



AGENDA

CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD REGULAR MEETING



THURSDAY, MAY 19, 2016 – 4:00 P.M.

**Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

NOTICE TO THE PUBLIC

SPEAKERS ARE REQUESTED TO COMPLETE A "REQUEST TO SPEAK" FORM PRIOR TO THE COMMENCEMENT OF THE MEETING AND SUBMIT IT TO THE SECRETARY. "REQUEST TO SPEAK" FORMS ARE LOCATED IN THE BACK OF THE COMMUNITY ROOM. PERSONS ADDRESSING THE COMMITTEE ARE LIMITED TO THREE (3) MINUTES.

AMERICANS WITH DISABILITIES ACT

The City of Imperial Beach is endeavoring to be in total compliance with the Americans with Disabilities Act (ADA). If you require assistance or auxiliary aids in order to participate at DRB meetings, please contact Larissa Richards at (619) 628-1356, as far in advance of the meeting as possible.

1.0 CALL TO ORDER

Roll Call: Nakawatase, Pamintuan, Bowman, Smith, Voronchihin

2.0 PUBLIC COMMENTS

The Public may address the Board for up to three (3) minutes on any subject within the Design Review Board's jurisdiction. In accordance with State law, the Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to staff or placed on a future agenda.

3.0 CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the Design Review Board, and will be enacted by one motion. There will be no separate discussion of these items, unless a Board Member or member of the public requests that particular item(s) be removed from the Consent Calendar and considered separately.

3.1 APPROVAL OF THE JANUARY 21, 2016 REGULAR MEETING MINUTES.

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 REPORT: HARRISON-CSANADI (APPLICANT); CONSIDERATION OF A DESIGN REVIEW CASE (DRC 160008) FOR THE CONSTRUCTION OF TWO ATTACHED RESIDENTIAL CONDOMINIUM UNITS ON A VACANT LOT WITH AN EXISTING SEAWALL AT 812 OCEAN LANE (APN 625-330-28-00). MF 1197.

Any writings or documents provided to a majority of the Design Review Board regarding any item on this agenda will be made available for public inspection in the office of the City Clerk located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 during normal business hours.

5.0 INFORMATIONAL ITEMS/REPORTS

NONE.

6.0 ADJOURNMENT

/s/

LARISSA RICHARDS
ADMINISTRATIVE ASSISTANT

DRAFT

MINUTES

CITY OF IMPERIAL BEACH DESIGN REVIEW BOARD

**JANUARY 21, 2016
REGULAR MEETING 4:00 P.M.**

**City Council Chambers
825 Imperial Beach Blvd.
Imperial Beach, CA 91932**

1.0 CALL TO ORDER

Chairperson Nakawatase called the Regular Meeting to order at 4:03 p.m.

ROLL CALL

Board Members Present: Nakawatase, Bowman, Voronchihin, Smith
Board Members Absent: Pamintuan
Staff Present: Assistant City Manager Dush, City Planner Foltz, Recording Secretary Richards

2.0 PUBLIC COMMENTS

None.

3.0 CONSENT CALENDAR

3.1 MOTION BY NAKAWATASE, SECOND BY BOWMAN, TO APPROVE THE MINUTES OF THE SEPTEMBER 17, 2015 REGULAR MEETING, THE NOVEMBER 17, 2015 SPECIAL WORKSHOP AND THE DECEMBER 17, 2015 REGULAR MEETING.

MOTION CARRIED BY THE FOLLOWING VOTE:

**AYES: NAKAWATASE, BOWMAN, VORONCHIHIN, SMITH
NOES: NONE
ABSENT: PAMINTUAN
ABSTAIN: NONE**

4.0 BUSINESS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

4.1 BOARD TRAINING DISCUSSION.

Assistant City Manager Dush provided copies of Chapter 2.31 of the City's Municipal Code to each of the Design Review Board (DRB) Members. He briefly stated that Chapter 2.31 encompasses how the DRB was created and their responsibilities. He suggested that each member familiarize themselves with the Chapter and he proposed quarterly trainings for the DRB.

Board Member Bowman expressed concern with using outdated guidelines from 1984.

Assistant City Manager Dush stated that outdated guidelines do have a lot of good design elements that can be implemented into today's designs. He also recommended that updates be discussed during future quarterly training meetings.

City Planner Foltz spoke in support of updating the current guidelines at a future time. He suggested sectioning off our current guidelines according to the type of project being proposed and design elements that can be implemented moving forward.

Chairperson Nakawatase suggested that the Board dissect the design corridors throughout the City and discuss which sections of the guidelines should be implemented within each individual area throughout the City.

Assistant City Manager Dush stated that during the next meeting they can prioritize certain segments of the City and anticipate what areas of the City will be developed upon in the future.

Board Member Smith inquired as to whether the guidelines have proven controversial or inadequate.

City Planner Foltz stated that every project varies and the Design Review Guidelines are there to be referenced in order to see what could be recommended for different types of projects.

Assistant City Manager Dush spoke in support of sectioning off the guidelines as they pertain to specific areas of the City.

5.0 INFORMATIONAL ITEMS/REPORTS

Board Member Voronchihin inquired about the expected retailers at the 9th and Palm site.

Assistant City Manager Dush stated that the Purchase and Sale agreement (PSA) between the City and the Developer requires a grocer and a certain amount of square feet of commercial area.

6.0 ADJOURNMENT

Chairperson Nakawatase adjourned the meeting at 4:37 p.m.

Approved:

**Shirley Nakawatase, DRB
Chairperson**

Attest:

Larissa Richards, Recording Secretary



AGENDA ITEM NO. 4.1

**STAFF REPORT
CITY OF IMPERIAL BEACH**

TO: DESIGN REVIEW BOARD

FROM: TYLER FOLTZ, CITY PLANNER *TF*

MEETING DATE: MAY 19, 2016

ORIGINATING DEPT.: COMMUNITY DEVELOPMENT DEPARTMENT *SD*

SUBJECT: REPORT: HARRISON-CSANADI (APPLICANT);
CONSIDERATION OF A DESIGN REVIEW CASE (DRC 160008)
FOR THE CONSTRUCTION OF TWO ATTACHED
RESIDENTIAL CONDOMINIUM UNITS ON A VACANT LOT
WITH AN EXISTING SEAWALL AT 812 OCEAN LANE (APN
625-330-28-00). MF 1197.

EXECUTIVE SUMMARY:

The property owner of a site located at 812 Ocean Lane has initiated the process to construct two attached residential condominium units on a 4,003 square foot vacant lot with an existing seawall. Staff is recommending that the Design Review Board consider the proposed project and provide recommendations on the design to the City Council for consideration.

FISCAL ANALYSIS:

The Applicant has deposited \$9,000.00 to fund processing of the application.

RECOMMENDATION:

That the Design Review Board consider the project for two attached residential condominium units located at 812 Ocean Lane (APN 625-330-28-00) and recommend approval of the project's design to the City Council.

OPTIONS

In addition to receiving this report and adopting staff's recommendations, the Design Review Board can:

- Recommend approval of the project to the City Council with additional conditions provided by the Design Review Board; or
- Recommend design revisions and request further consideration at a future Design Review Board meeting.



BACKGROUND/ANALYSIS:

The application, originally submitted to the City on February 3, 2016, proposes a Regular Coastal Permit (CP 160007), Design Review Case (DRC 160008), Site Plan Review (SPR 160009), Tentative Parcel Map (TPM 160010), and Categorical Exemption pursuant to CEQA Guidelines 15303 (New Construction or Conversion of Small Structures) for the construction of two attached residential condominium units at 812 Ocean Lane (APN 625-352-23-00), which is located in the SMU/RO (Seacoast Mixed-Use/Residential Overlay) Zone.

The project site includes one vacant parcel measuring 4,003 square feet fronting Ocean Lane between Date Avenue and Elm Avenue. The properties to the north and south of the site are residential, the property to the east is commercial, and the beach is to the west. An existing seawall is located along the western property line. The seawall was built in 2001-2002 as a comprehensive shoreline protection device that would serve the residential buildings to the north and south that were constructed at the same time and for the future development of 812 Ocean Lane.

The proposed building orientation provides pedestrian and vehicular access off of Ocean Lane. Three off-street parking spaces, one two-car garage and one carport, are proposed to meet the minimum parking standards of one-and-a-half parking spaces per unit (Imperial Beach Municipal Code (IBMC) Section 19.48.035). The driveways accessing the parking spaces would be comprised of permeable pavers and flagstone set in decomposed granite, which should enhance aesthetic appeal and drainage capabilities.

Various drought tolerant shrubs, groundcover, and flatwork (flagstone in decomposed granite, pavers, and some concrete) would locate throughout the property. Taller shrubs of approximately 6-10 feet in height would locate on the northeast and southeast property lines to provide a buffer between Ocean Lane and the building.

The project proposes a building height of 26 feet, with a chimney and parapet walls on the western half of the building that would exceed the height limit. The maximum allowable building height in the SMU/RO Zone is 26 feet; however, the Municipal Code allows some features to exceed the height limit, as follows (IBMC 19.40.020):

- Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building;
- Fire or parapet walls required by law;
- Skylights chimneys, smokestacks or utility towers;
- Flagpoles, antennas, radio masts, risers and similar structures.

The proposed chimney would extend approximately 6 feet above the height limit, which would be allowable because chimneys are specifically listed as features that may extend above the height limit. The Municipal Code also states that "parapet walls required by law" may extend above the height limit. A parapet is defined as "a low protective wall or railing along the edge of a raised structure such as a roof or balcony" (IBMC 19.04.588). The proposed building would measure 26 feet in height to the top of the roof; however, because the roof would be walkable (roof deck), parapet walls extending 42 inches above the roof and the height limit are proposed as required by the Building Code for safety/protective purposes. Staff recommends that any parapet walls above the maximum building height required by law consist of glass or

transparent material to minimize any potential view impacts. As such, the applicant is proposing a glass parapet along the western portion of the building and a stainless steel cable guardrail for the remaining portions of the parapet.

The applicant's design provides varied rooflines, colors, building projections, and building materials such as smooth finish panels, siding, stucco, stackstone at the base of the building, and a stainless steel and glass parapet guardrail for a roof deck. The design should be consistent with, and contribute positively to, the Ocean Lane corridor that is comprised of residential uses between Ocean Lane and the beach.

General Plan Consistency:

SMU/RO (Seacoast Mixed-Use Residential Overlay) Zone (the base zone is C/MU-2, Seacoast Commercial & Mixed Use): The area located between Ocean Boulevard on the west, Ocean Lane on the east, and between Imperial Beach Boulevard on the south and Palm Avenue on the north is designated as the Seacoast Mixed-Use Residential Overlay Zone. The purpose of this transition zone is to allow for the gradual commercial expansion in an area which is generally used for residential purposes while preserving opportunities for the continuation of single-family residential uses (IBMC Section 19.27.140). The proposed two-unit residential project meets the purpose and intent of the SMU/RO land use designation because residential buildings and uses are permitted in the SMU-RO Zone.

SMU/RO STANDARDS	PROVIDED/PROPOSED
The SMU/RO Zone allows for single-family residential, or any use listed in Section 19.27.020 as permitted in the C/MU-2 Zone. The C/MU-2 Zone allows for multiple-family residential dwelling units at a maximum density of one dwelling unit for every one thousand five square feet of lot area (Section 19.27.020(A)(5)).	The property measures 4,003 square feet and proposes two units at a density of approximately one unit per 2,000 sq. ft. of lot area, meeting the density requirements.
Yard requirements for residential uses in the SMU/RO Zone are as follows (Section 19.27.140): 1. Residential uses: a. Ocean Lane: 5' b. Side yard: 5' c. Ocean Boulevard (Beach): 10'	a. Ocean Lane: 5' b. Side yard: 5' c. Ocean Boulevard (Beach): 10'
Properties within the Seacoast Residential Overlay Zone are subject to a reduced single-family residential building height of two stories or twenty-six feet, whichever is less (Section 19.27.070(A)(1)). Exceptions to the height limit as follows (Section 19.40.020): A. Roof structures for the housing of elevators, stairways, tanks, ventilating fans, air conditioning equipment or similar equipment required to maintain and operate the building; B. Fire or parapet walls required by law;	The project proposes a building height of 26', with a chimney and parapet walls on the western half of the building that would exceed the height limit. The project is proposing to provide a chimney that would extend above the height limit, which is considered a height exception that may exceed the height limit per Section 19.40.020. The project is also proposing to provide parapet walls (low protective

<p>C. Skylights chimneys, smokestacks or utility towers;</p> <p>D. Flagpoles, antennas, radio masts, risers and similar structures.</p>	<p>wall or railing along the edge of a raised structure such as a roof or balcony) that extend 42" above the roof deck on the western portion of the building. The height exceptions provided in Section 19.40.020 may include the proposed parapet walls.</p>
<p>Residential development shall provide a minimum of 300 sq. ft. of usable open space per dwelling unit (Section 19.50.010).</p>	<p>The two units would require at least 600 sq. ft. of open space. 616 sq. ft. of open space would be provided at grade for the two units, with an additional 1,049 sq. ft. of open space provided on a roof deck.</p>
<p>Sixty percent (60%) of the required usable open space shall be provided at grade (Section 19.50.020).</p>	<p>The two units would require at least 360 sq. ft. of open space at grade. 616 sq. ft. of open space would be provided at grade.</p>
<p>Residential landscape requirements are as follows (Section 19.50.040):</p> <p>A. Not less than fifty percent of the required front yard and street side yard setbacks shall be landscaped and permanently maintained. The remainder of the required yard may be used for driveways and walkways.</p> <p>B. Landscaping shall be provided within the parking area or immediately abutting it.</p> <p>C. There shall be a minimum four-foot landscaped area between the structure and any parking located in front of the structure.</p> <p>D. There shall be a minimum three-foot-wide landscaped area between the parking area and each side lot line when parking is located between the structure and the street.</p>	<p>A. The SMU/RO Zone does not designate a front yard. However, the applicant has maximized the yard off of Ocean Lane to provide landscaping in any area not used for driveways or walkways.</p> <p>B. Landscaping immediately abuts the driveways, and the driveways would be comprised of permeable paver and flagstone for aesthetic appeal.</p> <p>C. Parking is located within garages and not in front of the structures.</p> <p>D. Approximately 6-7' of landscaping would locate between the driveways and the side lot lines.</p>
<p>Commercial landscaping: not less than 15% of total site shall be landscaped and maintained (Section 19.50.030(A)).</p>	<p>No commercial use is required or proposed. However, the project does propose 1,113 sq. ft. of pervious/landscaped areas (27.8% of the site).</p>
<p>Required parking spaces for multiple-family residential in the C/MU-2 Zone (there are no specific parking requirements provided for the SMU/RO Zone, so the base C/MU-2 Zone requirements would apply): 1.5 spaces per dwelling unit.</p>	<p>The project proposes three parking spaces for the two units, which would comply with the 1.5 parking space per unit requirement.</p>

Surrounding Land Use and Zoning:

Surrounding Areas	Surrounding Zoning	Surrounding Land Use
North	SMU/RO (Seacoast Mixed-Use/Residential Overlay)	Residential
South	SMU/RO (Seacoast Mixed-Use/Residential Overlay)	Residential
East	C/MU-2 (Seacoast Comm. & Mixed-Use)	Commercial
West	PF (Public Facility)	Beach

ENVIRONMENTAL DETERMINATION:

The project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures).

COASTAL JURISDICTION:

The project is located in the Appeal Jurisdiction of the California Coastal Commission as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map and, as such, is appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code and IBMC Section 19.87.160.

Attachments:

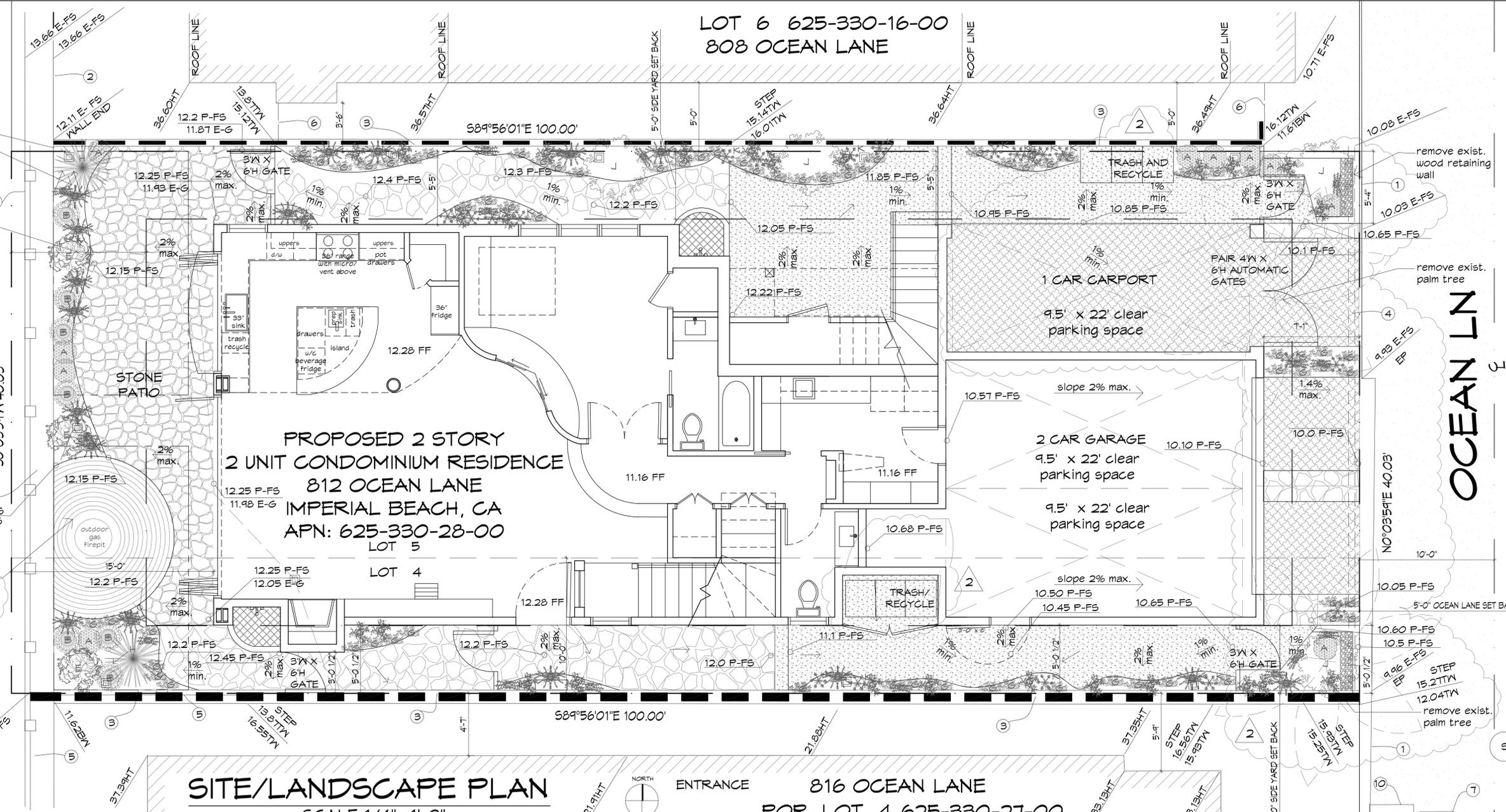
1. Plans
2. Design Review Checklist

c: file MF 1197

LOT 6 625-330-16-00
808 OCEAN LANE

OCEAN BLVD
(BEACH)

HARRISON/CSANADI DUPLEX RESIDENCE



SITE/LANDSCAPE PLAN
SCALE 1/4" = 1'-0"



ENTRANCE 816 OCEAN LANE
POR. LOT 4 625-330-27-00

LEGEND

- ① EDGE OF EXIST. CONCRETE
- ② EXIST. CONCRETE SEA WALL
- ③ EXIST. CONCRETE BLOCK WALL
- ④ REMOVE WOODEN RETAINING WALL
- ⑤ EXIST. GLASS WALL
- ⑥ EXIST. WOODEN GATE
- ⑦ EXIST. SDG#4 VAULT
- ⑧ EXIST. WATER VALVE
- ⑨ EXIST. SEWER MANHOLE
- ⑩ EXIST. PACIFIC BELL VAULT
- ⑪ EXIST. WATER METER

- EP EDGE OF PAVEMENT
- E-FS EXISTING FINISHED SURFACE
- P-FS PROPOSED FINISHED SURFACE
- E-G EXISTING GRADE
- P-G PROPOSED GRADE
- HT BUILDING HEIGHT
- TW TOP OF WALL
- PROPOSED YARD DRAIN
- FF PROPOSED FINISHED FLOOR ELEVATION
- PROPERTY LINE
- BUILDING WALL
- CONCRETE SURFACE
- WALL AS NOTED

- GLASS FENCE
- EXIST. PALM TREE
- FAN PALM
- PROPOSED EXTERIOR HARDSCAPE FINISHES:
- QUARTZITE FLAGSTONE SET IN DG (PERMEABLE 50% OPEN)
- QUARTZITE FLAGSTONE PATIO
- CONCRETE FLATWORK
- MEDIUM GRAY CIRCULAR PAVERS
- PERMEABLE PAVERS

PROPOSED PLANT LIST:

- MONARDELLA ANTONINA (BUTTERFLY MINT BUSH)
- ERIOGONUM CINEREUM (COASTAL BUCKWHEAT)
- AQUILEGIA FORMOSA (WESTERN COLUMBINE)
- PENSTEMON CENTRANTHIFOLIUS (SCARLET BUGLER)
- HYPTIS EMORYI (DESERT LAVENDER)
- CALLIANDRA ERIOPHYLLA (FAIRY DUSTER)
- FRAGARIA CALIFORNICA (CALIFORNIA STRAWBERRY)
- NOLINA BEGELOVIL (BEARGRASS)
- CAMISSONIA CHEIRANTHIFOLIA SSP (BEACH EVNING PRIMROSE)
- ARCTOSTAPHYLOS DENSIFLORA (HOWARD MCMINN)
- BLOOMERIA GROCEA (GOLDENSTAR)

GENERAL NOTES:

1. THIS PROJECT MEETS ALL STATE AND LOCAL MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCES
2. HOT WATER TANK P.T. DISCHARGE PIPE NEEDS TO BE PIPED TO DISCHARGE TO THE SANITARY SEWER SYSTEM OR THE LANDSCAPE AREA.
3. SEPARATE SEWER LATERALS ARE REQUIRED FOR EACH CONDOMINIUM.
4. IF THERE ARE EXISTING SEWER LATERALS ABANDON THE EXISTING LATERAL(S) PER THE GREENBOOK STANDARDS OR OTHER APPROVED BUILDING STANDARDS.
5. FOR ALLEY, SIDEWALK OR CURB AND GUTTER REPLACEMENT ENSURE COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING 5-11.
6. IF ALLEY PAVEMENT CUT IS REQUIRED, ALL CONCRETE CUTS MUST BE REPLACED WITH #4 REBAR DOMELS POSITIONED EVERY 1 FOOT ON CENTER, SECURED WITH EPOXY ADHESIVE. CONCRETE SPECIFICATION MUST BE 5600-C-3250 POLYRED AT MIN. THICKNESS OF 6". CONCRETE CUTS MUST ALSO COMPLY WITH NOTE 5 ABOVE.
7. ALL WORK PERFORMED IN THE STREET OR ALLEY MUST HAVE A TRAFFIC CONTROL PLAN SUBMITTED FOR APPROVAL BY PUBLIC WORKS DIRECTOR A MIN. OF 5 WORKING DAYS IN ADVANCE OF STREET WORK. TRAFFIC CONTROL PLAN IS TO BE PER REGIONAL STANDARD DRAWING 5-11 OR CALTRANS TRAFFIC CONTROL MANUAL.

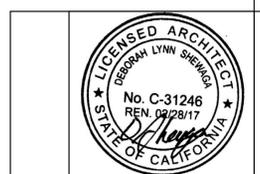
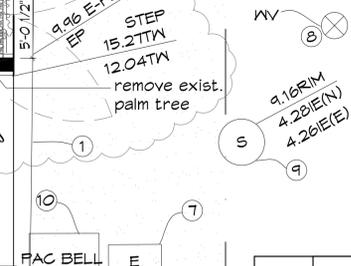
8. IF WORK IS REQUIRED WITHIN THE PUBLIC R.O.A. GC IS REQUIRED TO OBTAIN A TEMPORARY ENCROACHMENT PERMIT PRIOR TO OR CONCURRENT WITH THE BUILDING PERMIT.
9. ALL STREET WORK CONSTRUCTION REQUIRES A CLASS B CONTRACTOR TO PERFORM THE WORK. ALL PAVEMENT TRANSITIONS SHALL BE FREE OF TRIPPING HAZARDS.
10. ANY DISPOSAL/TRANSPORTATION OF SOLID WASTE/ CONSTRUCTION WASTE IN ROLL OUT CONTAINERS MUST BE CONTRACTED THROUGH THE CITY'S WASTE MANAGEMENT PROVIDER UNLESS THE HAULING CAPABILITY EXISTS INTEGRAL TO THE PRIME CONTRACTOR PERFORMING THE WORK.
11. PARCEL IMPERVIOUS SURFACES SHALL NOT INCREASE BEYOND THE IMPERVIOUS SERVICES SHOWN ON THE APPROVED PLANS.
12. LANDSCAPED AREAS, INCLUDING GRASS AND MULCH AREAS, MUST BE IMPROVED TO CONSIST OF AT LEAST 12" OF LOAMY SOIL IN ORDER TO MAXIMIZE WATER ABSORPTION DURING WET WEATHER CONDITIONS AND MINIMIZE IRRIGATION RUNOFF.
13. IN ACCORDANCE WITH BMG 1230.120 GC MUST PLACE AND MAINTAIN WARNING LIGHTS AND BARRIERS AT EACH END OF THE WORK, AND AT NO MORE THAN 50 FEET APART ALONG THE SITE. THEREOF FROM SUNSET OF EACH DAY UNTIL SUNRISE OF THE FOLLOWING DAY, UNTIL THE WORK IS ENTIRELY COMPLETED. BARRIERS SHALL BE PLACED AND MAINTAINED NOT LESS THAN THREE FEET IN HEIGHT.
14. OWNER/APPLICANT TO PROVIDE VERIFICATION OF POST CONSTRUCTION BEST MANAGEMENT PRACTICE (BMP) MAINTENANCE PROVISIONS THROUGH A LEGAL AGREEMENT, COVENANT, LEGAL MITIGATION REQUIREMENT, AND/OR CONDITIONAL USE PERMIT.

BMP NOTES:

- PROPERTY OWNER/ G.C. SHALL INSTITUTE "BEST MANAGEMENT PRACTICES" TO PREVENT CONTAMINATION OF STORM DRAINS, GROUND WATER AND RECEIVING WATERS DURING BOTH CONSTRUCTION AND POST CONSTRUCTION.
- BMP PRACTICE SHALL INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. CONTAIN ALL CONSTRUCTION WATER USED IN CONJUNCTION WITH THE CONSTRUCTION. CONTAINED CONSTRUCTION WATER IS TO BE PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE AND CITY STATUTES, REGULATIONS AND ORDINANCES.
 2. ALL RECYCLABLE CONSTRUCTION WASTE MUST BE PROPERLY RECYCLED AND NOT DISPOSED IN THE LANDFILL.
 3. WATER USED ON THE SITE MUST BE PREVENTED FROM ENTERING THE STORM DRAIN CONVEYANCE SYSTEM (I.E. STREETS, GUTTERS, ALLEY, STORM DRAIN DITCHES, STORM DRAIN PIPES.)
 4. ALL WASTEWATER RESULTING FROM THE CLEANING OF CONSTRUCTION TOOLS AND EQUIPMENT MUST BE CONTAINED ON SITE AND PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE AND CITY STATUTES, REGULATIONS, AND ORDINANCES.
 5. EROSION CONTROL: ALL SEDIMENT ON THE CONSTRUCTION SITE MUST BE CONTAINED ON THE CONSTRUCTION SITE AND NOT PERMITTED TO ENTER THE STORM DRAIN CONVEYANCE SYSTEM. OWNER/G.C. IS TO COVER DISTURBED AND EXPOSED SOIL AREAS OF THE PROJECT WITH PLASTIC-LIKE MATERIAL (OR EQUAL) TO PREVENT SEDIMENT REMOVAL INTO THE STORM DRAIN SYSTEM.

UTILITY NOTES:

- PROPERTY OWNER SHALL UNDERGROUND ALL UTILITIES IN ACCORDANCE WITH BMG 15.09.030 C. - AS NOTED BELOW:
1. FOR ANY DEVELOPMENT WHICH REQUIRES A BUILDING PERMIT BUT IS OF VALUATION OF FIFTY THOUSAND DOLLARS OR LESS, THE APPLICANT SHALL NOT BE REQUIRED EITHER TO UNDERGROUND THE UTILITIES OR TO SIGN A DEFERRAL AGREEMENT PERTAINING THERE TO.
 2. FOR ANY DEVELOPMENT OF SINGLE FAMILY RESIDENCE(S) OR DUPLEX(ES) WHICH EXCEEDS A VALUATION OF FIFTY THOUSAND DOLLARS, THE APPLICANT SHALL BE REQUIRED TO SIGN A DEFERRAL AGREEMENT WITH, AND PAY A RECORDING FEE TO, THE CITY.
 3. ANY DEVELOPMENT OF PROPERTY OTHER THAN AS DESCRIBED IN POINTS 1-2 ABOVE, IN EXCESS OF FIFTY THOUSAND DOLLARS VALUATION SHALL BE REQUIRED TO UNDERGROUND ALL UTILITIES. THIS PROJECT IS WITHIN THE SEACREST DRIVE UTILITY UNDERGROUND DISTRICT. THIS THE EXISTING COMMUNICATIONS AERIAL SERVICES MUST BE RELOCATED UNDERGROUND.



No.	Revision/Issue	Date
3		
2	CDP Corrections	4/07/16
1	Issued For CDP Submission	2/01/16

IDEAL ARCHITECTURE + INTERIORS
3019 Quabrada Circle
Carlsbad, CA 92009
ph. 760-560-8773
email: design@sandiegogarchitects.com
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www.sandiegogarchitects.com

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Project Name and Address
NEW 2-UNIT RESIDENCE 812 OCEAN LANE
IMPERIAL BEACH, CA 91932

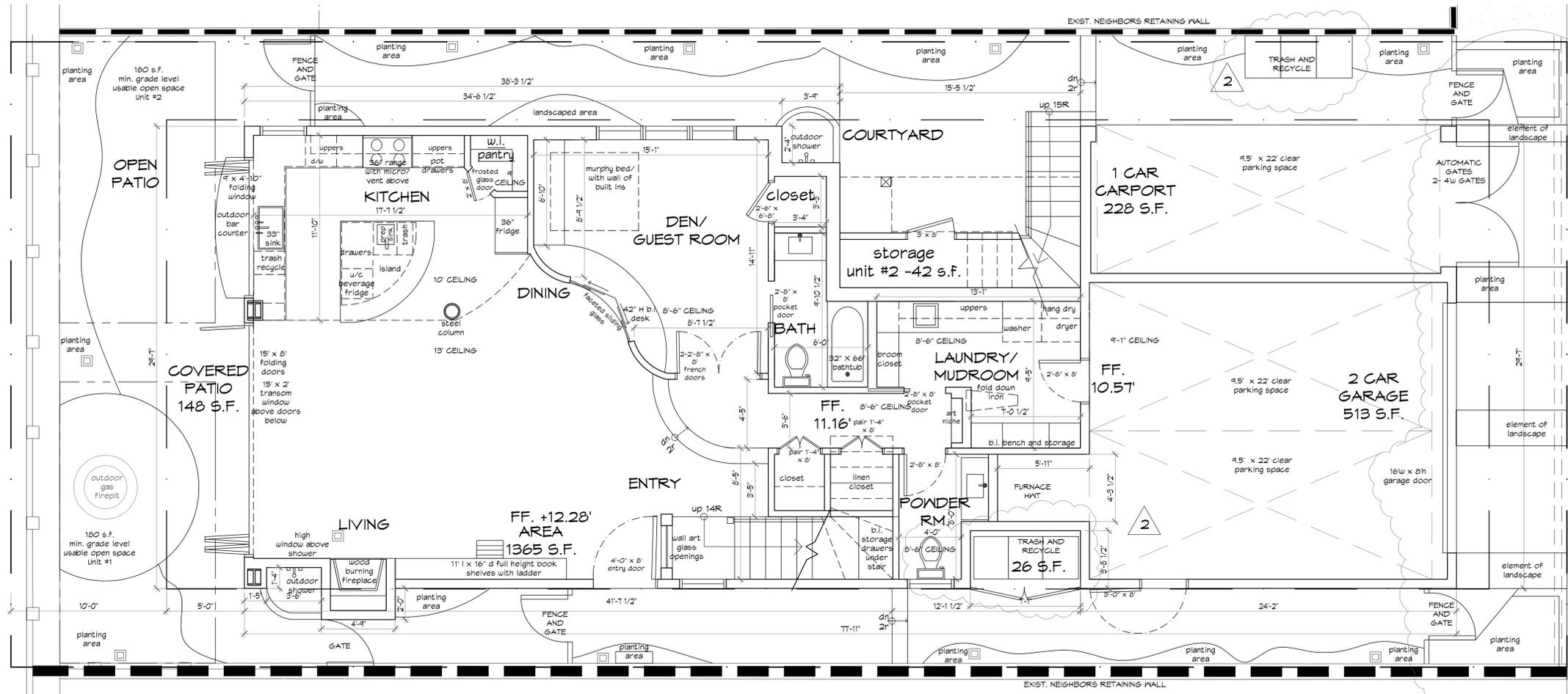
Drawing Name
SITE/LANDSCAPE PLAN

Date 04-01-16 Sheet
Scale as noted AO.1

OCEAN BLVD
(BEACH)

HARRISON/CSANADI DUPLEX RESIDENCE

OCEAN LN



1ST. LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



No.	Revision/Issue	Date
3		
2	CDP Corrections	4/07/16
1	Issued for CDP submission	2/01/16

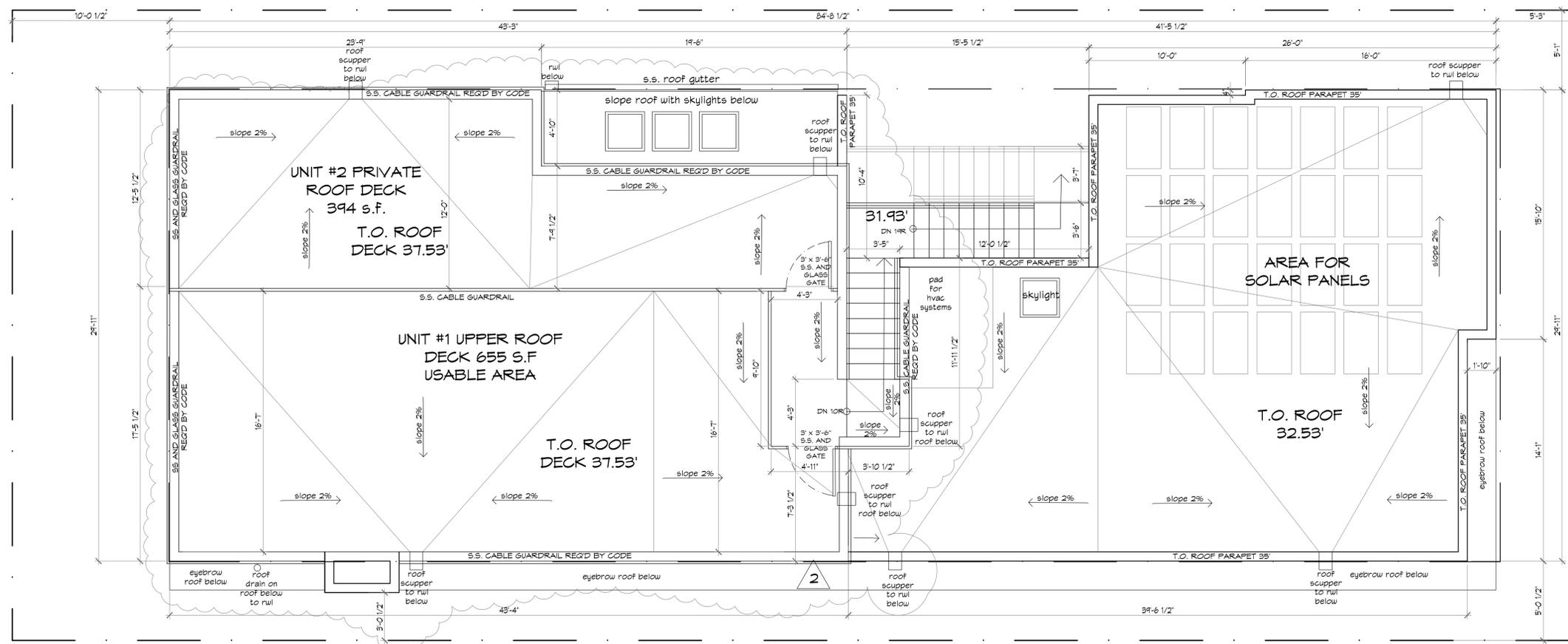
IDEAL ARCHITECTURE + INTERIORS
3019 Quebrada Circle
Carlsbad, CA 92009
PH: 760-560-6773
EMAIL: design@idealarchitects.com
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Project Name and Address
NEW 2- UNIT RESIDENCE 812 OCEAN LANE
IMPERIAL BEACH, CA 91932

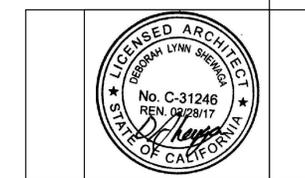
Drawing Name
1ST. LEVEL FLOOR PLAN

Date 04-07-16 Sheet
Scale as noted **A1.0**



ROOF / ROOF DECK PLAN

SCALE 1/4" = 1'-0"



3		
2	CDP Corrections	4/07/16
1	Issued for CDP submission	2/01/16
No.	Revision/Issue	Date

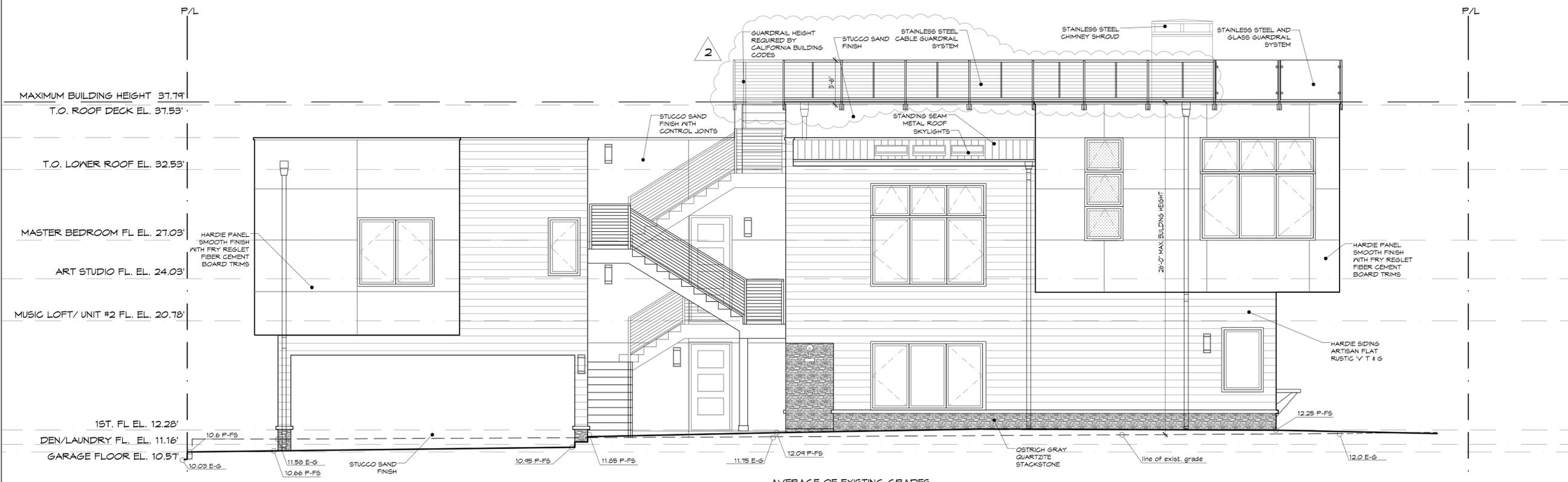
IDEAL ARCHITECTURE + INTERIORS
 8979 Quevedo Circle
 Carlsbad, CA 92008
 ph: 760-560-6773
 email: design@sandiegopartners.com
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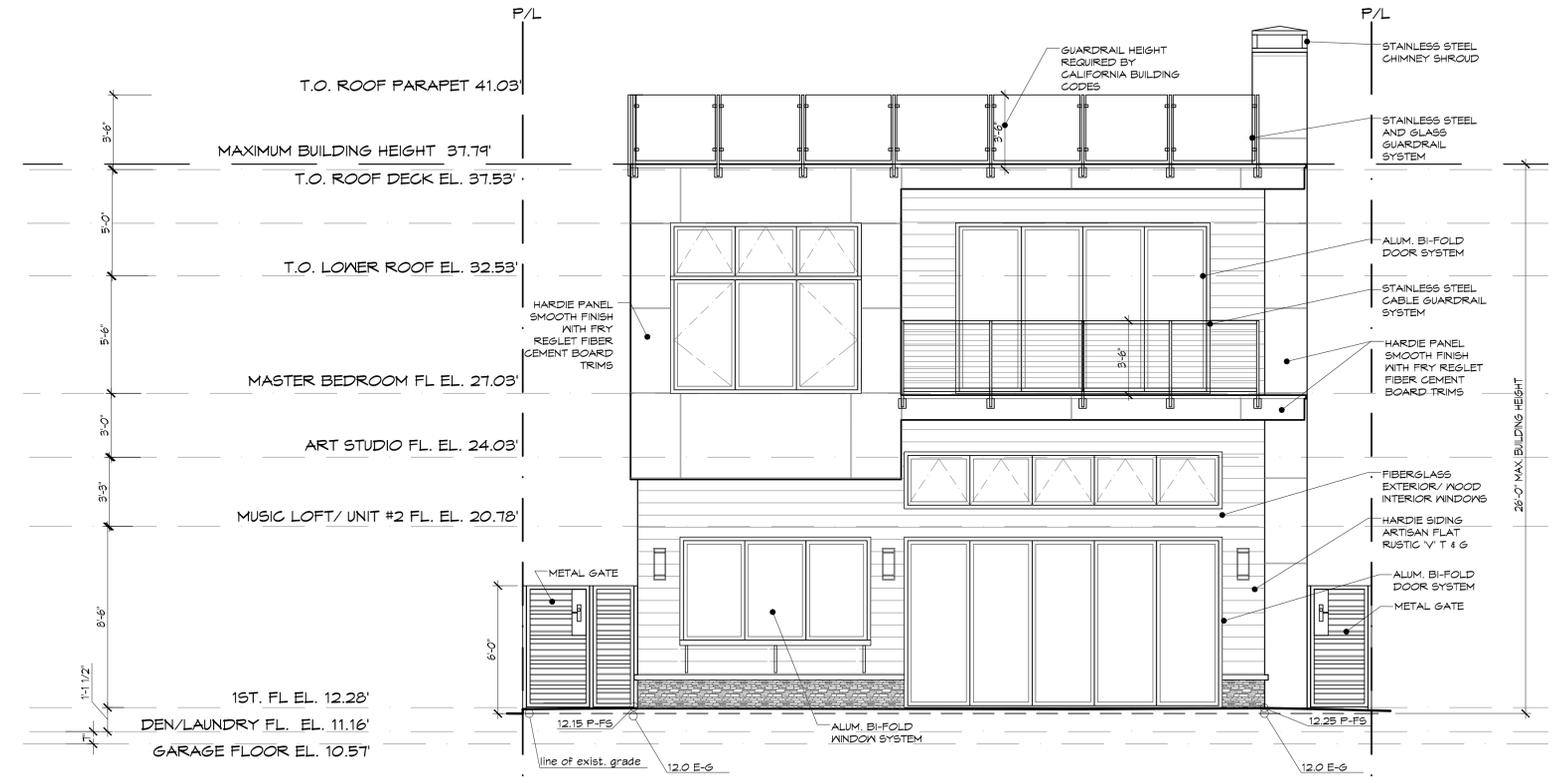
Project Name and Address
 NEW 2- UNIT RESIDENCE 812 OCEAN LANE
 IMPERIAL BEACH, CA 91932

Drawing Name
 ROOF / ROOF DECK PLAN

Date 04-07-16 Sheet
 Scale as noted **A1.2**

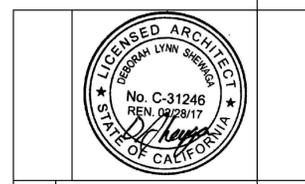


NORTH SIDE ELEVATION SCALE 1/4" = 1'-0"
 AVERAGE OF EXISTING GRADES (11.58' + 12.0')/2 = 11.79'
 MAXIMUM BUILDING HEIGHT 11.79' + 26' = 37.79'



WEST/BEACH ELEVATION SCALE 1/4" = 1'-0"

GENERAL NOTE:
 THE BUILDING HEIGHT IS MEASURED PER IBMC 19.04.400 THE HEIGHT SHALL BE MEASURED FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THAT PORTION OF THE BUILDING SITE (AT EXISTING GRADE) COVERED BY THE BUILDING OR STRUCTURE TO THE HIGHEST POINT OF THE BUILDING OR STRUCTURE.



No.	Revision/Issue	Date
3		
2	CDP Corrections	4/07/16
1	Issued for CDP submission	2/01/16

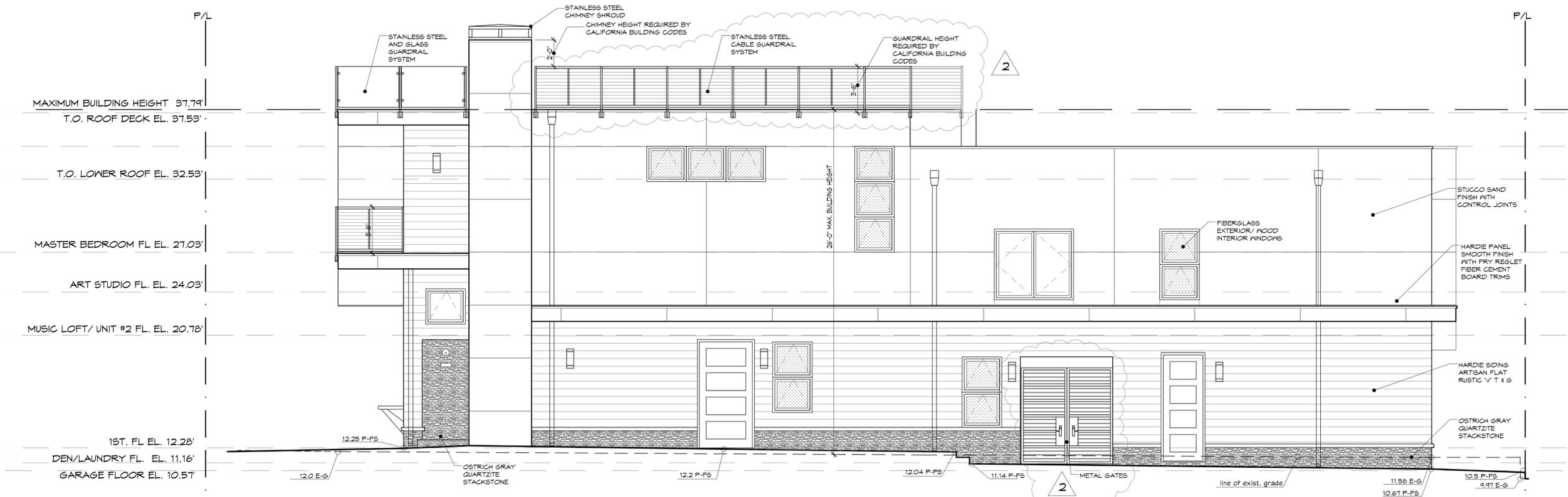
IDEAL ARCHITECTURE + INTERIORS
 3019 Quezada Circle
 Carlsbad, CA 92009
 Tel: 760-560-6773
 email: design@idealarchitects.com
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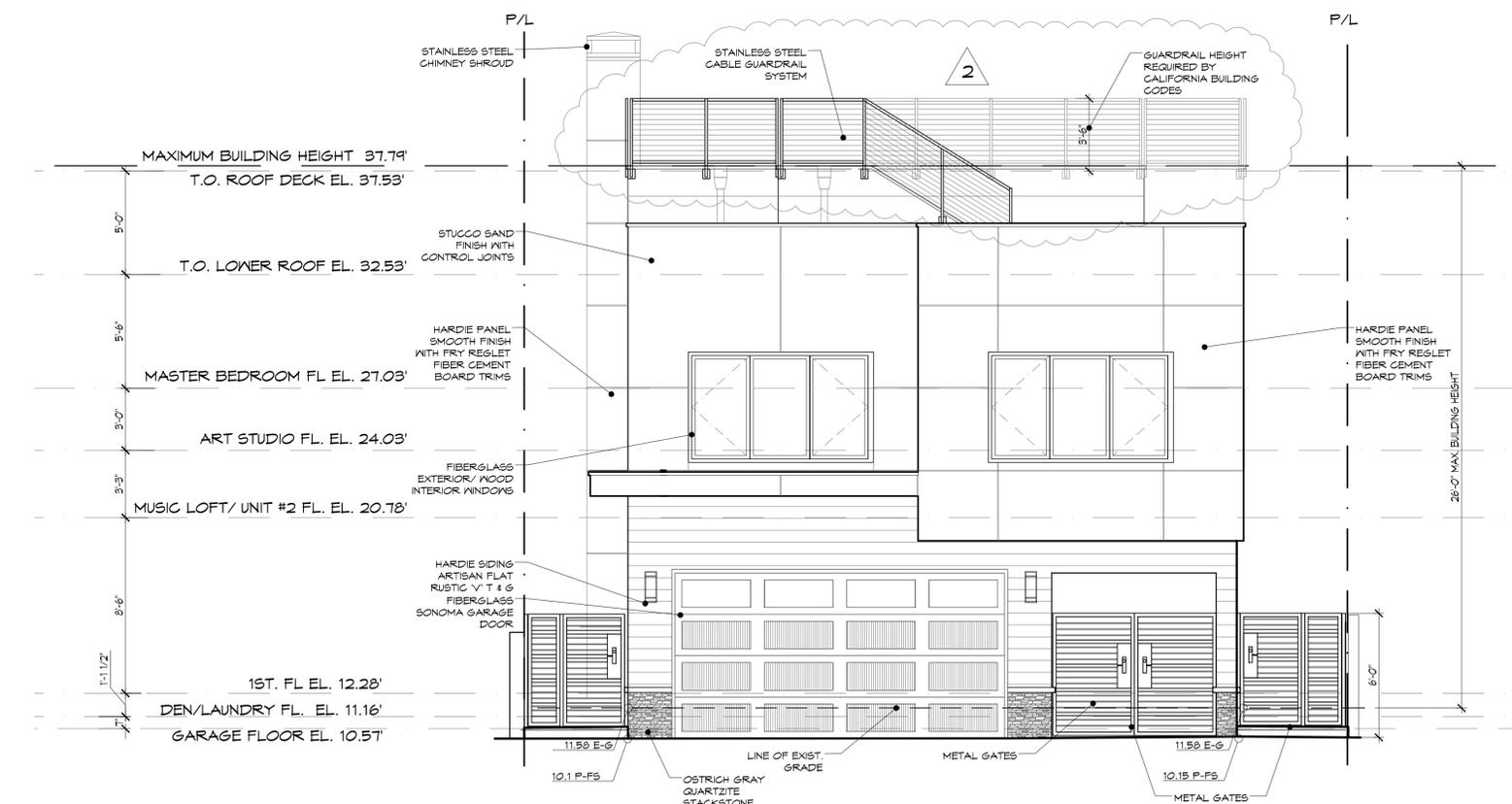
Project Name and Address
 NEW 2-UNIT RESIDENCE 812 OCEAN LANE
 IMPERIAL BEACH, CA 91952

Drawing Name
 BUILDING ELEVATIONS

Date 04-07-16 Sheet
 Scale as noted **A2.0**

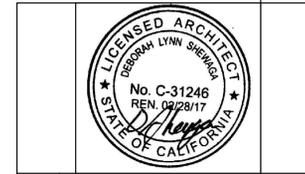


SOUTH SIDE ELEVATION SCALE 1/4" = 1'-0"



EAST/OCEAN LANE ELEVATION SCALE 1/4" = 1'-0"

GENERAL NOTE:
 THE BUILDING HEIGHT IS MEASURED PER IBMC 19.04.400 THE HEIGHT SHALL BE MEASURED FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THAT PORTION OF THE BUILDING SITE (AT EXISTING GRADE) COVERED BY THE BUILDING OR STRUCTURE TO THE HIGHEST POINT OF THE BUILDING OR STRUCTURE.



No.	Revision/Issue	Date
3	CDP Corrections	4/01/16
2	Issued for CDP submission	2/01/16

IDEAL ARCHITECTURE + INTERIORS
 3019 Quezada Circle
 Carlsbad, CA 92009
 Tel: 760-560-6773
 email: design@idealarc.com
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Project Name and Address
 NEW 2-UNIT RESIDENCE 812 OCEAN LANE
 IMPERIAL BEACH, CA 91932

Drawing Name BUILDING ELEVATIONS	
Date 04-07-16	Sheet A2.1
Scale as noted	

CITY OF IMPERIAL BEACH TENTATIVE PARCEL MAP NO. 160010

FOR CONDOMINIUM PURPOSES CONSISTING OF 2 UNITS

LEGAL DESCRIPTION

LOT 5 AND THE NORTHERLY 10.00 FEET OF LOT 4 IN BLOCK 6 OF SOUTH SAN DIEGO BEACH, MAP NO 1071, CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

GENERAL INFORMATION

COMPLETE TAX ASSESSOR'S NUMBER IS: 625-330-28
 GENERAL PLAN REGIONAL CATEGORY: HIGH DENSITY RESIDENTIAL
 TAX RATE AREA: 14018
 LAND USE DESIGNATION(S): R-1500
 WATER SOURCE/WATER DISTRICT: CAL-AM WATER
 SEWER DISTRICT: CITY OF IMPERIAL BEACH SEWER DEPARTMENT
 FIRE DISTRICT: IMPERIAL BEACH FIRE
 SCHOOL DISTRICT: SWEETWATER UNIFIED
 GAS DISTRICT: SDG&E
 ELECTRIC DISTRICT: SDG&E
 PHONE DISTRICT: AT&T
 CABLE DISTRICT: COX
 GROSS ACREAGE: 0.092 ACRES / 4003.00 SQ. FT.
 PROPOSED LAND USE: RESIDENTIAL
 BUILDING AREA: 2,453 S.F.
 TOTAL BUILDING COVERAGE: 61%
 LANDSCAPE COVERAGE: 7.3%
 COMMON AREA: 1,550 S.F.
 ZONING: CMU/2: SMU/RO - SEACOAST MIXED-USE/
 RESIDENTIAL OVERLAY ZONE

REQUIRED PARKING: 1.5 SPACES PER UNIT (2X 1.5=3)
 PROPOSED PARKING: 2 CAR DETACHED GARAGE
 1 EXTERIOR PARKING SPACE
 3 PARKING SPACES
 TOTAL: 3

TOPOGRAPHY:
 FIELD SURVEY BY SPEAR & ASSOCIATES, INC. IN SEPTEMBER 2015.
 GRADING: NONE PROPOSED

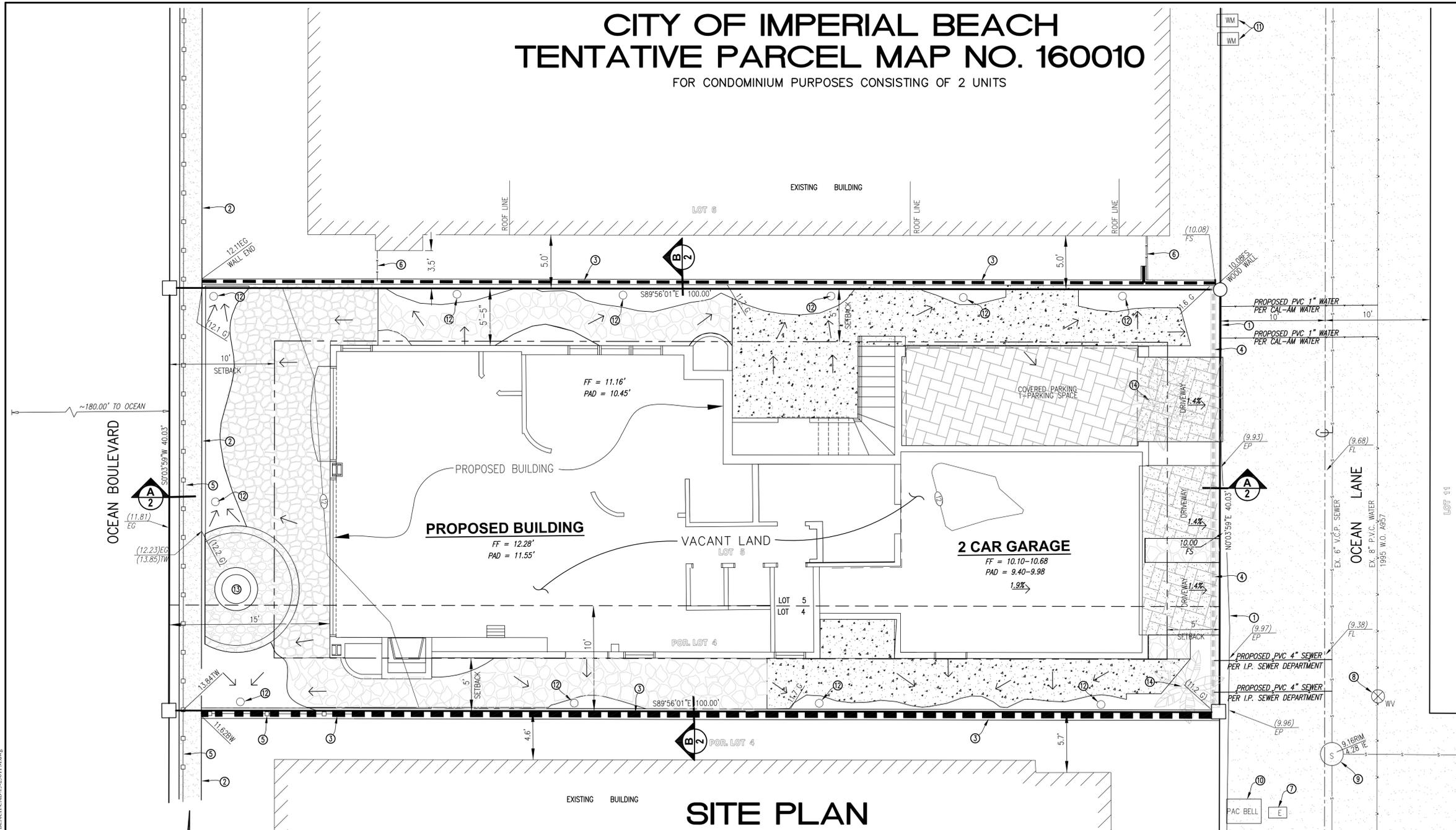
OWNER'S CERTIFICATE

I HEREBY IRREVOCABLY STATE THAT I AM THE RECORD OF THE LAND SUBDIVIDED BY THIS TENTATIVE PARCEL MAP AND I CONSENT TO THE PREPARATION AND RECORDATION OF THIS TENTATIVE PARCEL MAP EQUALIZED COUNTY ASSESSMENT, OF THE PROPERTY SHOWN ON THE TENTATIVE PARCEL MAP. I UNDERSTAND THAT PROPERTY IS CONSIDERED AS CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROAD RIGHT-OF-WAY.

SIGNATURE: MARVEL HARRISON AND THOMAS A. CSANADI
 ADDRESS: 199 SAN ILDEFONSO ROAD
 LOS ALAMOS, NM 87544
 TELEPHONE: PHONE: (760) 736-2040

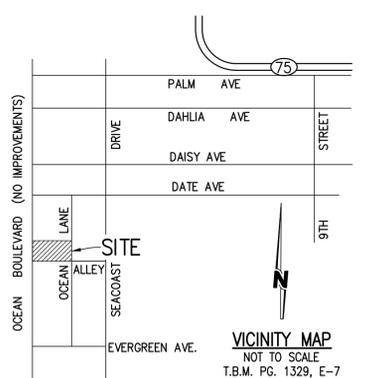
ARCHITECT

IDEAL DESIGN SYSTEMS INC.
 3019 QUEBRADA CIRCLE
 CARLSBAD, CA 92009
 PHONE: (760) 560-6773



SITE PLAN

- LEGEND**
- | | | |
|--|---|------------------------|
| □ INDICATES LEAD & DISC STAMPED "SPEAR LS 6404" IN CONCRETE SURFACE. | ① EDGE OF CONCRETE | ⑧ WATER VALVE |
| ○ INDICATES 5/8"x18" REBAR WITH ALUMINUM CAP STAMPED "LS 6404". | ② CONCRETE SEA WALL | ⑨ SEWER MANHOLE |
| EP EDGE OF PAVEMENT | ③ CONCRETE BLOCK WALL | ⑩ PACIFIC BELL VAULT |
| FS FINISHED SURFACE | ④ WOODEN RETAINING WALL (TO BE REMOVED) | ⑪ WATER METER |
| TG TOP OF GRATE | ⑤ GLASS WALL | ⑫ NEW GRATED INLET |
| BW BOTTOM OF WALL | ⑥ WOODEN GATE | ⑬ NEW GAS FIRE PIT |
| () EXISTING GRADE | ⑦ SDG&E VAULT | ⑭ TREE (TO BE REMOVED) |



SHEET INDEX

- SHEET 1: SITE PLAN AND STREET CROSS SECTION
- SHEET 2: SECTIONS
- SHEET 3: CONCEPTUAL GRADING AND STORMWATER MANAGEMENT PLAN

PLOT DATE: 4/12/2016 2:30 PM 8:\Spear_Proj\201515-236_MARVEL HARRISON - 812 OCEAN LANE, IMPERIAL BEACH\CAD\15-236TPM.dwg

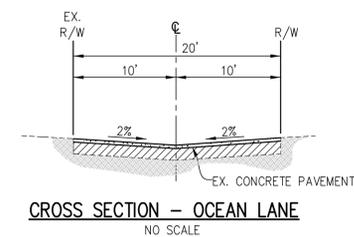
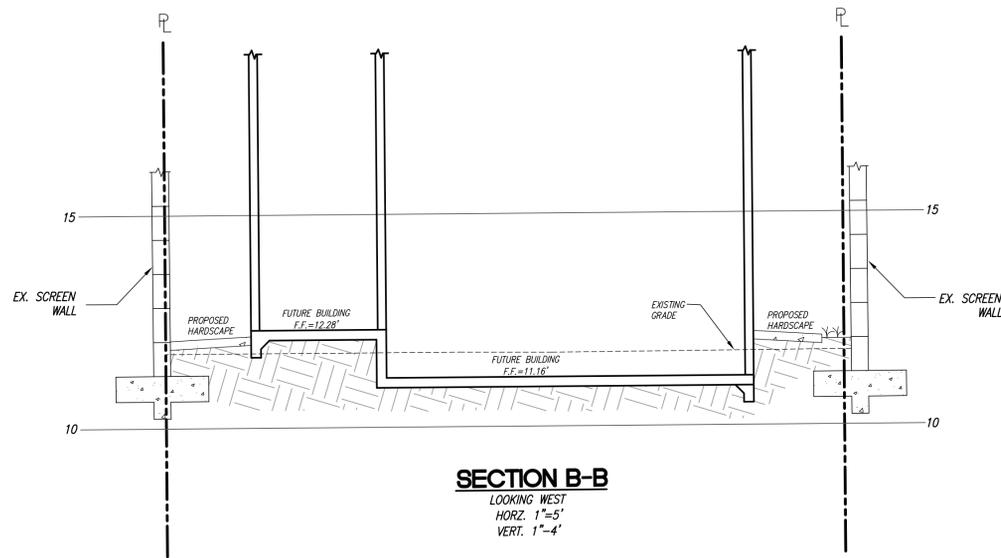
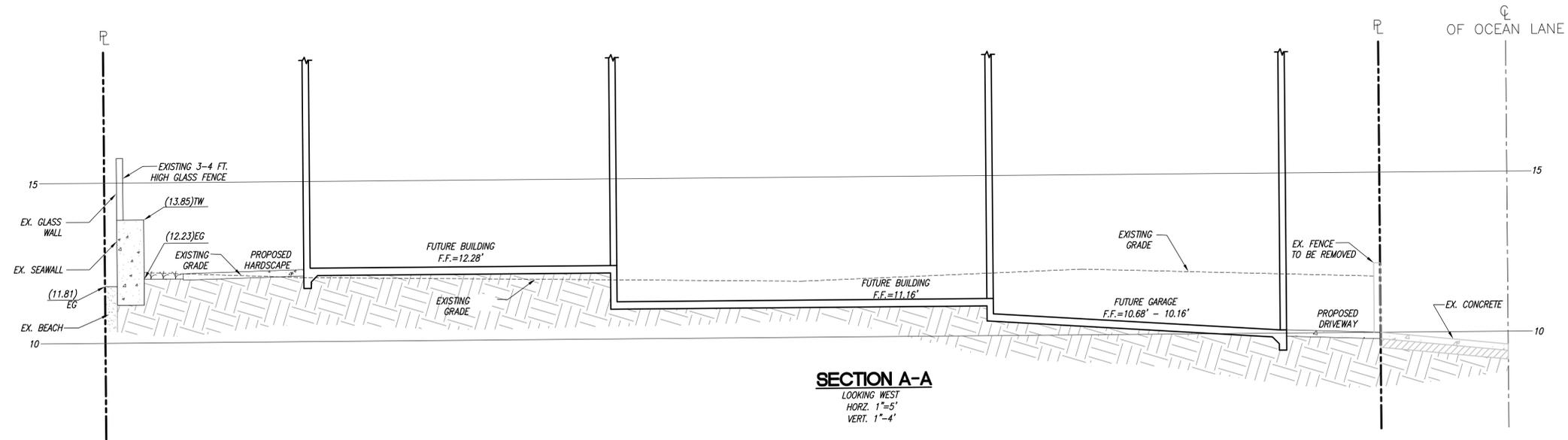
MAP PREPARED BY:
SPEAR & ASSOCIATES, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 475 PRODUCTION STREET, SAN MARCOS, CA 92078
 PHONE (760) 736-2040 FAX (760) 736-4866
 WWW.SPEARINC.NET

PREPARED BY:
 SPEAR & ASSOCIATES, INC.
 475 PRODUCTION STREET
 SAN MARCOS, CA 92078
 PHONE: (760) 736-2040



CITY OF IMPERIAL BEACH TENTATIVE PARCEL MAP NO. 160010

FOR CONDOMINIUM PURPOSES CONSISTING OF 2 UNITS



PREPARED BY:
SPEAR & ASSOCIATES, INC.
475 PRODUCTION STREET
SAN MARCOS, CA 92078
PHONE: (760) 736-2040



RAMON J. SPEAR L.S. 6404 DATE _____

CONSTRUCTION NOTES

- 1 CONSTRUCT 4" P.C.C. PAVEMENT OVER 6" A.B. (PER SOILS ENGINEERS RECOMMENDATIONS).
- 2 PERVIOUS PAVERS
- 3 IMPERVIOUS QUARTZITE FLAGSTONE PATIO
- 4 CONSTRUCT 6" MASONRY BLOCK WITH WEEP HOLES FOR DRAINAGE.
- 5 INSTALL 4" PVC PERFORATED UNDERDRAIN @ 0.50% MIN. (TYP).
- 6 INSTALL 4" PVC TEE WITH 4" PVC VERTICAL RISER TO FINISHED SURFACE.
- 7 INSTALL 4" DIA. CATCH BASIN WITH ATRIUM GRATE.
- 8 PERMEABLE QUARTZITE FLAGSTONE SET IN DG
- 9 REMOVE AND REPLACE P.C.C. PAVEMENT AND MATCH EXISTING PER SDRSD C-11. SEE NOTE HEREON.

***GRADING QUANTITIES**

GRADED AREA	0.092 [ACRES]	MAX. CUT DEPTH	1.3' [FT]
CUT QUANTITIES	125 [CYD]	MAX CUT SLOPE RATIO	(2:1)MAX
FILL QUANTITIES	0 [CYD]	MAX. FILL DEPTH	1.3' [FT]
EXPORT	125 [CYD]	MAX FILL SLOPE RATIO	(2:1)MAX
REMEDIAL	1000 [CYD]	RETAINING WALL HEIGHT	(4.0'±)MAX
NUMBER OF RETAINING WALLS	0 [EA]		

THIS PROJECT PROPOSES TO EXPORT 125 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

*THE QUANTITIES OF CUT AND FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY; THEY ARE NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO FACTORS SUCH AS SHRINKAGE OR SWELL, RETAINING WALL BACKCUT REQUIREMENTS AND THE RECOMMENDATIONS OF THE SITE SOILS REPORT.

**CITY OF IMPERIAL BEACH
TPM - CONCEPTUAL GRADING AND
STORMWATER MANAGEMENT PLAN**

ONSITE STORM DRAIN NOTE:

ALL IMPERVIOUS AREAS ONSITE TO DRAIN TO LANDSCAPING PRIOR TO DRAINING INTO ONSITE STORM DRAIN SYSTEM.

NOTE:

THE GEOTECHNICAL REPORT FOR THE PROJECT INDICATES THAT SIGNIFICANT REMEDIAL GRADING WILL BE NECESSARY TO REMOVE AND RECOMPACT UNSUITABLE SITE SOILS. SHORING MAY BE REQUIRED.

PERMANENT BMPs:

- SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS
- SD-32 PROPER DESIGN OF TRASH STORAGE AREAS
- SD-34 PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS

LOW IMPACT DEVELOPMENT BMPs:

- LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACES
- LID 2.2.9 DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
- LID 3.2 PERMEABLE PAVEMENT DESIGN
- LID 3.5 DRIVEWAY, SIDEWALK, AND BIKE PATH DESIGN
- LID 3.6 BUILDING DESIGN
- LID 3.7 LANDSCAPING DESIGN

SPECIFICATIONS/STANDARD DRAWINGS

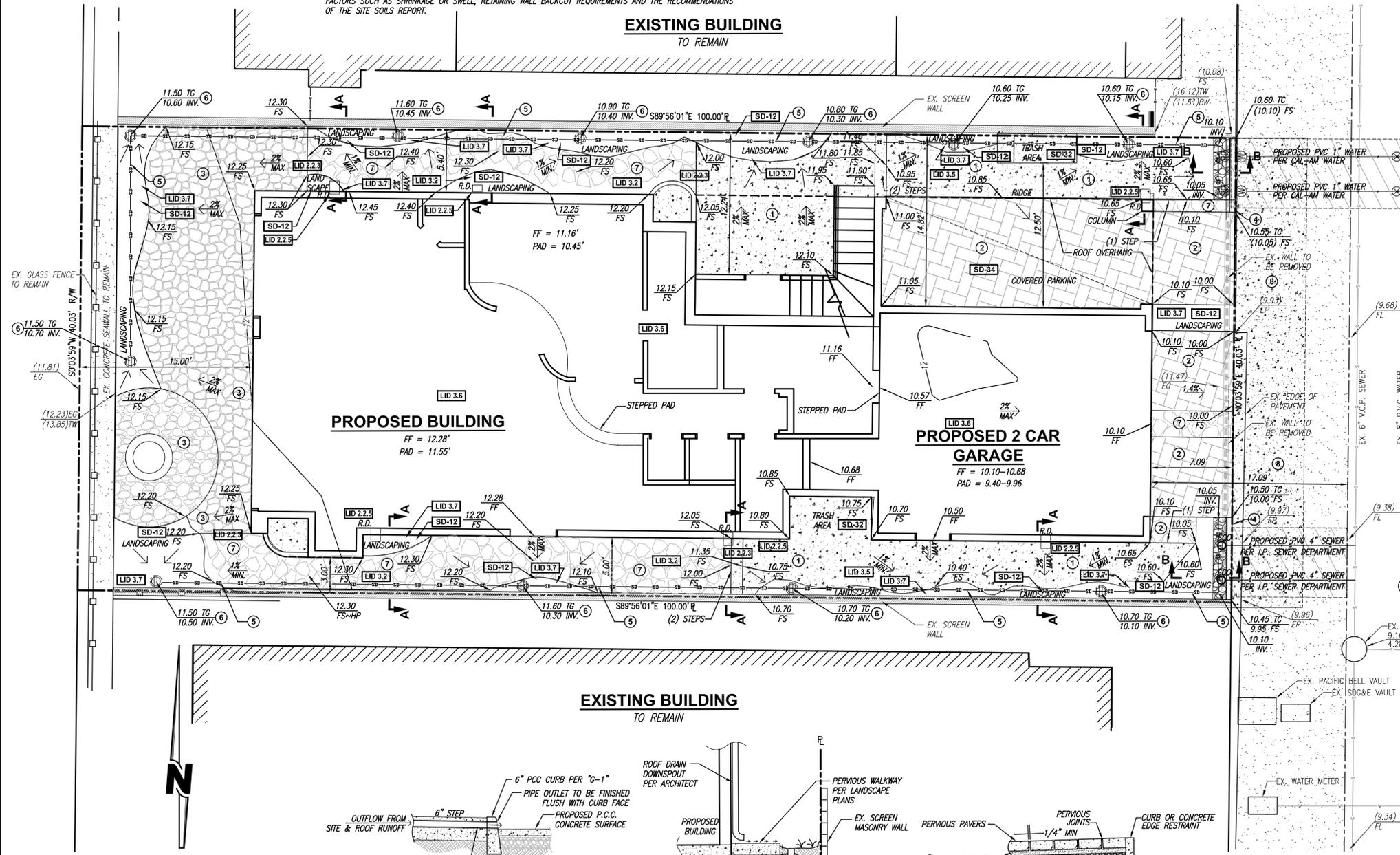
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE CITY OF SAN DIEGO STANDARD DRAWINGS, AS LAST AMENDED.

LEGEND

DESCRIPTION	STANDARD DRAWING	SYMBOL
PROPERTY LINE		---
STREET CENTERLINE		---
SAWCUT LINE		---
EX. WATER LINE		---
EX. SEWER LINE		---
EXISTING CONTOURS		---
EXISTING SPOT ELEVATIONS		(XX.XX) FL
PROPOSED SPOT ELEVATIONS		XX.XX FL
DIRECTION OF DRAINAGE FLOW		---
EXISTING MASONRY SCREEN WALL		---
EXISTING WALL TO BE REMOVED		---
SECTION CUT		---
PROPOSED ROOF DRAIN		---
PROPOSED 6" CURB	SDRSD G-1	---
1" WATER LATERAL & METER & REDUCED PRESSURE BACKFLOW DEVICE (PVT)		---
4" SEWER LATERAL & CLEANOUT (PVT)	SDRSD SC-01	---
TRENCH RESURFACING	SP-02 (SDRSD)	---
QUARTZITE FLAGSTONE PATIO		---
QUARTZITE FLAGSTONE SET IN DG (PERMEABLE 50% OPEN)		---
PERVIOUS PAVERS		---
P.C.C. PAVEMENT OVER 90% COMPACTED SOIL		---
3/4" GRAVEL		---
3" PVC PERFORATED STORM DRAIN (PVT)		---

NOTE:
ALL CONCRETE CUTS IN THE ALLEY MUST BE REPLACED WITH #4 REBAR DOWELS POSITIONED EVERY 1 FOOT ON CENTER, SECURED WITH EPOXY ADHESIVE. CONCRETE SPECIFICATION MUST BE 560-C-3250 POURED OF AT LEAST 6 INCHES. CONCRETE CUTS THAT ARE PARALLEL TO THE ALLEY DRAINAGE MUST BE AT LEAST 1 FOOT FROM THE ALLEY FLOW LINE.

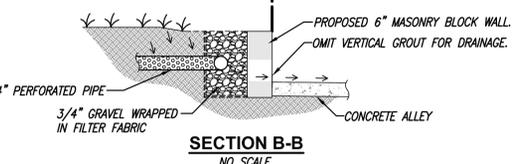
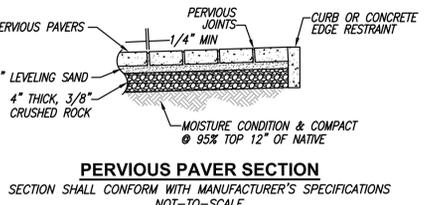
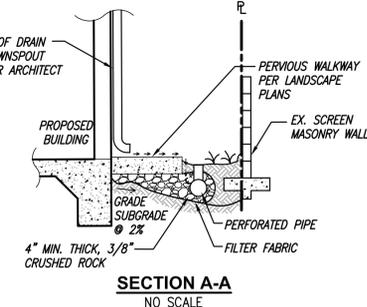
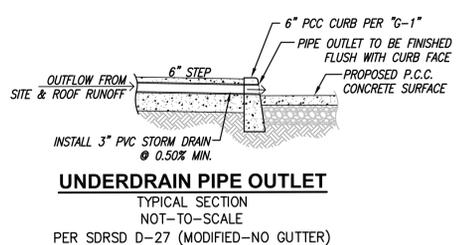
NOTE:
ALLEY CONCRETE AREA TO BE REMOVED MUST BE EXTENDED TO THE JOINT, EDGE OR SCORE MARK. THE DISTANCE BETWEEN JOINT OR SCORE MARKS MUST BE A MINIMUM OF 5 FEET.



PROPOSED BUILDING
FF = 12.28'
PAD = 11.55'

PROPOSED 2 CAR GARAGE
FF = 10.10-10.68
PAD = 9.40-9.96

EXISTING BUILDING TO REMAIN



PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4866
WWW.SPEARINC.NET

No.	Revision/Issue	Date
3		
2		
1		

IDEAL ARCHITECTURE + INTERIORS
3010 Camino del Rio
San Diego, CA 92108
PH: 619-491-4770
WWW.IDEALDESIGN.COM
DESIGN SYSTEMS, INC.

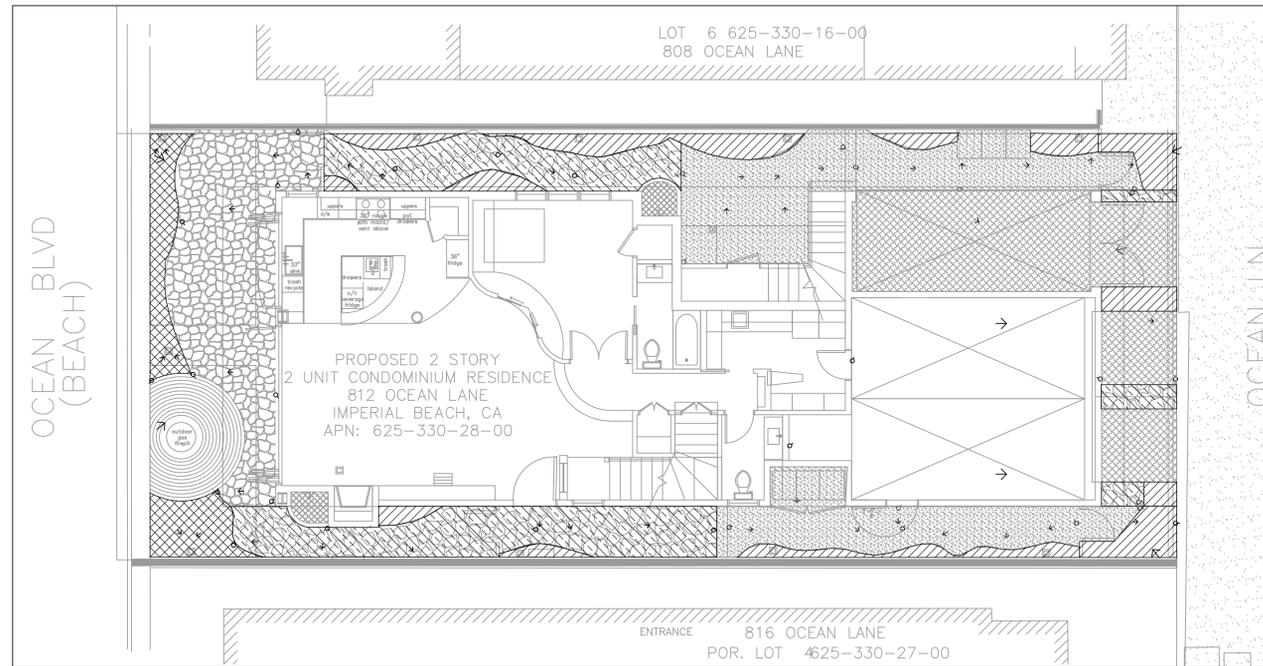
Project Name and Address
**NEW 2- UNIT RESIDENCE 812 OCEAN LANE
IMPERIAL BEACH, CA 91932**

Drawing Name
**CONCEPTUAL GRADING & STORM
WATER MANAGEMENT PLAN**

Date 01-22-16 Sheet C-1

Scale as noted

HARRISON/CSANADI RESIDENCE



- LEGEND** Total pervious landscape area: 646 sf.
- HYDROZONE 1: Inline Drip Tubing - W Exposure/Full Sun
Low Water Requirement Shrubs (0.2 ETo)
Total Area: 99 sq.ft.
 - HYDROZONE 2: Inline Drip Tubing - N&E Exposure/Shaded
Low Water Requirement Shrubs (0.2 ETo)
Total Area: 202 sq.ft.
 - HYDROZONE 3: No Irrigation
Decomposed Granite/Flagstone (0.0 ETo)
Total Area: 345 sq.ft.

- Water Conservation Notes:**
- Water Use Calculations have been prepared as a part of this plan package. Contractor is responsible for obtaining a copy of these documents.
 - Contractor shall be responsible for setting irrigation watering schedules as required to meet plant requirements and weather conditions while meeting all local water use restrictions. Under no circumstance shall plant material be allowed to die due to under/over-watering.

- Irrigation Notes:**
- Irrigation system shall be designed and installed to avoid runoff, seepage, low head drainage, over spray or other similar conditions onto adjacent property, non-irrigated areas, walks, drives, roadways or structures. Contractor shall be responsible for ensuring these conditions are met.
 - Contractor shall install a remote controller with rain shutoff device. Controller and rain shutoff device shall be installed per manufacturers specifications.
 - Contractor shall install backflow prevention as required by local codes.
 - Contractor shall install an isolation shutoff valve at the irrigation point of connection.
 - Contractor shall install a pressure reducer at point of connection should street pressure exceed 80psi.
 - Contractor shall install below grade inline drip irrigation for all planting areas. Drip line shall provide even distribution of water to entire root zone of all plantings. Inline drip tube shall provide 0.6 gph at spacing of 12" o.c. in all directions.
 - Contractor shall install control valves with drip filter and pressure reducer capable of flows as low as 0.5 gpm.

Plant Factor: A factor that when multiplied by reference evapotranspiration, estimates the amount of water used by plants. Plant water use calculations are based on the list in WUCOLS III (www.oivie.water.ca.gov/docs/wucols00.pdf). The average plant factor are as follows:

- Low water using plants is less than 0.2;
- Medium water using plants is 0.5; and
- High water using plants is 0.8.

Factors for non plant material are as follows:

- Water Features. The surface area of man made water features (pools, ponds, spas and similar features) are calculated using the co-efficient for high water using plants.
- Artificial Turf. The surface area of artificial turf is calculated using the co-efficient for low water using plants with a distribution uniformity (DU) of 1.0.

Special Landscape Area: Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

Irrigation Method and Efficiency					
Bubblers	0.85	Fixed Spray	0.55	Rotator Spray	0.70
Drip	0.90	Micro Sprays	0.70	Rotors	0.70
Drip Irrigation	0.80	MP Rotators	0.75	Spray Heads	0.60

Plant Water Use	Plant Factor	Also includes
Low	<0.1-0.2	Artificial Turf
Moderate	0.3 - 0.7	
High	0.8 and greater	Water features
Special Landscape Area	1.0	

Use the following table to tack information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1			0.2	99	Inline Drip	0.9	15%
2			0.2	202	Inline Drip	0.9	31%
3			0.0	345	None	1.0	54%
Total							100%

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. **The total ETWU cannot exceed the total Water Budget.**

Controller No.	[(ETo)(0.62)] [(PF x HA + IE) + SLA]	Result in Gallons per Year
Hydrozone		
1	(41x0.62)(0.2x4,198)/0.9	559
2	(41x0.62)(0.2x41,355)/0.9	1,141
3	(41x0.62)(0.0x3,963)/1.0	0
Total ETWU gallons per year		1,700

2. DETERMINE THE WATER BUDGET

Water Budget Calculation

The water budget is to be calculated using the following formula.

$$\text{Water Budget} = (\text{ETo})(0.62) [(0.7)(\text{LA}) + (0.3)(\text{SLA})]$$

Where:

- ETo = Evapotranspiration (inches per year)(see Table 6 or ETo Map)
- 0.62 = Conversion factor (to gallons)
- 0.7 = Evapotranspiration Adjustment Factor
- LA = Landscape Area (square feet)
- 0.3 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas
- SLA = Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

$$\frac{(41)}{\text{ETo}} (0.62) [(0.7)(\frac{646}{\text{LA}}) + (0.3)(\frac{0}{\text{SLA}})] = 11,495 \text{ Gal./Yr.}$$

MWELO CALCULATIONS

APN 625-330-28-00
812 OCEAN LANE • IMPERIAL BEACH, CA. 92008

Note:
California Landscape Technologies is responsible for MWELO calculations only and is not responsible for site layout, grading, planting or irrigation design, design review or installation. All calculations are based on planting design and layout provided by SD Architects and dated 3/22/16.



DATE
4-8-2016

LOT 6 625-330-16-00
808 OCEAN LANE

OCEAN BLVD
(BEACH)

OCEAN LN

HARRISON/CSANADI RESIDENCE

PROPOSED 2 STORY
2 UNIT CONDOMINIUM
RESIDENCE
812 OCEAN LANE
IMPERIAL BEACH, CA
APN: 625-330-28-00

STAIRS
TO
UNIT #2
ENTRY

PROPOSED
GARPORT

PROPOSED
2 CAR GARAGE

UNIT #1
ENTRY

816 OCEAN LANE
LOT 3 625-330-27-00

COLORED SCALE 1/4" = 1'-0"
SITE PLAN



LEGEND:

- PROPERTY LINE ————
- BUILDING WALL ————
- EXIST. BLOCK WALL ————
- EXIST. GLASS FENCE ON SEAWALL ————

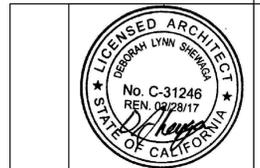
PROPOSED PLANT LIST:

- A-MONARDELLA ANTONINA (BUTTERFLY MINT BUSH)
- B-ERIOGONUM CINEREUM (COASTAL BUCKWHEAT)
- C-AQUILEGIA FORMOSA (WESTERN COLUMBINE)
- D-PENSTEMON CENTRANTHIFOLIUS (SCARLET BUGLER)
- E-HYPTIS EMORYI (DESERT LAVENDER)
- F-CALLIANDRA ERIOPHYLLA (FAIRY DUSTER)
- G-FRAGARIA CALIFORNICA (CALIFORNIA STRAWBERRY)
- H-NOLINA BEGELOVIL (BEARGRASS)

- I-GAMISSONIA CHEIRANTHIFOLIA SSP (BEACH EVENING PRIMROSE)
- J-ARCTOSTAPHYLOS DENSIFLORA (HOWARD MCMINN)
- K-BLOOMERIA CROCEA (GOLDENSTAR)

PROPOSED EXTERIOR HARDSCAPE FINISHES:

- QUARTZITE FLAGSTONE SET IN DG
- QUARTZITE FLAGSTONE PATIO
- CONCRETE FLATWORK
- MEDIUM GRAY CIRCULAR PAVERS
- MEDIUM GRAY PERVIOUS PAVERS



No.	Revision/Issue	Date
3		
2	CDP Corrections	04/07/16
1	Issued For CDP Submission	02/07/16

IDEAL ARCHITECTURE + INTERIORS
3019 Quebrada Circle
Carlsbad, CA 92009
Tel: 760-569-8773
email: design@idealarchitects.com
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Project Name and Address
NEW 2-UNIT RESIDENCE 812 OCEAN LANE
IMPERIAL BEACH, CA 91932
Drawing Name
COLORED SITE PLAN
Date 04-07-16 Sheet
Scale as noted



WEST/BEACH ELEVATION SCALE 3/16" = 1'-0"



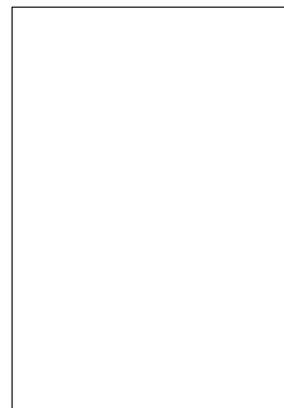
NORTH/SIDE ELEVATION SCALE 3/16" = 1'-0"



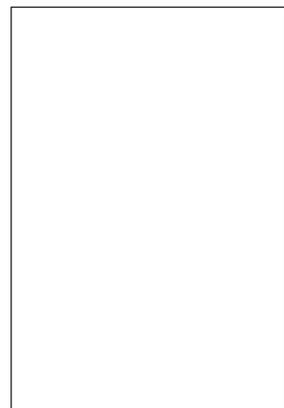
EAST/OCEAN LANE ELEVATION SCALE 3/16" = 1'-0"



SOUTH/SIDE ELEVATION SCALE 3/16" = 1'-0"



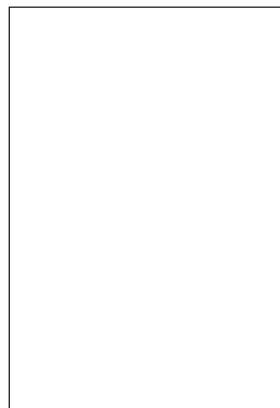
WINDOW FRAME COLOR



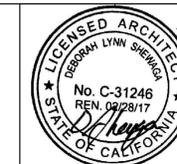
HARDIE PANEL COLOR



HARDIE SIDING/STUCCO COLOR



EXTERIOR STONE BASE



No.	Revision/Issue	Date
3		
2	CDP Corrections	04/07/16
1	Issued For CDP submission	02/07/16

IDEAL ARCHITECTURE + INTERIORS
 3019 Quebrada Circle
 Carlsbad, CA 92009
 (760) 560-4773
 email: design@idealarchitects.com

www.sandiegoarchitects.com
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 Project Name and Address
 NEW 2-UNIT RESIDENCE 812 OCEAN LANE
 IMPERIAL BEACH, CA 91932
 Drawing Name
 COLORED ELEVATIONS
 Date 04-07-16 Sheet
 Scale as noted

DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

MF 1197

Applicant: Harrison-Csanadi

Project Address: 812 Ocean Lane

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	NC	N/A
A. <u>RELATIONSHIP OF BUILDINGS TO SITE AND SURROUNDING AREA</u>			
1. The site should be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.	X		
2. Site planning should provide landscaped setbacks in scale with buildings, an inviting streetscape, usable open space areas, and buffering between properties.	X		
3. Parking areas should be treated with decorative elements, such as, building wall extensions, plantings, trellises, surface patterns, berms or other innovative means to largely screen parking areas from view from public ways.	X		
4. Whenever the natural or existing topography contributes to the amenity and utility of a proposed project, it should be preserved in a manner which enhances and accentuates the project. Modifications to the topography will be considered only when it can be determined that they will contribute to the amenity and utility of the project.	X		
5. Architectural styles should be made compatible or integrated with adjacent buildings by such means as screens, site breaks, colors and materials.	X		
6. Attractive landscape transition to surrounding properties should be provided.	X		
7. Harmony in design elements, including texture, lines, and masses are required. Monotony shall be avoided. Contrasting design elements should be repeated where appropriate in a harmonious manner. For example, vertical elements contrast with general horizontal lines and should be used where appropriate to make a strong statement.	X		
8. The height, bulk, mass and scale of each building should be compatible with its site and buildings expected to remain or be developed in the surrounding area. Monotony of architectural design is not encouraged.	X		
9. A project proposed in an area deemed to be in a state of decline or blight infestation should be developed in a manner, which will establish and improve the aesthetic quality and character of the area.	X		
B. <u>BUILDING DESIGN, COLORS, AND MATERIALS</u>			
1. Evaluation of appearance of a project shall be based on the quality of its design and relationship to existing or future surroundings. Inappropriate, incompatible designs shall be avoided.	X		
2. Existing and proposed structures on the same project site should be architecturally and functionally integrated.			X
3. Innovative and imaginative design and architecture should be encouraged, and inappropriate and monotonous design should be avoided.	X		
4. Variations of building details, form, line, colors and materials, and setting should be employed to create visual interest.	X		

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5. Monotony of design in single or multiple building projects should be avoided. Variation of detail, form, and siting should be used to provide visual interest. In multiple building projects, variable siting of individual buildings may be used to prevent a monotonous appearance. Variation in wall plan, roof line and direction, materials and color may be used to prevent a monotonous appearance in buildings. Wall plan variation is recommended to reduce scale and bulk and may often be simple provided by building projections, bay windows, and balconies. Color and landscape materials may be used to accent the variation.	X		
6. Window trim, pop-outs, dormers, bay windows, and other features are encouraged to provide exterior variation in wall plan and materials.	X		
7. New building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationship to one another and with wall masses.	X		
8. The architectural theme employed on a particular building should normally be executed on all exterior surfaces.	X		
9. In any design in which the structural frame is exposed to view, materials and finishes should be selected for architectural harmony or enhancements of the theme, as well as aesthetic quality, durability, and ease of maintenance.	X		
10. Exterior colors which are harmonious and contribute to the aesthetic quality of the project should be selected.	X		
11. Colors shall be harmonious yet color contrast or contrasting tone is encouraged to emphasize architectural detail (see examples in Planning Department). Fluorescent paints and garish colors should be avoided.	X		
12. Materials and colors should be varied where appropriate to provide architectural interest. However, material and color combinations should be repeated where necessary to provide contrast and harmony (visual order) to the building. The number of materials should not exceed what is required for contrast and accent or architectural features and may generally be limited to three.	X		
13. Building materials should not stop abruptly at corners but continue from front to side elevations.	X		
14. Parapet walls/mansard roofs should not stop at short distances on side elevations, but should continue to visually unify all building elevations, as appropriate.	X		
15. Blank walls should be avoided by the use of windows, variation of surface plan and materials, and use of shrubbery or trees as landscape screening.	X		
16. Mechanical equipment, including solar collectors and panels, or other utility hardware on roof, ground, or buildings should be screened from public view with materials harmonious with the building, or they should be located so as not to be visible from any public ways.	X		
17. Metal fixtures, trims, and devices, exposed to the ocean environment are subject to abnormally high corrosion and are discouraged.	X		

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18. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, should be conducive to easy maintenance and upkeep.	X		
19. Materials and finishes should be selected for their durability and wear as well as for their beauty. Property measures and devices should be incorporated for protection against the elements, neglect, damage and abuse.	X		
<p>C. LANDSCAPE IMPROVEMENTS AND EXTERIOR LIGHTING</p> <p>Landscape elements included in this criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.</p>			
1. An inviting atmosphere should be created in pedestrian oriented areas through the use of landscaping, walls, fencing, seating, plazas, statues, fountains, and other design features.	X		
2. Grades of walks, parking spaces, terraces, and other paved area should provide an inviting and stable appearance for walking and, if seating is provided, for sitting.	X		
3. Landscape treatment should be provided to enhance architectural features, strengthen vistas and important axis, and provide shade, privacy and buffering, soften large surfaces and paved areas, and accent points of interest. Where practical, existing trees and drought tolerant plants should be preserved and included in the planning and design of the site.	X		
4. Unity of design should be achieved by repetition of certain plant varieties and other materials, and by correlation with adjacent developments, where appropriate.	X		
5. Plant material should be selected for interest in its structure, texture, and color and for its ultimate growth.	X		
6. In locations where plants will be susceptible to injury by pedestrian or motor traffic, or other environmental hazards, they should be protected by appropriate curbs, tree guards, or other devices.	X		
7. Service and storage yards, trash collection areas, exterior work areas, and other places which tend to be unsightly, should be screened by use of walls, fencing, planting, or by combinations of these.	X		
8. In areas where general planting does not prosper, other materials such as fences, walls, trellises and pavings of wood, brick, stone, gravel, and cobbles, should be used. Carefully selected plants should be combined with such materials where possible. Materials should be harmonious with building materials.	X		
9. All plant materials should be selected, arranged, and installed in accordance with sound horticultural and landscape architectural practices per landscape and irrigation plans.	X		

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10. Color and texture of landscape elements should be coordinated with color and texture of building materials. Coarse textures and darker or brighter colors may be used where appropriate to reduce perceived distance and size. Fine textures and light or greyed colors may be used for the opposite effect where appropriate.	X		
11. Miscellaneous structures (i.e., structures other than buildings: sign posts, railings, etc.) and street furniture located on private property should be designed to be integrated with, or harmonious with, the architectural building and landscape design proposed for the site. Materials should be durable and compatible with buildings and surroundings in color and scale.			X
12. Exterior lighting should be designed to enhance the architecture of the building and landscape and shall be restrained in color and brightness. Light standards and fixtures shall be architecturally compatible and scaled to the buildings with consideration for energy efficiency.	X		
D. SIGN CRITERIA (The same criteria applicable to wall signs shall apply to monument signs.) Project, as conditioned			
1. Signs should be designed as supportive elements to land use. They should be used primarily to identify businesses, professional offices and public and quasi-public facilities.			X
2. Signs should be compatible with the nature, scale, character, and design of the locale and land uses they serve.			X
3. Signs should be part of the architectural concept. Size, color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with approved signs on adjoining buildings. Signs shall have good proportion.			X
4. Colors should be used harmoniously and with restraint. Lighting should be harmonious with the design. If external spot or floodlighting is used, it shall be arranged so that light source is shielded from view.			X
5. Identification and directory signs should manifest a high degree of artistic order and taste, as well as legibility.			X
6. Signs should be characterized by restraint. Where practical and practicable, artistic graphics and fine art displays should be used in lieu of "commercial" signs.			X
7. Signs should place considerable emphasis upon color, harmony, size, shapes, letters, materials and character.			X
E. CIRCULATION AND PARKING			
1. It is recommended that parking areas be screened from view by the use of landscaping, walls, buildings, or other innovative and decorative concepts.	X		
2. Parking areas and trafficways should be enhanced with landscaped spaces containing trees or tree groupings which shall be adequately irrigated and maintained. Shrubs should be used only where they will not obscure vision.	X		

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3. The placement of trees in parkways or paved areas is encouraged.			X
4. Vine covered trellises should be provided where appropriate to provide shading and buffering of open parking areas, particularly where tree planting is not provided.			X
5. Parking bays located between the building and the street should be separated from buildings by landscaped areas or protected walkways.			X
6. The mass of large parking areas should be improved through the employment of landscaping, textural variation, or structural interruption (i.e., walls and trellises). Variation of paving material, texture and color is recommended where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick or granite pavers, exposed aggregate, colored concrete or other methods to divide or improve the effect of large expanses of pavement is encouraged.	X		
7. Onsite circulation shall be designed to promote adequate security, police and fire protection; and, to facilitate postal delivery, moving, trash collection and trades services.	X		
8. The layout of offstreet parking areas and onsite circulation systems should place emphasis on:	X		
A) Convenience and proximity to the units served.			
B) Safety.	X		
C) Screening and separation of buffering from common uses areas, residential units and recreation areas.	X		
9. Directional signs and graphics should be used to promote public safety and convenience.			X
10. Loading, unloading, and delivery service operations should be preplanned. Parking layouts should clearly indicate that these operations would not adversely affect customer parking or access.			X
11. The plans of major commercial centers shall be responsive to the physical requirements of public transportation and should provide the requisite pedestrian ways, bus stops, benches, and shelter.			X
12. Secure bicycle parking facilities are encouraged.			X
13. Public or commercial parking areas should be designed for convenience and, where feasible, should be directly accessible from two streets, or a street and an alley.			X
14. Pedestrian ways within commercial parking areas should be protected from vehicular movements by landscaped areas, curbs, or posts.			X
15. In multiple family developments, it shall be considered undesirable to locate off street parking areas between the buildings and the street. In cases where this design solution is utilized by the Architectural Design Review Advisory Committee, the parking areas should be screened from view. Parking shall be considered between buildings and streets where it does not detract from otherwise exceptional design and neighborhood amenities.	X		

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16. It is recommended that all parking or maneuvering areas which are perpendicular to building walls be separated by landscaped areas.			X
F. MULTIPLE-FAMILY RESIDENTIAL ENVIRONMENT			
1. Multiple family dwelling developers should place cardinal emphasis on the protection of residential privacy. Privacy requires sensitive structural and landscaping design, and effective sound-proofing. It is also dependent upon the selection of proper building, screening, and landscaping materials.	X		
2. The site development and design of multi-family development should be coordinated with that of existing or potential adjoining and adjacent development. The project design should be consistent with the standards of good site planning and spatial relationships.	X		
3. The landscape of a multi-family dwelling should be oriented towards the establishment and maintenance of a high order of on and off site environmental and aesthetic quality.	X		
4. The design of all multiple units should promote good circulation, adequate exterior lighting and noise protection. The said design should minimize hazards, and optimize energy conservation. Solar orientation should be considered to reduce heating requirements.	X		
5. Each building site upon which a multi-family project is developed shall provide landscaping and usable open space. The space developed to landscaping may be improved with textured flooring, fountains, ponds, kiosks, and sculpture, as well as plant material.	X		
6. Where practicable, large multi-family developments should provide a variety of building sizes and arrangements.			X
7. Multiple-family dwelling development shall provide their residents private and/or common open space. Private open space may take the form of patios, balconies, courtyards (atria), or gardens. The establishment of game rooms, children's play areas, meeting rooms, and roof gardens should be encouraged where appropriate.	X		
8. Usable open space required by the zoning ordinance should be distributed throughout the project site.	X		
9. Noise effects on and from all common and private open space should be buffered by fences, walls, and/or barriers, which block the line-of-site of the noise source.	X		
10. Indoor-outdoor integration can be promoted in projects by the use of large windows and sliding glass doors in conjunction with patios, balconies, and courtyards. The said windows and doors, however, should be effectively shuttered or draped in order to prevent substantial night-time energy losses.	X		
11. Common open space should be provided in large areas if feasible. Large areas of open space can be imaginatively landscaped, well utilized, and economically maintained.	X		