicycle parking facilities are encouraged.	X		
13. Public or commercial parking areas should be designed for convenience and, where feasible, should be directly accessible from two streets, or a street and an alley.	X		
14. Pedestrian ways within commercial parking areas should be protected from vehicular movements by landscaped areas, curbs, or posts.			X
15. In multiple family developments, it shall be considered undesirable to located off street parking areas between the buildings and the street. In cases where this design solution is utilized by the Architectural Design Review			X

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1166

Applicant IB Resort

Project Address: 1060 Seacoast Dr.

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Advisory Committee, the parking areas should be screened from view. Parking shall be considered between buildings and streets where it does not detract from otherwise exceptional design and neighborhood amenities.			
16. It is recommended that all parking or maneuvering areas which are perpendicular to building walls be separated by landscaped areas.			X
F. MULTIPLE-FAMILY RESIDENTIAL ENVIRONMENT			
1. Multiple family dwelling developers should place cardinal emphasis on the protection of residential privacy. Privacy requires sensitive structural and landscaping design, and effective sound-proofing. It is also dependent upon the selection of proper building, screening, and landscaping materials.			X
2. The site development and design of multi-family development should be coordinated with that of existing or potential adjoining and adjacent development. The project design should be consistent with the standards of good site planning and spatial relationships.			X
3. The landscape of a multi-family dwelling should be oriented towards the establishment and maintenance of a high order of on and off site environmental and aesthetic quality.			X
4. The design of all multiple units should promote good circulation, adequate exterior lighting and noise protection. The said design should minimize hazards, and optimize energy conservation. Solar orientation should be considered to reduce heating requirements.			X
5. Each building site upon which a multi-family project is developed shall provide landscaping and usable open space. The space developed to landscaping may be improved with textured flooring, fountains, ponds, kiosks, and sculpture, as well as plant material.			X
6. Where practicable, large multi-family developments should provide a variety of building sizes and arrangements.			X
7. Multiple-family dwelling development shall provide their residents private and/or common open space. Private open space may take the form of patios, balconies, courtyards (atria), or gardens. The establishment of game rooms, children's play areas, meeting rooms, and roof gardens should be encouraged where appropriate.			X
8. Usable open space required by the zoning ordinance should be distributed throughout the project site.			X
9. Noise effects on and from all common and private open space should be buffered by fences, walls, and/or barriers, which block the line-of-site of the noise source.			X
10. Indoor-outdoor integration can be promoted in projects by the use of large windows and sliding glass doors in conjunction with patios, balconies, and courtyards. The said windows and doors, however, should be effectively shuttered or draped in order to prevent substantial night-time energy losses.			X
11. Common open space should be provided in large areas if feasible. Large areas of open space can be imaginatively landscaped, well utilized, and			X

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1166

Applicant IB Resort

Project Address: 1060 Seacoast Dr.

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	N/C	N/A
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economically maintained.			
G. COMMERCIAL AND INDUSTRIAL DEVELOPMENT			
1. The land use patterns, circulation, forms and spatial relationships of shopping centers and industrial uses should be harmonious with the areas they serve or are linked with by major circulation routes. The nature, character, and design of the areas should determine the architectural theme, landscape, building arrangement, and signing of the mercantile centers.			X
2. Shopping centers should be unobtrusive, low in profile and building intensity, and probably casual or informal in theme. Massive buildings, garish color schemes, and extensive signing are out of place.			X
3. Vehicular and pedestrian traffic should be separated to create a "village atmosphere". A mall, arcade, or patio form tends to promote effective landscaping, customer convenience, and a pleasant environment for shopping.	X		
4. Where feasible, customer traffic should not be mixed with truck-service traffic. Furthermore, customer parking should be both convenient and ample. Employee parking, which is often long-term parking, should be designated in order to make customer parking, which is usually short-term in nature, more convenient.	X		
5. Neighborhood and subneighborhood (or convenience) shopping facilities have captive markets, and therefore do not require extensive signing or external outdoor advertising. The appurtenant signs employed in these centers should be solely oriented towards "shop identification". Artistic graphics, wood-carved signs, gold lead window signs, and symbolic handing signs are especially appropriate on the neighborhood and subneighborhood scenes.			X
6. While pole signs were popular in the 1950's and 1960's, they are a principle source of visual pollution and are not appropriate. On the other hand, low profile monument signs tend to be consistent with the tenets of good urban design, and can provide adequate shopping center identification.			X
7. It is recommended that a minimum of 15% of the gross area of a commercial industrial center should be devoted to landscaping. The required landscaping may take the form of decorative flooring, masonry walls, fountains, sculpture, or clusters of mall furniture, as well as plant material.	X		
8. The extensive use of trees within and along the periphery of commercial and industrial centers is urged. Trees provide beauty and improve environmental quality. They also soften the impact of commercial activity upon shoppers and local residents.	X		
9. Since commercial and industrial uses are situated in close proximity to residential areas buffers are essential. Where abutting directly upon residential lands, an appropriate landscaped buffer should be established on the commercial/industrial property. Architectural walls or decorative fences should be used to protect local residents from the noise and visual impact of commercial parking lots.			X

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1166

Applicant IB Resort

Project Address: 1060 Seacoast Dr.

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	N/C	N/A
10. The landscape of commercial projects should not be confined to plant material. Textured flooring, masonry, fountains, water features, exterior works of fine art, and exterior furniture should be used to promote a project's visual interest, variety and amenity.	X		
11. Where feasible, trees with unique structural characteristics should be planted. These trees should improve the aesthetic quality of commercial areas and compliment adjacent urban forms.	X		
12. The use of fountains, water sculpture, and other recycling water features provide a cooling effect with respect to the urban environment, and visual relief from the impact of hard surfaces. The use of these features should be encouraged.		X	
13. Planters and tree wells should be designed to protect the plants they accommodate and to promote the aesthetic quality of their surroundings.	X		
14. Mall furniture should be carefully coordinated with the landscaping and works of fine art which share its setting. This coordination requires that each mall, enclosure, plaza, or open space be planned as a single design composition, and not on an element-by-element basis.	X		